

CITY OF LOMA LINDA  
CITY COUNCIL AGENDA

REGULAR MEETING OF JULY 28, 2015

A regular meeting of the City Council of the City of Loma Linda is scheduled to be held Tuesday, July 28, 2015 in the City Council Chamber, 25541 Barton Road, Loma Linda, California. *Pursuant to Municipal Code Section 2.08.010, study session or closed session items may begin at 5:30 p.m. or as soon thereafter as possible. The public meeting begins at 7:00 p.m.*

Reports and Documents relating to each agenda item are on file in the Office of the City Clerk and are available for public inspection during normal business hours. The Loma Linda Branch Library is also provided an agenda packet for your convenience. The agenda and reports are also located on the City's Website at [www.lomalinda-ca.gov](http://www.lomalinda-ca.gov).

*Materials related to an item on this Agenda submitted to the City Council after distribution of the agenda packet are available for public inspection in the City Clerk's Office, 25541 Barton Road, Loma Linda, CA during normal business hours. Such documents are also available on the City's website at [www.lomalinda-ca.gov](http://www.lomalinda-ca.gov) subject to staff's ability to post the documents before the meeting.*

Persons wishing to speak on an agenda item, including any closed session items, are asked to complete an information card and present it to the City Clerk prior to consideration of the item. When the item is to be considered, please step forward to the podium, the Chair will recognize you and you may offer your comments. The City Council meeting is recorded to assist in the preparation of the Minutes, and you are therefore asked to give your name and address prior to offering testimony.

The Oral Reports/Public Participation portion of the agenda pertains to items NOT on the agenda and is limited to 30 minutes; 3 minutes allotted for each speaker. Pursuant to the Brown Act, no action may be taken by the City Council at this time; however, the City Council may refer your comments/concerns to staff or request that the item be placed on a future agenda.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at (909) 799-2819. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. Later requests will be accommodated to the extent feasible.

A recess may be called at the discretion of the City Council.

**Agenda item requests for the AUGUST 25, 2015 meeting must be submitted in writing to the City Clerk no later than NOON, MONDAY, AUGUST 10, 2015**

**A. Call To Order**

**B. Roll Call**

**C. Invocation and Pledge of Allegiance** – Councilman Dailey (In keeping with long-standing traditions of legislative invocations, this City Council meeting may include a brief, non-sectarian invocation. Such invocations are not intended to proselytize or advance any one, or to disparage any other, faith or belief. Neither the City nor the City Council endorses any particular religious belief or form of invocation.)

**D. Items To Be Added Or Deleted**

**E. Oral Reports/Public Participation - Non-Agenda Items (Limited to 30 minutes; 3 minutes allotted for each speaker)**

**F. Conflict of Interest Disclosure** - Note agenda item that may require member abstentions due to possible conflicts of interest

**G. Scheduled And Related Items**

1. Proclamation declaring September 2015 Childhood Cancer Awareness Month [**Mayor**]
2. Presentations [**Mayor**]
  - a. Ronald Espalin, PE of Willdan Engineering on the occasion of his retirement, in recognition of his services to the City as Director, Building and Safety Services
  - b. Gordon E. Hewes in recognition of his service as a member of the Budget Committee (2007-2015)
  - c. Carolyn Palmieri in recognition of her service as a member of the Planning Commission (2009-2015)
3. Presentation by Allied Telesys and direction to Staff regarding options to operate and expand the Loma Linda Connected Community Program (LLCCP) [**Assistant City Manager**]
4. **Public Hearing** – Council Bill #R-2015-29 - Determine costs related to the Spring 2015 Weed Abatement Program [**Fire Dept.**]
5. **Public Hearing** – Time Extension Request – Precise Plan of Design (PPD) No. 13-07 to construct an 87-unit multi-family project, Tentative Parcel Map No. 13-32 (TPM 19452) to consolidate seven parcels into one parcel, and Variance No. 13-067 to reduce the rear yard setback and to allow a wall that exceeds six feet in height along the rear property line for 25259-25303 Van Leuven Street in an R-3 (Multi-Family Residence Zone) [**Community Development**]

**H. Consent Calendar**

6. Demands Register<sup>6</sup>
7. Minutes of July 14, 2015
8. June 2015 Treasurer's Report
9. June 2015 Fire Department Report
10. Award of contracts [**Public Works**]
  - a. Pavement Rehabilitation by Slurry Seal Method at Lawton Avenue, Whittier Avenue, Bryn Mawr Avenue, Hinckley Street and Mountain View Avenue
  - b. Traffic Signal Maintenance Services
  - c. Janitorial Services for Loma Linda Civic Center, including Library, Community Room, Emergency Operations Center, Corporation Yard, Senior Center, and Fire Station

11. Award contract to Dennis Grubb and Associates, LLC for Professional Services for Fire Plan Check and Inspection Services for Loma Linda University Adventist Health Science Center 2020 Vision Campus Transformation Project: **[Fire]**
12. Appropriation of \$10,100.00 and award contract to Revenue & Cost Specialists of Fullerton to prepare a User Fee Study **[City Manager]**
13. Declare vehicles, IS equipment and miscellaneous items surplus and authorize disposal **[City Manager]**
14. Agreement with CompuCom fir Microsoft software licensing **[Assistant City Manager]**

**I.** **Old Business**

15. Committee/Commission Appointments
  - a. Budget Committee (1)
  - b. Planning Commission (1)

**J.** **New Business**

16. Council Bill #R-2015-30 – Measure I Five-Year Capital Improvement Program **[Public Works]**
17. Designation of Voting Delegates and Alternates for League of California Cities Annual Conference – September 30/October 2, San Jose

**K.** **Reports of Councilmen** (This portion of the agenda provides City Council Members an opportunity to provide information relating to other boards/commissions/committees to which City Council Members have been appointed).

**L.** **Reports Of Officers** (This portion of the agenda provides Staff the opportunity to provide informational items that are of general interest as well as information that has been requested by the City Council).

18. Oral report pertaining to Quaid Harley Davidson charity events at Quaid site on Redlands Boulevard **[Assistant City Manager]**

**M.** **Adjournment**



# CITY OF LOMA LINDA, CA

PROCLAMATION  
CHILDHOOD CANCER AWARENESS MONTH  
SEPTEMBER 2015

*WHEREAS, the American Cancer Fund for Children and Kids Cancer Connection report cancer is the leading cause of death by disease among U.S. children between infancy and age 15, being detected in more than 15,000 of our country's young people each and every year; and*

*WHEREAS, one in five of our nation's children loses his or her battle with cancer and many infants, children and teens will suffer from long-term effects of comprehensive treatment, including secondary cancers; and*

*WHEREAS, founded over twenty years ago by Steven Firestein, a member of the philanthropic Max Factor family, the American Cancer Fund for Children, Inc. and Kids Cancer Connection, Inc. are dedicated to helping these children and their families; and*

*WHEREAS, with the mission to provide emotional, social, educational, and emergency assistance to families who have, or have had, a child with cancer, the American Cancer Fund for Children and Kids Cancer Connection provide a variety of vital patient psychosocial services to children undergoing cancer treatment at Loma Linda University Children's Hospital, The City of Hope in Duarte, as well as participating hospitals throughout the country, thereby enhancing the quality of life for these children and their families; and*

*WHEREAS, the American Cancer Fund for Children and Kids Cancer Connection also sponsor Courageous Kid Recognition Award ceremonies and hospital celebrations in honor of a child's determination and bravery to fight the battle against childhood cancer;*

*NOW, THEREFORE, I, Rhodes Rigsby, Mayor of the City of Loma Linda, do, on behalf of the entire City Council, proclaim September 2015*

**"CHILDHOOD CANCER AWARENESS MONTH"**

*and join with the American Cancer Fund for Children and Kids Cancer Connection in their efforts to promote awareness of childhood cancer, encourage the members of this community to support their efforts in assisting families who are devastated by this disease, and remember, "Where there is light, there is hope".*

*PRESENTED this 28<sup>th</sup> day of July 2015.*



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
John Lenart, Councilman  
Ovidiu Popescu, Councilman

COUNCIL AGENDA: July 28, 2015

TO: City Council

FROM: Konrad Bolowich, Assistant City Manager

SUBJECT: Presentation from Allied Telesys regarding operation of LLCCP

Approved/Continued/Denied By City Council Date _____
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## RECOMMENDATION

It is recommended that the City Council direct staff to explore options for Allied Telesys to take over operation of the LLCCP.

## BACKGROUND

Allied Telesys is a global leader in the manufacture, installation, and operation of hardware and software in internet service provider market. They have been an integral partner with The LLCCP in the creation of, and continued operation of the program. The majority of the hardware and software platforms operating the network are Allied Telesys products. Allied Telesys approached the City and expressed interest in operation of the LLCCP.

## ANALYSIS

Since the inception of the LLCCP program Allied Telesys has entered the service provider market and currently operates municipal and campus broadband triple play networks through the world. These networks typically provide high speed internet with gigabit speeds to the home, residential telephone service, and subscription television and pay per view programming. Allied Telesys brings a strong background in hardware, operation and content delivery in these settings. City staff and Allied Telesys management would like direction from council to begin discussion of options regarding the operation and expansion of the program. The resultant agreements will be presented to Council for their action at a future date.

## ENVIRONMENTAL

There is no environmental impact

## FINANCIAL IMPACT

Will be determined as agreements evolve, and are subject to future Council approval.



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
Ovidiu Popescu, Councilman  
John Lenart, Councilman

Approved/Continued/Denied By City Council Date _____
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COUNCIL AGENDA: July 28, 2015

TO: City Council  
VIA: Jarb Thaipejr, City Manager  
FROM: Jeff Bender, Fire Chief *JB*  
SUBJECT: Spring 2015 Weed Abatement Program  
Report of Proceedings / Account of Costs

### RECOMMENDATION

That the City Council: Receive the report of the **Spring 2015 Weed Abatement Program**, approve the report and accounting of costs, and adopt the accompanying Resolution establishing liens and assessments on properties.

### BACKGROUND

The International Fire Code, 2012 edition, Section 304 adopted and amended by Loma Linda Municipal Code Chapter 15.28, establishes the authority for removing combustible vegetation when it is determined to be a fire hazard. Section 304.1.2 states "Weeds, litter, flammable waste, grass or other vegetation capable of being ignited and endangering property shall be cut down and removed by the owner or occupant of the premises." Vegetation clearance requirements in the wildland-urban interface areas shall be in accordance with Chapter 49.

### ANALYSIS

The Spring 2015 Weed Abatement program began on **March 24, 2015** with an initial inspection of approximately 440 parcels. Pursuant to Sections 104.5 of the International Fire Code, 248 Notices to Clean Property, Exhibit "A", were sent by regular mail on **March 31, 2015** to the **OWNER OF RECORD** as provided by the County Assessor's office. Follow-up inspections began on **April 16, 2015**. If abatement had not been accomplished, or if arrangements for a time extension had not been made with this office, the parcel was placed on an abatement list which was given to a City contractor for initiation of the abatement work. Combustible vegetation/fire hazards were abated by City contractors on **33 parcels**.

On **June 30, 2015** invoices (See Exhibit "B") specifying the cost of the work performed by the contractor, plus the City's administrative fee, were mailed to the **OWNER OF RECORD** for each parcel giving them the opportunity to make payment of the bill by **July 15, 2015**.

Parcels abated by the City contractor and which **remain un-paid** are listed on Exhibit "C". Upon completion and documentation of the abatement work payment was made to the contractor by the City.

Owners have the opportunity to appear at the hearing to ask questions or dispute any bills or proceedings.

Subsequent to the July 28, 2015 Hearing and Council action, the Report of Costs, with accompanying Resolution (see attached), will be forwarded to the Property Tax Division of the San Bernardino County Auditor/Controller-Recorder for collection as assessments and or liens against the property.

#### **ENVIRONMENTAL**

No adverse environmental impact. The Weed Abatement program removes weeds and other flammable vegetation that is deemed to present a fire hazard.

#### **FINANCIAL IMPACT**

Recovery of abatement costs plus administrative fees are outlined on Exhibit "C".

#### **ATTACHMENTS:**

Exhibit A: Sample Notice to Clean Property

Exhibit B: Sample Invoice

Exhibit C: List of Un-Paid Invoices

Copy of Resolution Adopting Report and Statement of Expenses and Imposing a Lien upon Property for payment.



# Loma Linda Fire Department

## FIRE PREVENTION BUREAU

25541 Barton Rd, Loma Linda, California 92354 • (909) 799-2859 • Fax: (909) 799-2891

### NOTICE TO CLEAN PROPERTY

3/31/2015

**Parcel Number:**

**Location:**

Under the provisions of the California Fire Code, 2013 edition, Section 304.1.2 adopted and amended by Loma Linda Municipal Code Chapter 15.28, an inspection of the property listed above has been performed by this Department. Based upon the inspection, a fire hazard, or potential fire hazard has been determined to exist on this property. Notice is hereby given that **any weeds, tumbleweeds, dead grasses, vines, dead shrubs, dead trees, trimmings, or other combustible materials or debris present on your lot, field or parcel of land** are a fire hazard or in all probability will become a fire hazard, and as such must be removed or abated. In addition, any weeds or combustible materials must be **cleared away from any road or street for a distance of 10 ft.** See **NOTES** for special remarks concerning this parcel.

*NOTES:*

Any weeds or other fire hazards as listed above on this property must be removed or abated in an acceptable manner by **April 15, 2015**. Failure to remove or abate by this date will be cause for the City of Loma Linda or it's designated contractor to enter onto the property to accomplish the abatement. In addition to the costs for cleaning, you will also be assessed an administrative fee of 30% of the cost of the work or \$100, whichever is greater. Failure to pay all charges will cause a tax assessment and lien to be placed against the property.

Due to uncontrolled regrowth, a second or third clean up of the property may be necessary during the year. Property owners are advised that it is their responsibility to maintain their property in good condition and that any re-growth during the year may be subject to removal without further notice if determined to be a fire hazard.

This Notice is given pursuant to the provision of the California Fire Code Section 109.2 authorizing action to remove any hazard deemed unsafe. The Fire Department maintains a consistent and impartial position in the application and enforcement of the California Fire Code. For further information, please call (909) 799-2859.

You as owner, occupant or person otherwise in charge of the property may appeal to the Fire Marshal of the City of Loma Linda any of the requirements of this Notice pursuant to Loma Linda Municipal Code Section 2.08.030. Such an appeal shall be in writing and shall be submitted only after all reasonable efforts to resolve the matter have been exhausted with the staff of this Department. Said appeal may include any arguments why the property should not be declared a fire hazard and abated by the City. Any appeal shall be submitted to this Department within ten (10) calendar days from the date of this Notice.

If you are no longer the owner of this property or are in the process of selling it, please inform the new owner of this Notice, and advise this Department in writing of the date the title change occurred. All address information used to mail Notices has been provided by the San Bernardino County Assessor's Office.

James Gray  
Fire Marshall

By: *James Shea*  
James Shea  
Fire Prevention Inspector

EXHIBIT "A"



# City of Loma Linda

25541 Barton Road, Loma Linda, California 92354-3160 • (909)799-2859 • fax (909) 799-2891

Sister City – Manipal, Karnataka, India

6/30/2015

## INVOICE

**Parcel Number:**

**Location:**

Under the provisions of the International Fire Code, 2009 edition, adopted and amended by the State of California as the 2010 California Fire Code, and the Loma Linda Municipal Code Chapter 15.28, a fire hazard that existed on the above real property was abated by a City contractor.

The following amount is now due for **Spring 2015** weed abatement:

Abatement Cost:	\$90.00
Administrative Charges:	\$100.00
<b>Total Due:</b>	<b>\$190.00</b>

Make checks payable to: City of Loma Linda - Weeds  
25541 Barton Road  
Loma Linda, CA 92354-3160

Payment must be received by **July 15, 2015** after which time a Public Hearing will be conducted to hear a Report of Cost. The Public Hearing is scheduled for **July 28, 2015** at 7:00 p.m. at the City of Loma Linda Council Chambers, 25541 Barton Road, at which time Total Charges will be placed as assessments and or liens against the above real property.

Any appeals for the abatement work performed or the amount billed above should be addressed to the City Council at the time of the Public Hearing.

James Gray  
Fire Marshal

By:

*James Shea*

James Shea  
Fire Prevention Inspector

EXHIBIT "B"

SPRING 2015 WEED INVOICES  
EAST VALLEY FIRE - Loma Linda

	PARCEL NUMBER	OWNER OF RECORD	CONTRACTOR COST	ADMIN FEES	TOTAL	PAID
1	028109123	Sam Kim	90.00	\$100.00	\$190.00	
2	028109141	Prakash Patel	90.00	\$100.00	\$190.00	
3	028116250	Sagemont-Richardson	240.00	\$100.00	\$340.00	
4	028124231	MV Investors	135.00	\$100.00	\$235.00	
5	028125108	Eliezer Lottila	90.00	\$100.00	\$190.00	
6	028125401	Luis Trujillo	90.00	\$100.00	\$190.00	
7	028308222	Chor Ngan	105.00	\$100.00	\$205.00	PAID
8	028308243	SE Dean Trust	150.00	\$100.00	\$250.00	PAID
9	028312123	Hugo Chinchay	120.00	\$100.00	\$220.00	
10	028314113	Brian Brehm	180.00	\$100.00	\$280.00	
11	028314205	Golden Eagle Propert	735.00	\$220.50	\$955.50	
12	028321544	Abbas Navazi	90.00	\$100.00	\$190.00	
13	028326119	Hung Lim	195.00	\$100.00	\$295.00	
14	028407105	Salcedo Concepcion	135.00	\$100.00	\$235.00	
15	028417123	Toufic Jeiroudi	210.00	\$100.00	\$310.00	
16	028435123	Kenneth Graham	140.00	\$100.00	\$240.00	
17	028435154	Samuel Eilar	145.00	\$100.00	\$245.00	
18	028435176	Newllyn King	180.00	\$100.00	\$280.00	
19	028443503	Gudalupe Cardenas	90.00	\$100.00	\$190.00	
20	028464120	Gun Kim	195.00	\$100.00	\$295.00	
21	029211135	Donal Hunt	1,050.00	\$315.00	\$1,365.00	
22	029212156	Tsai Lin	1,200.00	\$360.00	\$1,560.00	
23	029212181	Tsai Lin	225.00	\$100.00	\$325.00	
24	029213149	Eddie Lerma	90.00	\$100.00	\$190.00	
25	029213206	Yolanda Reyes	90.00	\$100.00	\$190.00	
26	029213210	MEK Solar	90.00	\$100.00	\$190.00	
27	029213211	Gerardo Rivera	90.00	\$100.00	\$190.00	PAID
28	029216221	Spanos Corporation	855.00	\$256.50	\$1,111.50	
29	029301112	Gun Kim	520.00	\$156.00	\$676.00	
30	029302121	Imad Thomas	90.00	\$100.00	\$190.00	
31	029303132	Southern Pacific RR	90.00	\$100.00	\$190.00	
32	029303207	Jessica Olivas	90.00	\$100.00	\$190.00	
33	029304151	Diana Walayat	90.00	\$100.00	\$190.00	

*EXHIBIT "C"*

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA ADOPTING A REPORT AND STATEMENT OF EXPENSES FOR THE SPRING 2015 WEED ABATEMENT PROGRAM AND IMPOSING A LIEN UPON PROPERTY FOR PAYMENT THEREFOR

WHEREAS, the Weed Abatement Program of the City of Loma Linda has been carried out in accordance with Municipal Code requirements; and

WHEREAS, the City Council has held a hearing on the statement of expenses for abatement of the nuisances and has heard and considered the staff report and all objections or protests;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Loma Linda as follows:

That the statement of expenses attached hereto as Exhibit "A" and incorporated herein by reference, is hereby confirmed and adopted as amended; and

That the statement of expenses (Exhibit "A") is fair, reasonable, and appropriate;

That the cost of the abatement work done or caused to be done by the City as shown on the statement of expenses is hereby ordered to be paid by July 28, 2015; and

That if said costs have not been paid by July 28, 2015, they shall constitute a lien upon the real property against which the nuisance was abated and shall be collected either by a personal civil suit against the person creating, causing or permitting the nuisance, or by a special assessment against the real property; and

That the City Clerk shall file a certified copy of this Resolution and report and statement of expenses as amended with the San Bernardino County Auditor, Assessor and Tax Collector, and shall direct the Auditor to enter the amounts of the charges contained in the report and statement of expenses against the real property described in the report and statement of expense; and

That the amount of the charges shall constitute a lien against the real property against which the charges have been imposed; and

That the Tax Collector shall include the amount of the charges on the bills for taxes levied against said real property and the same shall be collected in the same manner together with the general taxes for the City of Loma Linda, and shall be subject to the same penalties and interest.

PASSED, APPROVED AND ADOPTED this 28th day of July 2015 by the following vote:

Ayes:  
Noes:  
Absent:  
Abstain:

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Rhodes Rigsby, Mayor

ATTEST:

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Pamela Byrnes-O'Camb, City Clerk



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ovidiu Popescu, Councilman  
Ron Dailey, Councilman  
John Lenart, Councilman

**COUNCIL AGENDA:** July 28, 2015

**TO:** City Council

**VIA:** T. Jarb Thaipejr, City Manager

**FROM:** Konrad Bolowich, Assistant City Manager

**SUBJECT:** Time Extension Request of Precise Plan of Design No. PPD 13-007; Tentative Parcel Map No. TPM 13-032 (No. 19452); and Variance No. V 13-067 to construct an 87-unit multi-family project on property located at 25259-25303 Van Leuven Street, a Tentative Parcel Map to consolidate seven parcels into one parcel, and a Variance to reduce the rear yard setback and to allow a wall that exceeds 6-feet in height along the rear property line. The property is located in the R-3 (Multi Family Residence Zone).

Approved/Continued/Denied  
By City Council  
Date \_\_\_\_\_

## SUMMARY

Golden Eagle Multi-Family Properties (the Applicant), is requesting approval to construct 87 apartment units, plus one leasing office in five, three-story buildings on 4.37 acres located on the south side of Van Leuven Street (Attachment A). The project includes a request for a variance for the reduction in the rear yard setback and the construction of a 10-foot high rear property line block wall, as well as a Tentative Parcel Map to consolidate seven parcels into one parcel (Attachment B).

The Applicant is requesting a one year time extension for the previously approved Precise Plan of Design to construct the proposed development (Attachment C).

## RECOMMENDATION

The Planning Commission recommends that the City Council approve a one year time extension for the following Applications: PPD 13-007, TPM 13-032, and V 13-067 based on the analysis and original staff report and project findings and subject to the Revised Conditions of Approval (Attachment D).

## BACKGROUND

On August 7, 2013, the Planning Commission recommended approval of applications PPD 13-007, TPM 13-032, and V 13-067 for the above mentioned project (Attachment E).

On August 27, 2013, the City Council approved applications PPD 13-007, TPM 13-032, and V 13-067 for the above mentioned project (Attachment F).

On June 9, 2015, the Applicant submitted a one-year time extension request.

CC AGENDA ITEM 5

On July 1, 2015, the Planning Commission recommended approval of the time extension request (Attachment G).

### **ANALYSIS**

The Applicant is requesting a one-year extension in order to obtain building permits for the above mentioned project. The Applicant has indicated that due to market and financing conditions, they have been unable to proceed with the proposed project in a timely manner. The Applicant is not proposing to change the scope of the project. The approved conditions of approval allow the applicant to submit a request for a one-time extension not to exceed 12 months.

### **ENVIRONMENTAL**

On August 27, 2013, the City Council adopted a Mitigated Negative Declaration (MND) for the project and approved the applications. The request for a one-year time extension for the above mentioned applications falls within the scope of the project MND and as such, no additional environmental review is required.

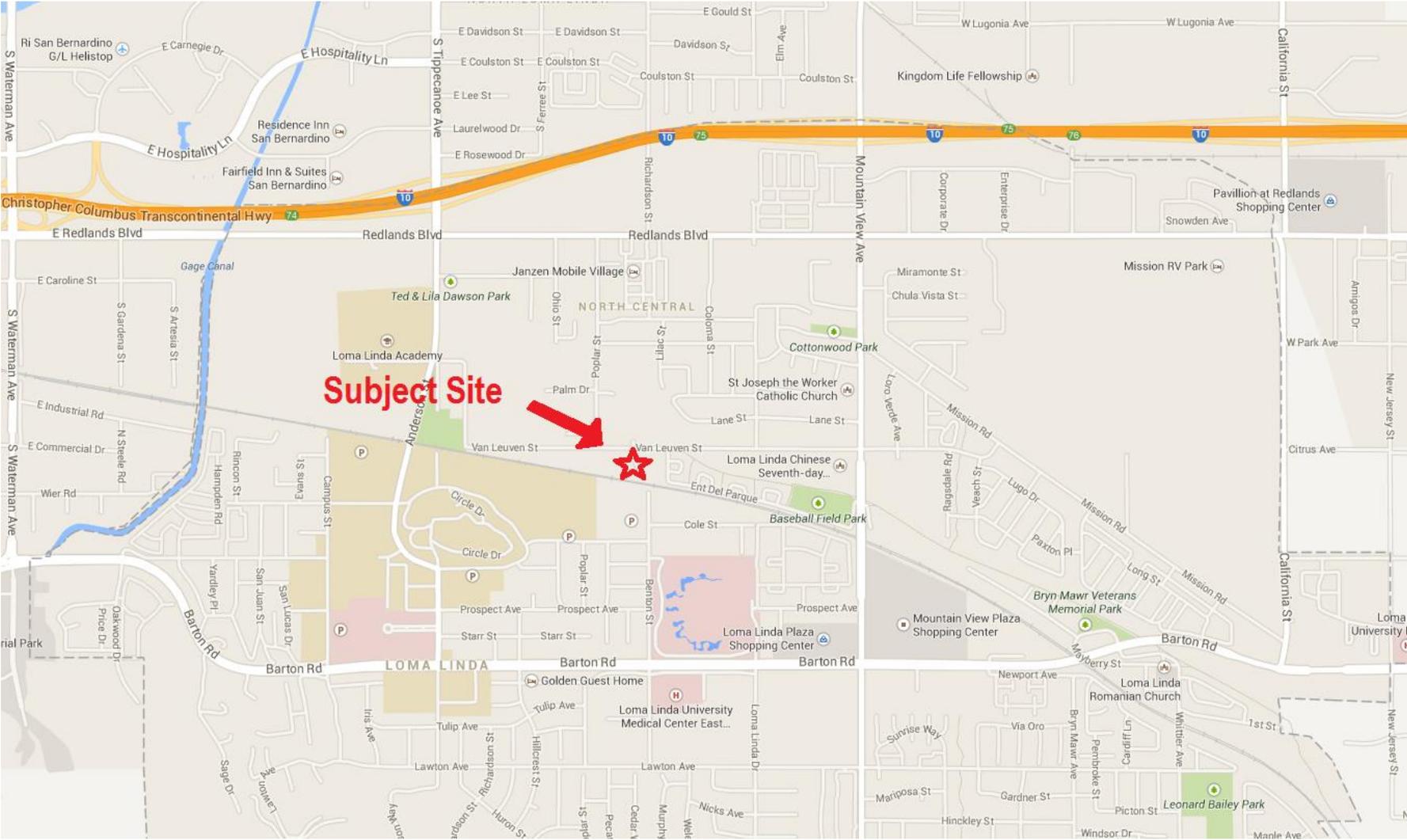
Report prepared by:

Guillermo Arreola  
Senior Planner

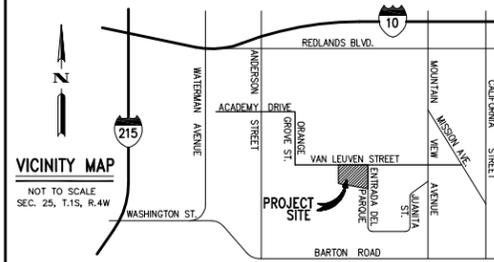
### **ATTACHMENTS**

- A – Vicinity Map
- B – Plans
- C – Applicant’s Time Extension Request
- D – Revised Conditions of Approval
- E – August 7, 2013 Planning Commission Staff Report (no exhibits)
- F – August 27, 2013 City Council Staff Report (no exhibits)
- G – July 1, 2015 Planning Commission Staff Report

# LOCATION MAP



# CONCEPTUAL SITE PLAN PPD 13-07



**DEVELOPER/APPLICANT**

GOLDEN EAGLE MULTI-FAMILY PROPERTIES, LLC  
6201 OAK CANYON, SUITE 200  
IRVINE, CA. 92618

CONTACT : JIM KIECKHAFFER  
EMAIL : jkieckhafer@sondco.com  
TELEPHONE : (949) 270-7800

**ENGINEER:**

PACIFIC COAST LAND CONSULTANTS, INC.  
25096 JEFFERSON AVENUE, SUITE "D"  
MURRIETA, CA. 92562  
TELEPHONE NO.: (951) 698-1350  
FAX NO.: (951) 698-8657  
CONTACT: JEI KIM

**ASSESSOR PARCEL NUMBER:**

0283-142-05	0283-142-11	0283-201-43
0283-142-06	0283-142-12	0283-201-44
0283-142-07		

**SOILS ENGINEER:**

CW SOILS, INC.  
23251 KENT COURT  
MURRIETA, CA. 92562  
TELEPHONE NO.: (951) 304-3935  
CONTACT: CHAD WELKE

**ARCHITECT:**

ADKVAS GROUP  
647 CAMINO DE LOS MARES, SUITE 206  
SAN CLEMENTE, CA. 92673  
TELEPHONE NO.: (949) 240-6591  
FAX NO.: (949) 240-6592

**PROJECT INFORMATION:**

OCCUPANCY: R-2 (DWELLINGS)  
U (GARAGES)

TYPE OF CONSTRUCTION: VA  
TOTAL INDIVIDUAL UNITS: 87  
18 ONE BEDROOM / 1 BATH  
51 TWO BEDROOM / 2 BATH  
18 THREE BEDROOM / 2 BATH

BUILDING						
BUILDING TYPE I 4 (BLDG)			BUILDING TYPE II 1 (BLDG)			TOTAL (S.F.)
LEVEL	UNITS	AREA (S.F.)	LEVEL	UNITS	AREA (S.F.)	
1	4	7,936	1	1	3,932	
2	8	8,442	2	4	4,221	
3	8	8,442	3	2	2,055	
SUBTOTAL		24,820			7	10,208
TOTAL x 4		99,280	TOTAL x 1		10,208	109,488

GARAGES			CLUBHOUSE			TOTAL (S.F.)
DETACHED	UNITS	AREA (S.F.)	LEVEL	UNITS	AREA (S.F.)	
6-CAR	4	5,236	1	1	1,659	
4-CAR	1	1,309				
SUBTOTAL		6,545			1,659	8,204
TOTAL						117,692

AREA DENSITY CALCULATIONS			
BUILDING FOOTPRINT LEVEL 1	42,571 SF	22.4%	
COMMON AREA	102,215 SF	53.6%	
LANDSCAPING/OPEN SPACE	45,571 SF	24.0%	
TOTAL AREA = 190,357 SF		100.0%	
SITE TOTAL = 87 UNITS/4.37AC = 19.90 DU/AC			

PARKING			
REQUIRED	QTY.	GARAGES	OPEN PARKING
1 BR 1.75 x 18	31.5		
2 BR 2.5 x 51	127.5		
3 BR 3.25 x 18	58.5		
ROUNDED UP TO	218		
PROVIDED	219	91	128

**BENCH MARK**

BRASS CAP IN WEST FOOTING OF RAILROAD SIGNAL SUPPORT, SOUTH SIDE OF RAILROAD TRACKS, 120' EAST OF CL. AT DEAD END OF BENTON STREET.

NGS S-1327  
ELEVATION: 1113.245

DATE: 1-01-1981

**GENERAL NOTES:**

- DATE PREPARED ..... JANUARY 04, 2013
- EXISTING ZONING ..... MULTI FAMILY RESIDENCE (R3)
- PROPOSED ZONING ..... MULTI FAMILY RESIDENCE (R3)
- EXISTING LAND USE ..... VERY HIGH DENSITY RESIDENTIAL
- PROPOSED LAND USE ..... VERY HIGH DENSITY RESIDENTIAL
- PROJECT ACREAGE ..... 4.37 AC GROSS
- BUILDING OCCUPANCY CODE ..... R-2
- CONSTRUCTION TYPE ..... VA

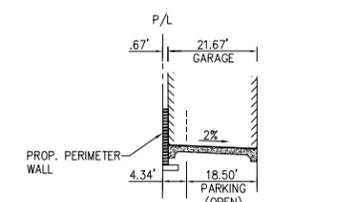
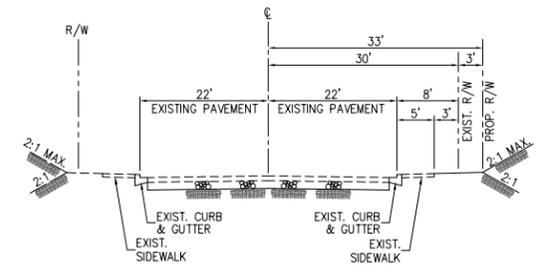
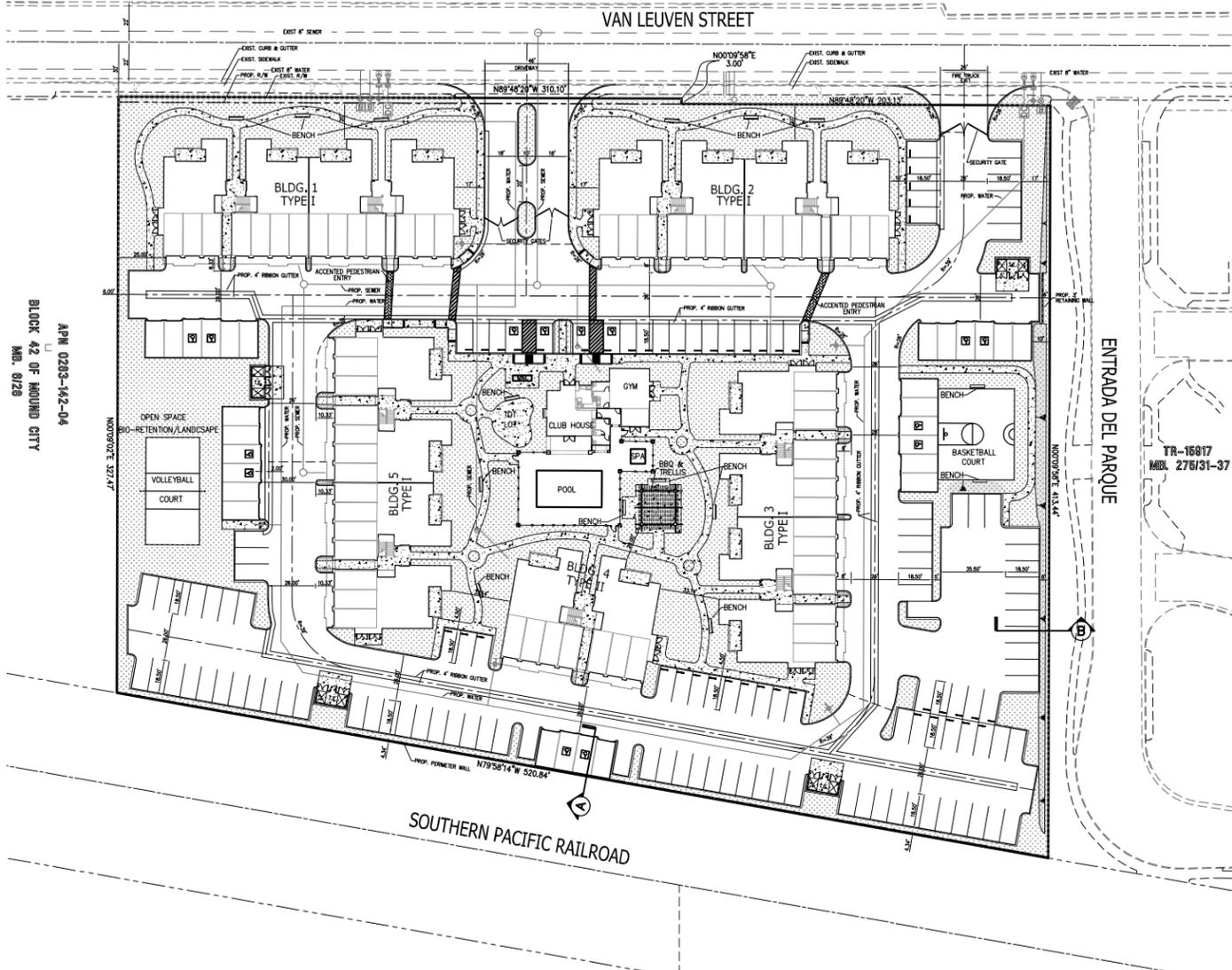
**LEGAL DESCRIPTION:**

A PORTION OF BLOCK 41, MOUND CITY, IN THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 6 OF MAPS, PAGE 28 AND PARCELS 1 AND 2 OF PARCEL MAP NO. 1774, AS PER PLAT RECORDED IN BOOK 178 OF PARCEL MAPS PAGE 49, RECORDS OF SAID COUNTY.

**SOURCE OF TOPO:**

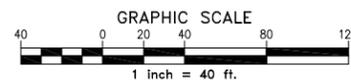
PACIFIC LAND CONSULTANTS, INC.  
P.O. BOX 3762  
PALOS VERDES, CA. 90274

DATED: JULY 26, 2012  
TELEPHONE NO.: (310) 544-8689  
FAX NO.: (310) 544-5039



**LEGEND:**

- PROJECT BOUNDARY
- EXISTING RIGHT OF WAY
- EXISTING/PROPOSED CENTERLINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING CONTOUR
- LANDSCAPE AREA
- PROPOSED GRADES
- EXISTING GRADES
- PAD ELEVATION
- FINISHED FLOOR
- TOP OF CURB
- FINISHED SURFACE
- FLOW LINE
- NATURAL GROUND
- RETAINING WALL
- CATCH BASIN
- TRASH ENCLOSURE
- FIRE HYDRANT
- EXISTING STORM DRAIN MANHOLE
- EXISTING POWER POLE REMOVE AND RELOCATE

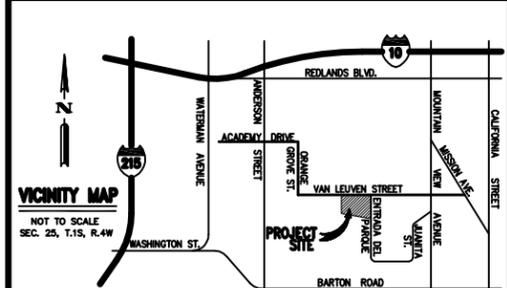


**PACIFIC COAST LAND CONSULTANTS, Inc.**  
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING  
25096 JEFFERSON AVENUE, SUITE "D"  
MURRIETA, CALIFORNIA 92562  
TEL. (951) 698-1350

Underground Service Alert	SCALE	UNDER THE SUPERVISION OF :
Call: TOLL FREE 1-800-422-4133	HORIZONTAL	DATE
SEE ABOVE	VERTICAL	CHRIS D. HOPPER
N.A.		RCE NO. 34821 EXP. 09/30/2013

DATE	INITIAL	REVISION DESCRIPTION

SHEETS <b>1</b>	<b>CITY OF LOMA LINDA</b> ENGINEERING DEPARTMENT	SHEETS <b>1</b>
<b>CONCEPTUAL SITE PLAN</b> PPD 13-07 GOLDEN EAGLE LOMA LINDA APARTMENT		
APPROVED _____ DATE _____		
DIR. OF PUBLIC WORKS/CITY ENGINEER CITY OF LOMA LINDA RCE _____ EXP. DATE ____/____/13		
OWN. BY: BENJIE	PROJECT NO. 12-	DRAWING NO.
CHKD. BY:		
FIELD BK:		



**DEVELOPER/APPLICANT**  
 GOLDEN EAGLE MULTI-FAMILY PROPERTIES, LLC  
 6201 OAK CANYON, SUITE 200  
 IRVINE, CA. 92618

CONTACT : JIM KIECKHAFFER  
 EMAIL : jkieckhafer@sandco.com  
 TELEPHONE : (949) 270-7800

**ENGINEER:**  
 PACIFIC COAST LAND CONSULTANTS, INC.  
 25096 JEFFERSON AVENUE, SUITE "D"  
 MURRIETA, CA. 92562  
 TELEPHONE NO.: (951) 698-1350  
 FAX NO.: (951) 698-8657  
 CONTACT: JEI KIM

**ASSESSOR PARCEL NUMBER:**

0283-142-05	0283-142-11	0283-201-43
0283-142-06	0283-142-12	0283-201-44
0283-142-07		

**SOILS ENGINEER:**  
 CW SOILS, INC.  
 23251 KENT COURT  
 MURRIETA, CA. 92562  
 TELEPHONE NO.: (951) 304-3935  
 CONTACT: CHAD WELKE

**ARCHITECT:**  
 ADKVAS GROUP  
 647 CAMINO DE LOS MARES, SUITE 206  
 SAN CLEMENTE, CA. 92673  
 TELEPHONE NO.: (949) 240-6591  
 FAX NO.: (949) 240-6592

**PROJECT INFORMATION:**  
 OCCUPANCY: R-2 (DWELLINGS)  
 U (GARAGES)

TYPE OF CONSTRUCTION: VA  
 TOTAL INDIVIDUAL UNITS: 87  
 18 ONE BEDROOM / 1 BATH  
 51 TWO BEDROOM / 2 BATH  
 18 THREE BEDROOM / 2 BATH

BUILDING						
BUILDING TYPE I 4 (BLDG)			BUILDING TYPE II 1 (BLDG)			TOTAL (S.F.)
LEVEL	UNITS	AREA (S.F.)	LEVEL	UNITS	AREA (S.F.)	
1	4	7,936	1	1	3,932	
2	8	8,442	2	4	4,221	
3	8	8,442	3	2	2,055	
SUBTOTAL		20	7		10,208	
TOTAL x 4		99,280	TOTAL x 1		10,208	109,488

GARAGES		CLUBHOUSE		TOTAL (S.F.)
DETACHED	UNITS	LEVEL	UNITS	AREA (S.F.)
6-CAR	4	5,236	1	1,659
4-CAR	1	1,309		
SUBTOTAL		6,545		1,659
TOTAL				117,692

**AREA DENSITY CALCULATIONS**

BUILDING FOOTPRINT LEVEL 1	STREET/SIDEWALKS/PARKING	LANDSCAPING/OPEN SPACE	TOTAL AREA
42,571 SF	102,215 SF	45,571 SF	190,357 SF
22.4%	53.6%	24.0%	100.0%

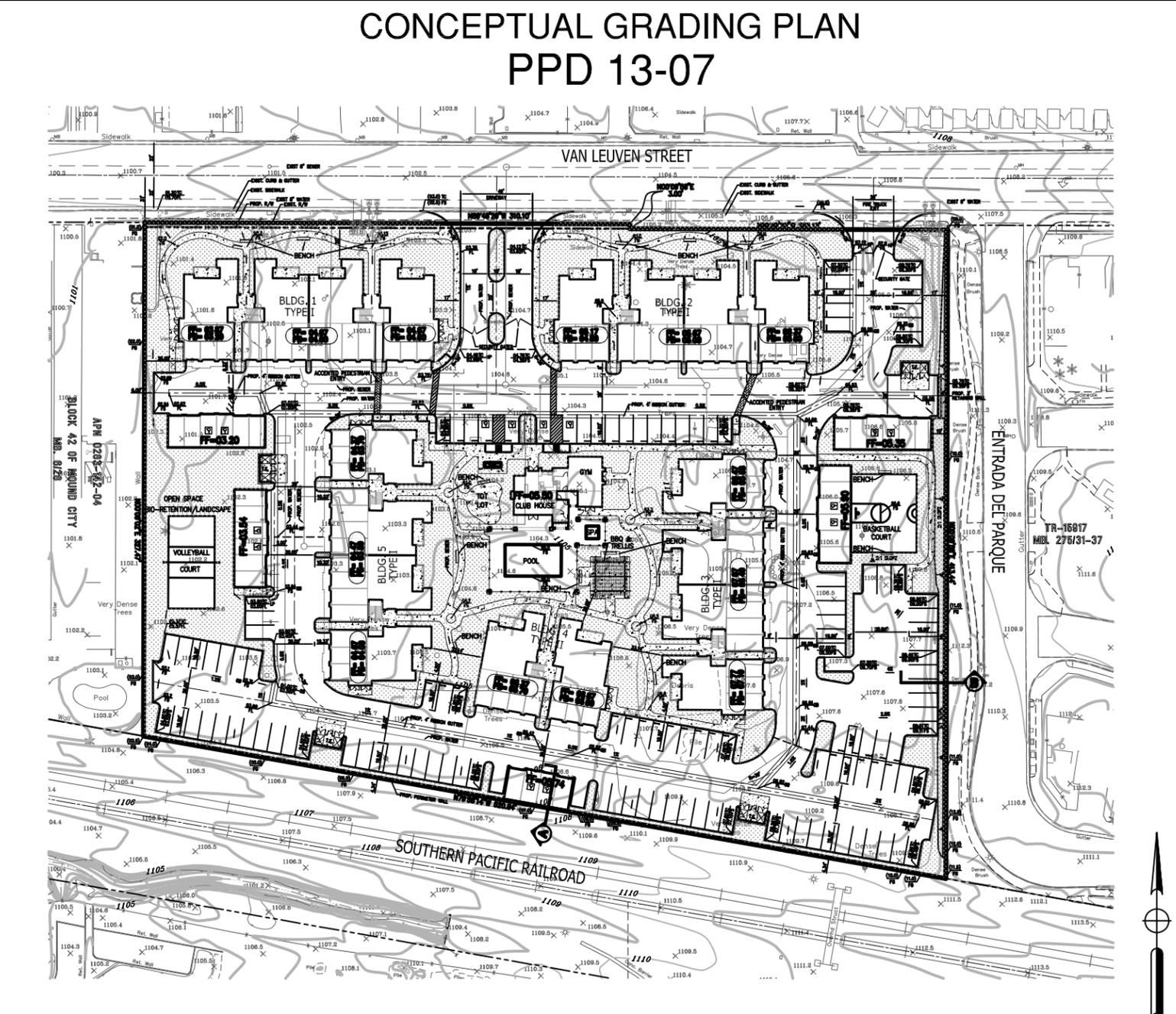
SITE TOTAL = 87 UNITS/4.37AC = 19.90 DU/AC

**PARKING**

REQUIRED	QTY.	GARAGES	OPEN PARKING
1 BR 1.75 x 18	31.5		
2 BR 2.5 x 51	127.5		
3 BR 3.25 x 18	58.5		
ROUNDED UP TO	218		
PROVIDED	219	91	128

**BENCH MARK**  
 BRASS CAP IN WEST FOOTING OF RAILROAD SIGNAL SUPPORT, SOUTH SIDE OF RAILROAD TRACKS, 120' EAST OF CL. AT DEAD END OF BENTON STREET.

DATE: 1-01-1981  
 NGS S-1327  
 ELEVATION: 1113.245

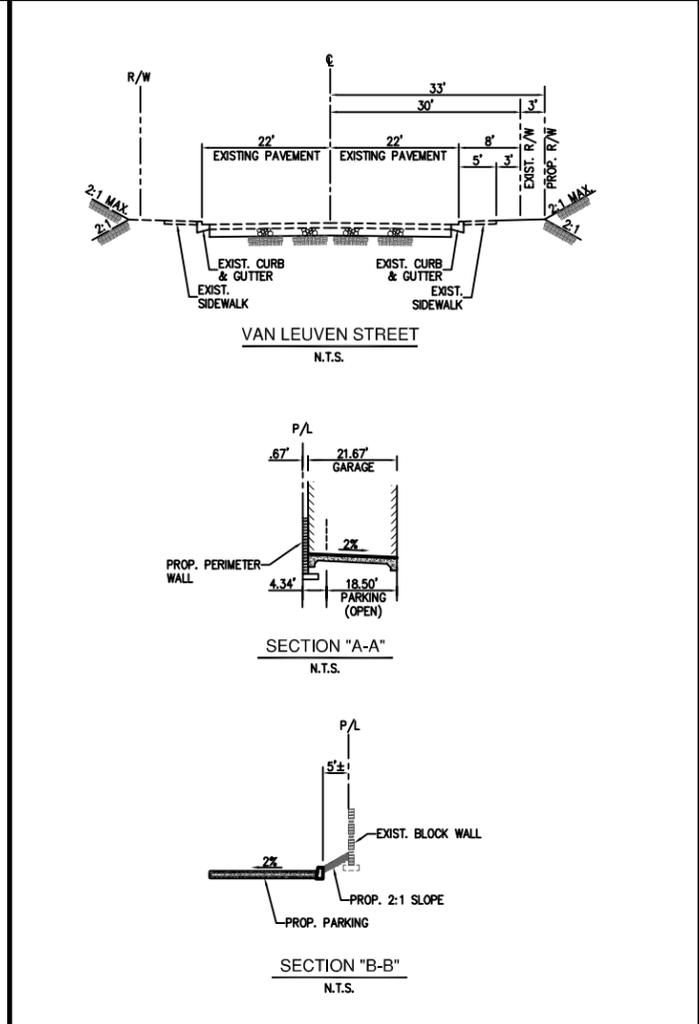


- GENERAL NOTES:**
- DATE PREPARED: JANUARY 04, 2013
  - EXISTING ZONING: MULTI FAMILY RESIDENCE (R3)
  - PROPOSED ZONING: MULTI FAMILY RESIDENCE (R3)
  - EXISTING LAND USE: VERY HIGH DENSITY RESIDENTIAL
  - PROPOSED LAND USE: VERY HIGH DENSITY RESIDENTIAL
  - PROJECT ACREAGE: 4.37 AC GROSS
  - BUILDING OCCUPANCY CODE: R-2
  - CONSTRUCTION TYPE: VA

**LEGAL DESCRIPTION:**  
 A PORTION OF BLOCK 41, MOUND CITY, IN THE CITY OF LOMA LINDA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 6 OF MAPS, PAGE 28 AND PARCELS 1 AND 2 OF PARCEL MAP NO. 1774, AS PER PLAT RECORDED IN BOOK 178 OF PARCEL MAPS PAGE 49, RECORDS OF SAID COUNTY.

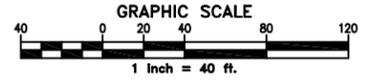
**SOURCE OF TOPO:**  
 PACIFIC LAND CONSULTANTS, INC.  
 P.O. BOX 3762  
 PALOS VERDES, CA. 90274

DATED: JULY 26, 2012  
 TELEPHONE NO.: (310) 544-8689  
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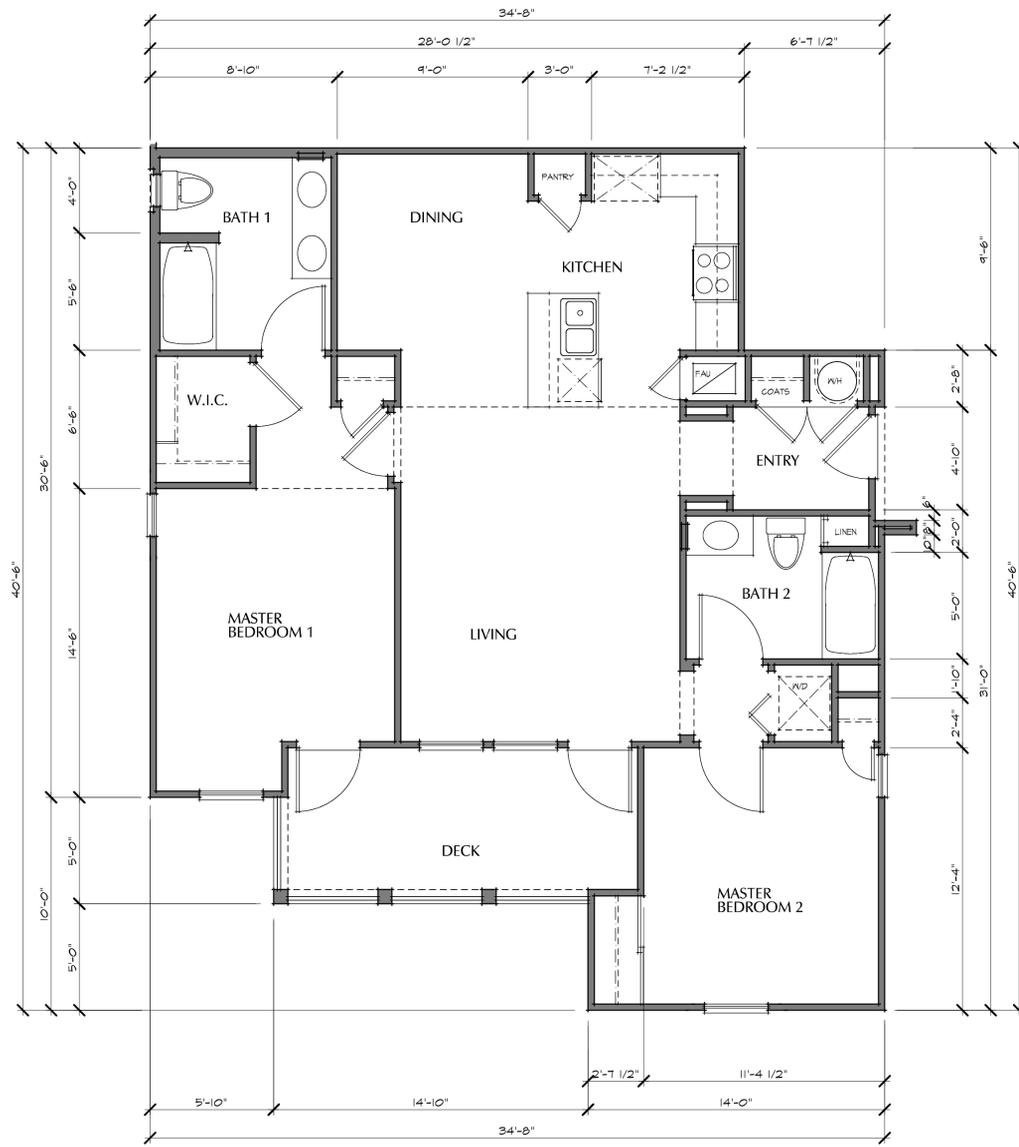


**LEGEND:**

- PROJECT BOUNDARY
- EXISTING RIGHT OF WAY
- EXISTING/PROPOSED CENTERLINE
- EXISTING WATER LINE
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- EXISTING CONTOUR
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- TRASH ENCLOSURE
- FIRE HYDRANT
- EXISTING STORM DRAIN MANHOLE
- EXISTING POWER POLE REMOVE AND RELOCATE



		UNDER THE SUPERVISION OF:		DATE: _____ INITIAL: _____ ENGINEER OF WORK
		SCALE: HORIZONTAL SEE ABOVE VERTICAL: N.A.	UNDER THE SUPERVISION OF: CHRIS D. HOPPER RCE NO. 34821 EXP. 09/30/2013	
SEAL: REGISTERED PROFESSIONAL ENGINEER CHRIS D. HOPPER No. 34821 Exp. 9/30/13 CIVIL STATE OF CALIFORNIA		SHEETS 1 CITY OF LOMA LINDA ENGINEERING DEPARTMENT SHEETS 1 <b>CONCEPTUAL GRADING PLAN</b> PPD 13-07 GOLDEN EAGLE LOMA LINDA APARTMENT		
APPROVED: _____ DATE: _____ DR. OF PUBLIC WORKS/CITY ENGINEER CITY OF LOMA LINDA RCE EXP. DATE: ___/___/13		DWN. BY: BENJIE PROJECT NO. 12-_____ CHRD. BY: _____ DRAWING NO. _____ FIELD BK: _____		



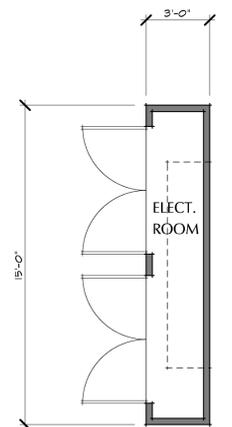
**PLAN "B/BR" FLOOR PLAN**

SCALE: 1/4" = 1'-0"

FLOOR : 1,083 SQ. FT.  
DECK : 123 SQ. FT.

**SQUARE FOOTAGE**

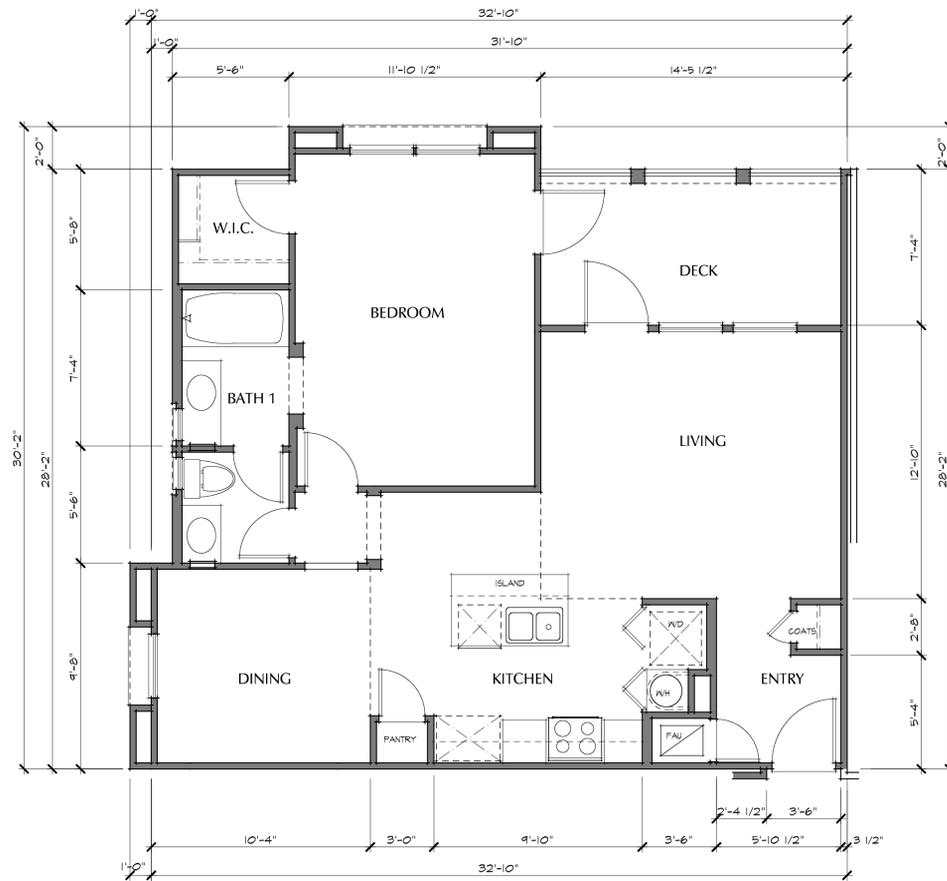
TYP. UNIT	PROVIDED AREA		
	FLOOR SPACE	FLOOR SPACE	DECK/PATIO
BACHOR & ONE BEDROOM	675 SQ.FT.	812 SQ.FT.	106 SQ.FT.
TWO BEDROOM	850 SQ.FT.	1083 SQ.FT.	123 SQ.FT.
THREE BEDROOM	1025 SQ.FT.	1243 SQ.FT.	114 SQ.FT.
PER EACH ADDITIONAL BEDROOM	175 SQ.FT.	- SQ.FT.	- SQ.FT.



**ELECT. ROOM**

SCALE: 1/4" = 1'-0"

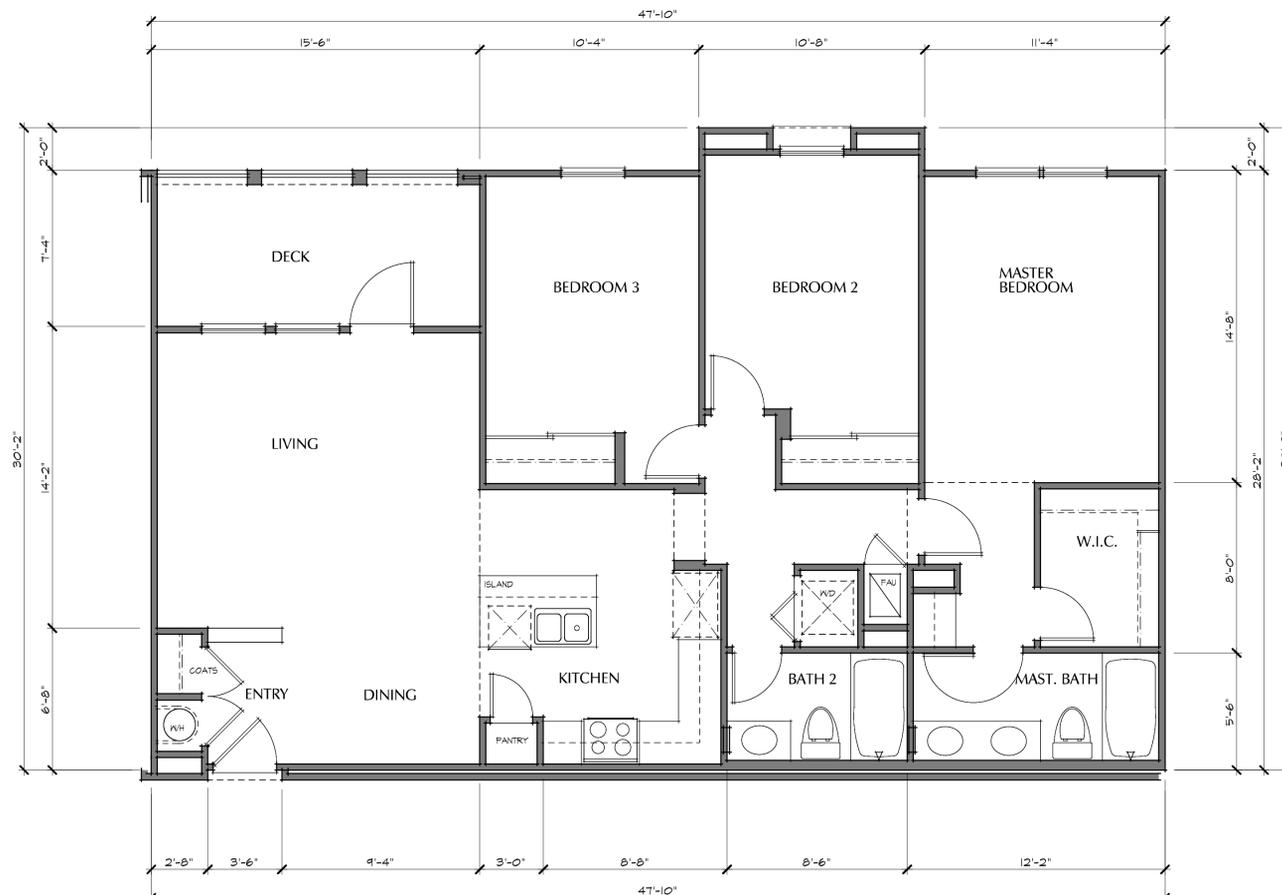
AREA 45 SQ. FT.



**PLAN "A/AR" FLOOR PLAN**

SCALE: 1/4" = 1'-0"

FLOOR : 812 SQ. FT.  
DECK : 106 SQ. FT.



**PLAN "C/CR" FLOOR PLAN**

SCALE: 1/4" = 1'-0"

FLOOR : 1,243 SQ. FT.  
DECK : 114 SQ. FT.

**PROJECT DESCRIPTION**

THIS PROJECT CONSISTS OF A TOTAL OF 87 UNITS IN AN EARLY CALIFORNIA MISSION STYLE ARCHITECTURE. THERE ARE 2 BUILDING TYPES.

TYPE-I HAS 4 BUILDINGS, EACH THREE FULL STORIES IN HEIGHT. THE BUILDINGS FEATURE 12 STACKED 2 BEDROOM, 2 BATH UNITS ALONG WITH 4 STACKED 1 BEDROOM, 1 BATH AND 4 STACKED 3 BEDROOM, 2 BATH CARRIAGE UNITS OVER 14 ENCLOSED GARAGES FOR THE RESIDENTS, ON THE FIRST FLOOR.

TYPE-II HAS 4 BUILDINGS, EACH THREE FULL STORIES IN HEIGHT. THE BUILDINGS FEATURE 12 STACKED 2 BEDROOM, 2 BATH UNITS ALONG WITH 4 STACKED 1 BEDROOM, 1 BATH AND 4 STACKED 3 BEDROOM, 2 BATH CARRIAGE UNITS OVER 14 ENCLOSED GARAGES FOR THE RESIDENTS, ON THE FIRST FLOOR.

ALONG WITH THE APARTMENT UNITS, THERE ARE 4 SIX UNIT DETACHED GARAGES AND 1 FOUR UNIT DETACHED GARAGE BUILDINGS TO ACHIEVE THE TOTAL OF ONE ENCLOSED GARAGE PER UNIT. THESE ARE LOCATED AROUND THE PERIMETER OF THE SITE, ALONG WITH THE REQUIRED OPEN PARKING SPACES FOR RESIDENTS AND GUESTS. THE PROJECT FEATURES A LARGE CENTRAL COMMON AREA WHICH WILL FEATURE A POOL AND SPA, A CLUBHOUSE WITH EXERCISE GYM, A TOT-LOT AND AN OPEN COVERED WOOD TRELLIS AND BARBEQUE STRUCTURE. THE LANDSCAPING WILL FEATURE MEANDERING WALKS, VERDANT GREEN AREAS, & TREES AND SHRUBS CONSISTENT WITH THE CLIMATE ZONE OF LOMA LINDA. ADDITIONAL RECREATIONAL AREAS INCLUDE A PROPOSED 1/2 BASKETBALL COURT AND A VOLLEYBALL COURT FOR RESIDENTS AND GUESTS.

THE PROJECT IS BEING PROPOSED WITH A GATED AND SECURED MAIN ENTRANCE AND A SECONDARY EXIT FOR THE PROJECT. ALL ROADWAYS MEET THE FIRE DEPARTMENT AND REFUSE COLLECTION CO. RADI MINIMUMS.

THE SITE LAYOUT WAS SPECIFICALLY DESIGNED TO HAVE AS FEW UNITS FACE THE EXISTING RAILROAD TRACKS THAT RUN PARALLEL TO THE REAR PROPERTY LINE, HENCE WE HAVE ONLY 4 UNITS THAT LOOK IN THAT DIRECTION. PER THE SUGGESTION OF CITY STAFF, WE HAVE ORIENTED TWO FRONT BUILDINGS FACING VAN LEUVEN WITH THE FRONT ELEVATIONS OF THE BUILDINGS, WITH THE GARAGES IN THE REAR, SO THE STREET VIEW IS NOT OF GARAGE DOORS, OR OPEN PARKING AREAS, BUT RATHER AN EXPANSE OF BEAUTIFUL MISSION STYLE ARCHITECTURE, LONG A STAPLE OF SOUTHERN CALIFORNIA DESIGN. THE EXTERIORS WILL FEATURE STUCCO MIXED WITH WOOD ACCENTS, SHUTTERS, STUCCOED WINDOW AND DOOR TRIMS, WOOD POSTS, DEEPLY RECESSED DECKS AND PATIOS, WROUGHT IRON AND STUCCOED DECK AND PATIO GUARDRAILS AND VARIED YET CONSISTENT ELEVATIONS THROUGH THE USE OF ENTRANCE COURTS AND BUILDING OFFSETS. THE UNITS BREAKDOWNS ARE (18) 1 BEDROOM, 1 BATH UNITS, (51) 2 BEDROOM, 2 BATH UNITS AND (18) 3 BEDROOM, 2 BATH UNITS FOR A TOTAL OF 87 UNITS.

THERE IS ONE LEASING OFFICE. DRAINAGE OF THE SITE WILL BE ACHIEVED BY THE USE OF BIO-SWALES AND ON-SITE UNDERGROUND STORAGE TANK AREAS AS APPLICABLE, WHICH CAN BE REVIEWED ON THE CIVIL DRAWINGS.

# BUILDING TYPE I FLOOR PLANS

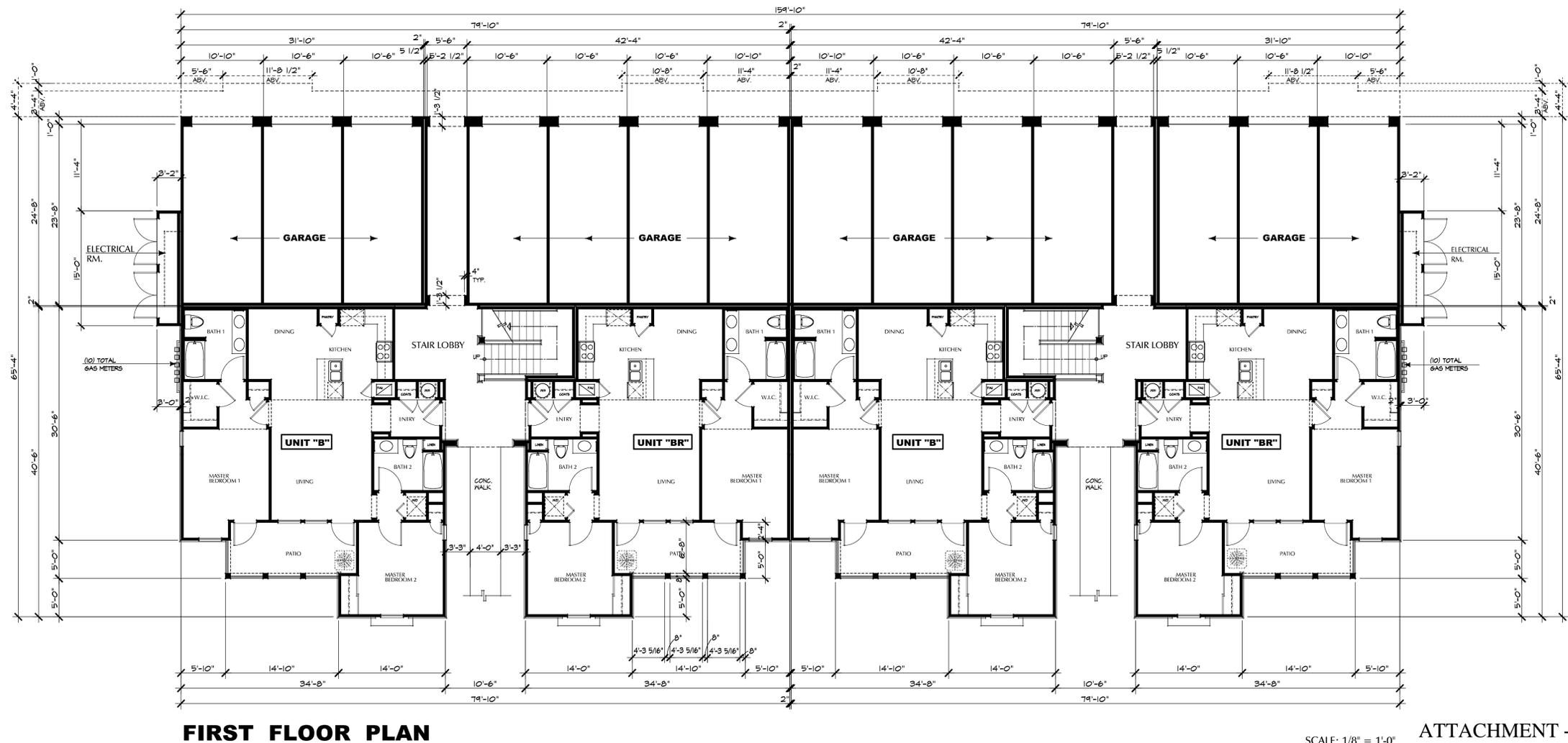
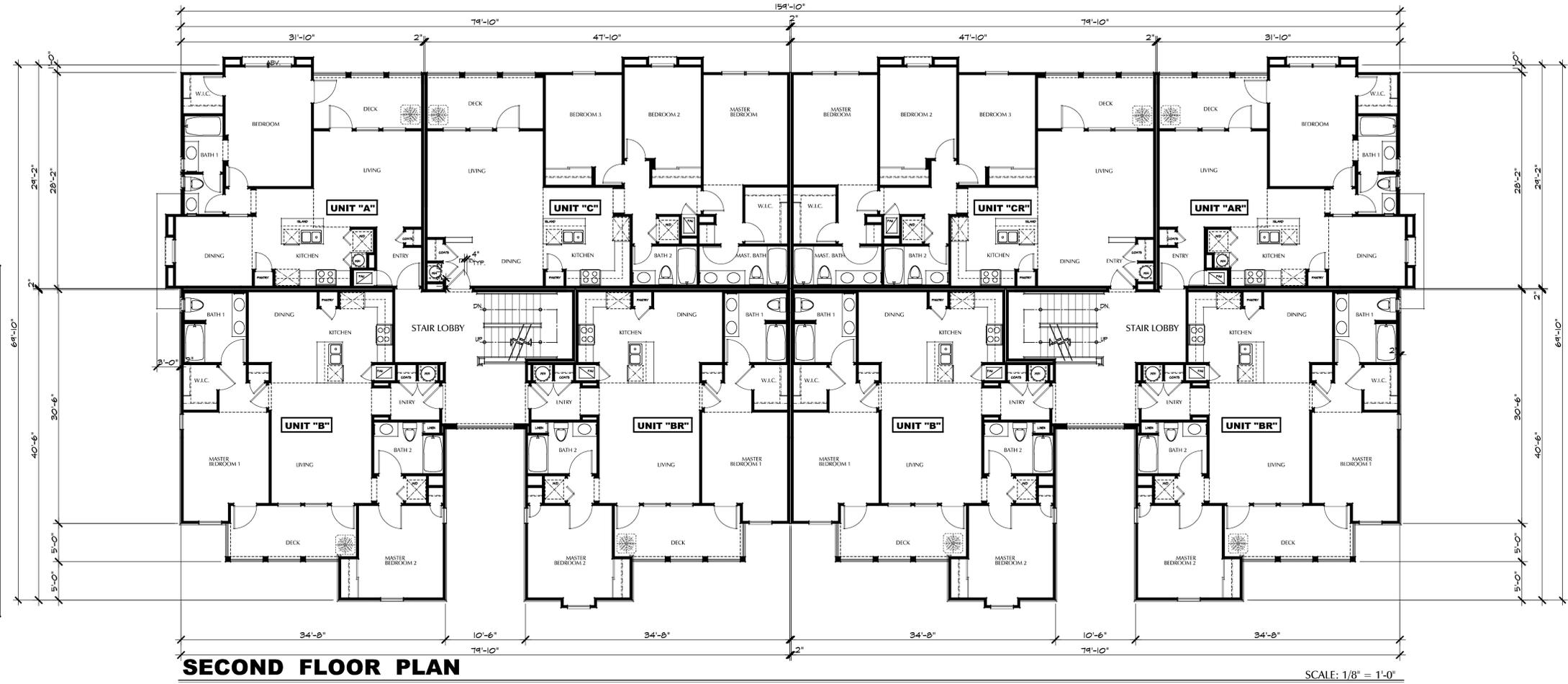
OCCUPANCY GROUP / BLD'G CLASSIFICATION

OCCUPANCY GROUP : R-2 DWELLINGS  
U DETACHED GARAGES

CONSTRUCTION TYPE : VA

## FIRE DEPARTMENT NOTES :

1. ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 13" FIRE SPRINKLER SYSTEM INCLUDING ENCLOSED GARAGES.
2. ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 72" FIRE ALARM SYSTEM.
3. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE EDITIONS OF THE CALIFORNIA BUILDING CODE [CBC] AND THE CALIFORNIA FIRE CODE [CFC] / INTERNATIONAL FIRE CODE [IFC] AS ADOPTED AND AMENDED BY THE CITY OF LOMA LINDAS AND LEGALLY IN EFFECT AT THE TIME OF ISSUANCE OF BUILDING PERMITS.
4. PURSUANT OF CFC SECTION 903, AS AMENDED IN LOMA LINDA MUNICIPAL CODE [LMC] SECTIONS 15.28.230-450, BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S), PURSUANT TO CFC SECTION 901.2, PLANS AND SPECIFICATIONS FOR THE FIRE SPRINKLER SYSTEM(S) SHALL BE SUBMITTED TO FIRE PREVENTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. FIRE FLOW TEST DATA FOR FIRE SPRINKLER CALCULATIONS MUST BE CURRENT WITHIN THE LAST 6 MONTHS. REQUEST FLOW TEST DATA FROM LOMA LINDA FIRE PREVENTION AT (909) 799.2858.
5. PURSUANT OF CFC 907.2, FIRE ALARM SYSTEM TO BE INSTALLED IN NEW BUILDING. PLANS AND SPECIFICATIONS TO SUBMITTED TO THE FIRE PROTECTION BUREAU FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. MULTI FAMILY BUILDINGS ON THE SITE SHALL BE ACCESSIBLE / ADAPTABLE PER CBC, CHAPTER 11A & 11B.
7. SITE FACILITIES SUCH AS PARKING (OPEN AND COVERED), RECREATION FACILITIES, AND TRASH DUMPSTER, SHALL BE ACCESSIBLE PER CBC 11A, 11B & 31B.

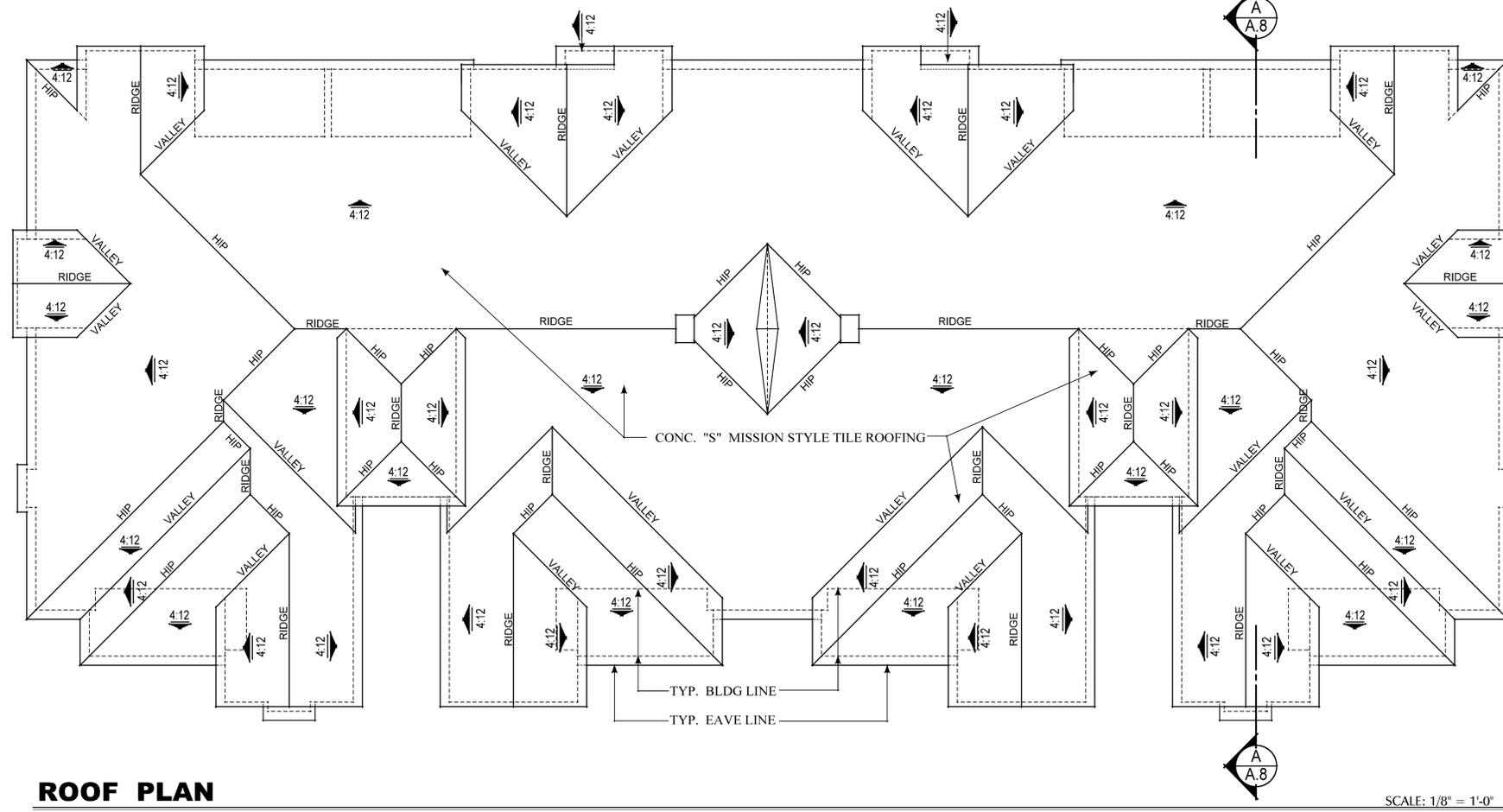


# BUILDING TYPE I 3RD. FLOOR PLAN ROOF PLAN

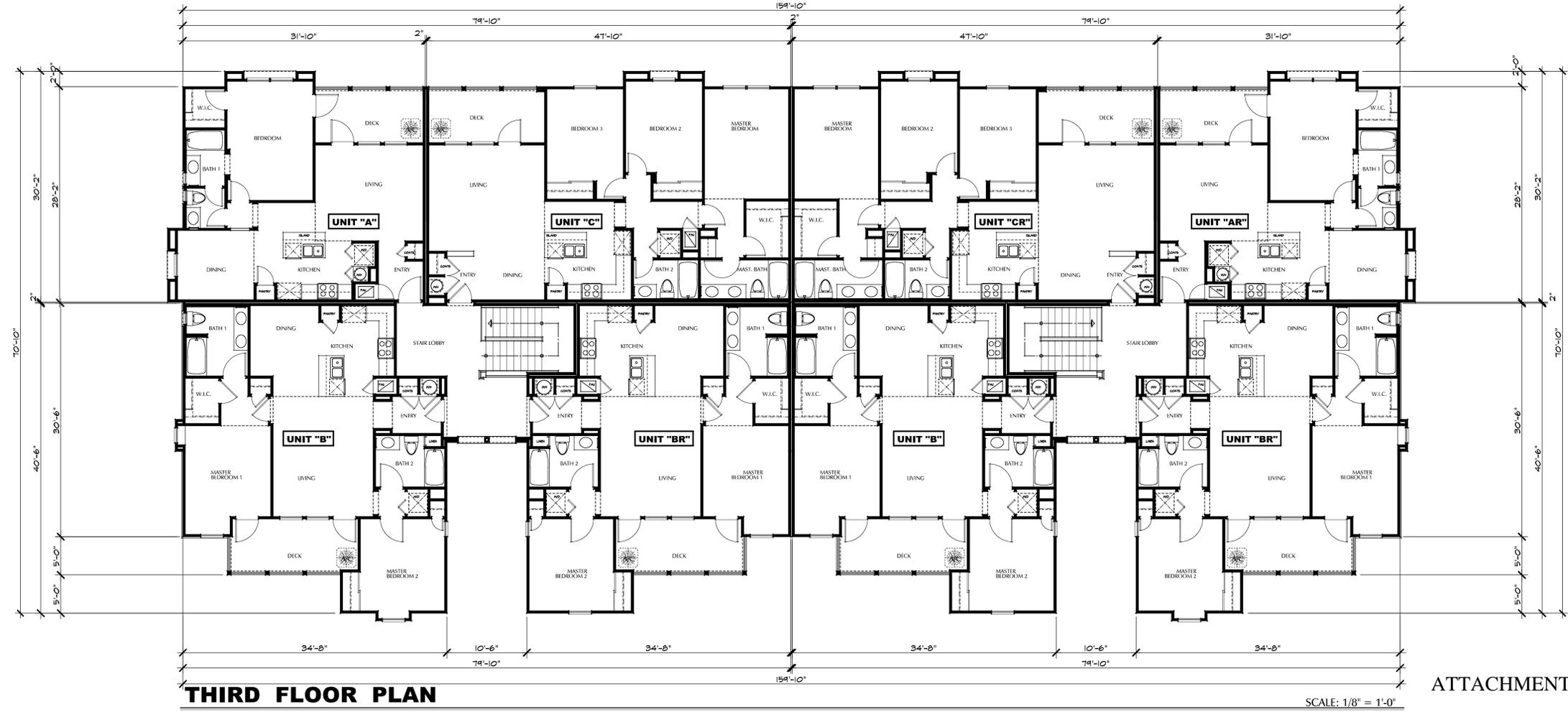
OCCUPANCY GROUP / BLD'G CLASSIFICATION  
 OCCUPANCY GROUP : R-2 DWELLINGS  
 U DETACHED GARAGES  
 CONSTRUCTION TYPE : VA

## FIRE DEPARTMENT NOTES :

1. ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 13" FIRE SPRINKLER SYSTEM INCLUDING ENCLOSED GARAGES.
2. ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 72" FIRE ALARM SYSTEM.
3. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE EDITIONS OF THE CALIFORNIA BUILDING CODE [CBC] AND THE CALIFORNIA FIRE CODE [CFC] / INTERNATIONAL FIRE CODE [IFC] AS ADOPTED AND AMENDED BY THE CITY OF LOMA LINDAS AND LEGALLY IN EFFECT AT THE TIME OF ISSUANCE OF BUILDING PERMITS.
4. PURSUANT OF CFC SECTION 903, AS AMENDED IN LOMA LINDA MUNICIPAL CODE [LLMC] SECTIONS 15.28.230-450, BUILDINGS) SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S), PURSUANT TO CFC SECTION 901.2, PLANS AND SPECIFICATIONS FOR THE FIRE SPRINKLER SYSTEM(S) SHALL BE SUBMITTED TO FIRE PREVENTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. FIRE FLOW TEST DATA FOR FIRE SPRINKLER CALCULATIONS MUST BE CURRENT WITHIN THE LAST 6 MONTHS. REQUEST FLOW TEST DATA FROM LOMA LINDA FIRE PREVENTION AT (909) 799.2858.
5. PURSUANT OF CFC 907.2, FIRE ALARM SYSTEM TO BE INSTALLED IN NEW BUILDING. PLANS AND SPECIFICATIONS TO SUBMITTED TO THE FIRE PROTECTION BUREAU FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. MULTI FAMILY BUILDINGS ON THE SITE SHALL BE ACCESSIBLE / ADAPTABLE PER CBC, CHAPTER 11A & 11B.
7. SITE FACILITIES SUCH AS PARKING (OPEN AND COVERED), RECREATION FACILITIES, AND TRASH DUMPSTER, SHALL BE ACCESSIBLE PER CBC 11A, 11B & 31B.



**ROOF PLAN**



**THIRD FLOOR PLAN**

ATTACHMENT - B5

# BUILDING TYPE I ELEVATIONS

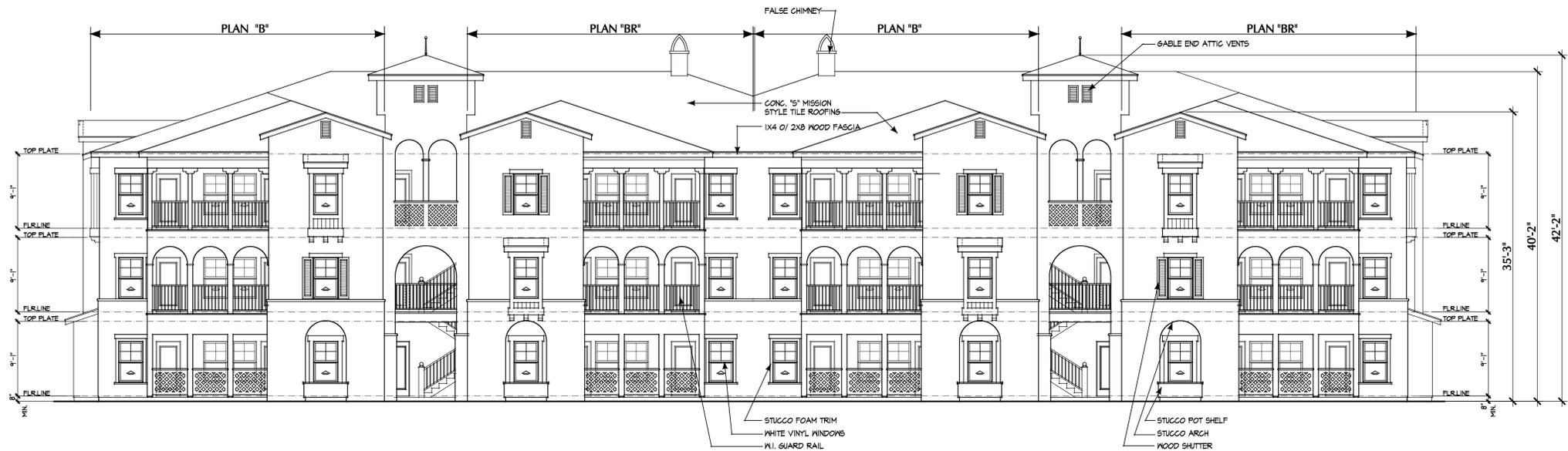
OCCUPANCY GROUP / BLD'G CLASSIFICATION

OCCUPANCY GROUP : R-2 DWELLINGS  
U DETACHED GARAGES

CONSTRUCTION TYPE : VA

## FIRE DEPARTMENT NOTES :

1. ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 13" FIRE SPRINKLER SYSTEM INCLUDING ENCLOSED GARAGES.
2. ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 72" FIRE ALARM SYSTEM.
3. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE EDITIONS OF THE CALIFORNIA BUILDING CODE [CBC] AND THE CALIFORNIA FIRE CODE [CFC] / INTERNATIONAL FIRE CODE [IFC] AS ADOPTED AND AMENDED BY THE CITY OF LOMA LINDAS AND LEGALLY IN EFFECT AT THE TIME OF ISSUANCE OF BUILDING PERMITS.
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5. PURSUANT TO CFC 907.2, FIRE ALARM SYSTEM TO BE INSTALLED IN NEW BUILDING. PLANS AND SPECIFICATIONS TO SUBMITTED TO THE FIRE PROTECTION BUREAU FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. MULTI FAMILY BUILDINGS ON THE SITE SHALL BE ACCESSIBLE / ADAPTABLE PER CBC, CHAPTER 11A & 11B.
7. SITE FACILITIES SUCH AS PARKING (OPEN AND COVERED), RECREATION FACILITIES, AND TRASH DUMPSTER, SHALL BE ACCESSIBLE PER CBC 11A, 11B & 31B.



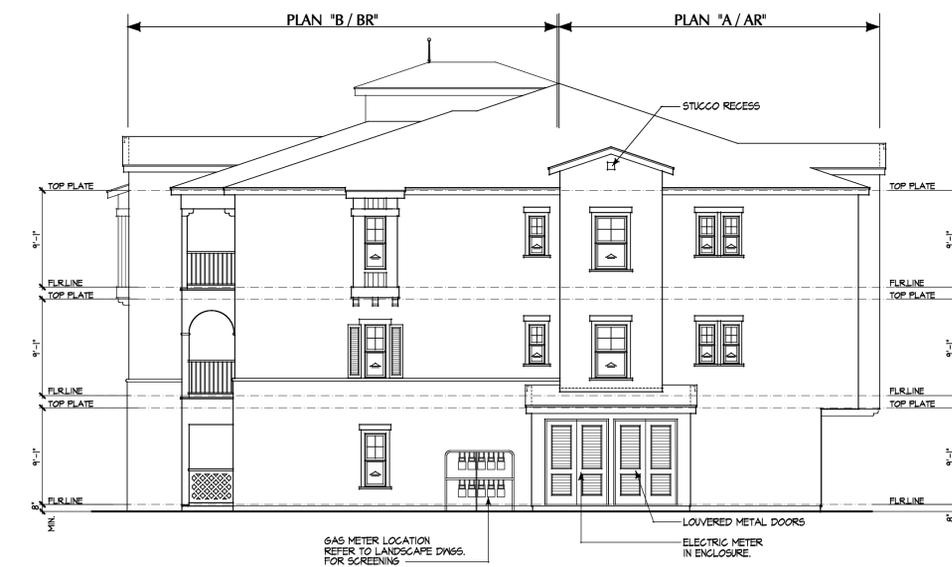
## FRONT ELEVATION

SCALE: 1/8" = 1'-0"



## REAR ELEVATION

SCALE: 1/8" = 1'-0"



## RIGHT SIDE ELEVATION LEFT SIDE [REV.]

SCALE: 1/8" = 1'-0"

### BUILDING COLORS & FINISHES

ROOFING : EAGLE CO. "S" MISSION STYLE "EL. MORADO BLEND"  
SHC 8709 CONCRETE TILE ROOFING.

### APARTMENT BUILDING :

EXTERIOR FINISH : MERLEX CO. SAND FINISH.

STUCCO COLORS : MAIN BODY COLOR : MERLEX CO. P-225 INDIAN CLAY.  
ACCENT STUCCO : MERLEX CO. P-155 MESA BROWN.

PAINTED FINISHES : SOFFIT BEAMS, IRON POOL ENCLOSURE, SECURITY GATE,  
BBQ & REFUSE TRELLIS BEAMS, REFUSE & GARAGE DOORS,  
DECK GUARDRAILS, STAIRWAY STRINGERS, WOOD POSTS  
& STUCCO OVER FOAM TRIMS.  
PAINT WITH PITTSBURGH PAINT OBELISK 415-7 LRV 11.

ENTRY DOORS : PITTSBURGH PAINT AMERICAN ANTHEM 451-4 LRV 29.

REFUSE ENCLOSURES  
& GARAGE BUILDINGS : MERLEX CO. P-255 INDIAN CLAY.

WINDOWS & SLIDING DOORS : MILGUARD DUAL GLAZED WHITE VINYL UNITS.

STAIR TREADS : PRECAST NATURAL CONCRETE COLOR (GRAY).

# BUILDING TYPE II FLOOR PLANS

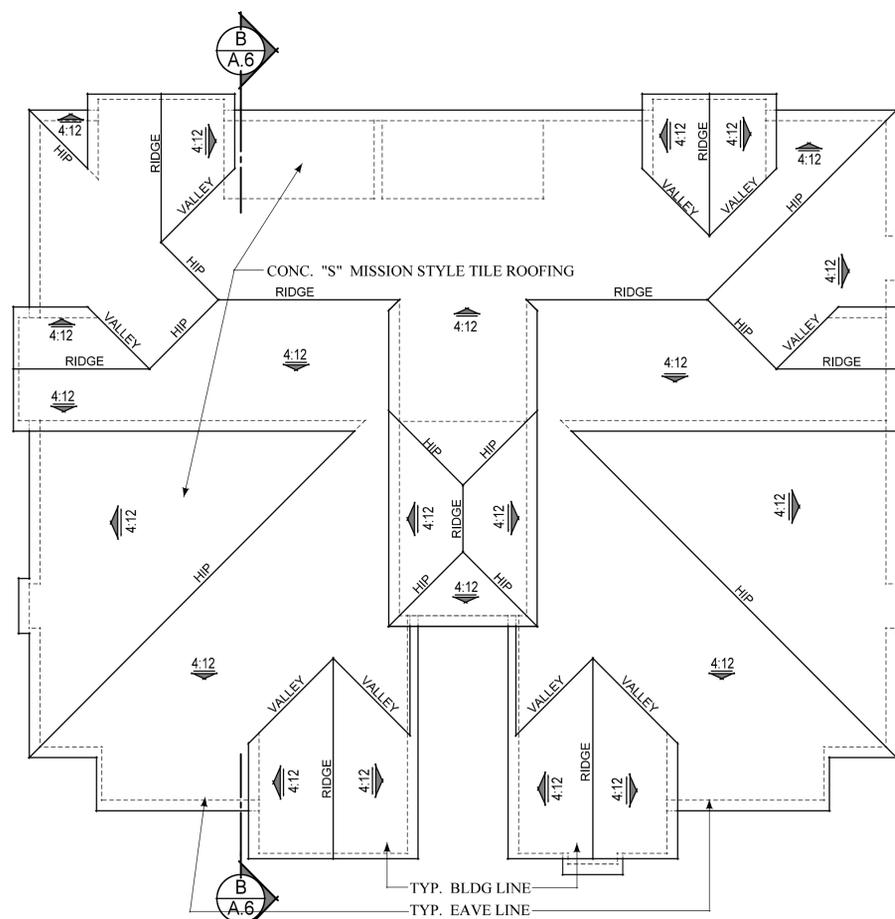
OCCUPANCY GROUP / BLD'G CLASSIFICATION

OCCUPANCY GROUP: R-2 DWELLINGS  
U DETACHED GARAGES

CONSTRUCTION TYPE: VA

## FIRE DEPARTMENT NOTES:

- ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 13" FIRE SPRINKLER SYSTEM INCLUDING ENCLOSED GARAGES.
- ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 72" FIRE ALARM SYSTEM.
- ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE EDITIONS OF THE CALIFORNIA BUILDING CODE [CBC] AND THE CALIFORNIA FIRE CODE [CFC] / INTERNATIONAL FIRE CODE [IFC] AS ADOPTED AND AMENDED BY THE CITY OF LOMA LINDAS AND LEGALLY IN EFFECT AT THE TIME OF ISSUANCE OF BUILDING PERMITS.
- PURSUANT OF CFC SECTION 903, AS AMENDED IN LOMA LINDA MUNICIPAL CODE [LLMC] SECTIONS 15.28.230-450, BUILDINGS SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). PURSUANT TO CFC SECTION 901.2, PLANS AND SPECIFICATIONS FOR THE FIRE SPRINKLER SYSTEM(S) SHALL BE SUBMITTED TO FIRE PREVENTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. FIRE FLOW TEST DATA FOR FIRE SPRINKLER CALCULATIONS MUST BE CURRENT WITHIN THE LAST 6 MONTHS. REQUEST FLOW TEST DATA FROM LOMA LINDA FIRE PREVENTION AT (909) 799.2858.
- PURSUANT OF CFC 907.2, FIRE ALARM SYSTEM TO BE INSTALLED IN NEW BUILDING. PLANS AND SPECIFICATIONS TO SUBMITTED TO THE FIRE PROTECTION BUREAU FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- MULTI FAMILY BUILDINGS ON THE SITE SHALL BE ACCESSIBLE / ADAPTABLE PER CBC, CHAPTER 11A & 11B.
- SITE FACILITIES SUCH AS PARKING (OPEN AND COVERED), RECREATION FACILITIES, AND TRASH DUMPSTER, SHALL BE ACCESSIBLE PER CBC 11A, 11B & 31B.



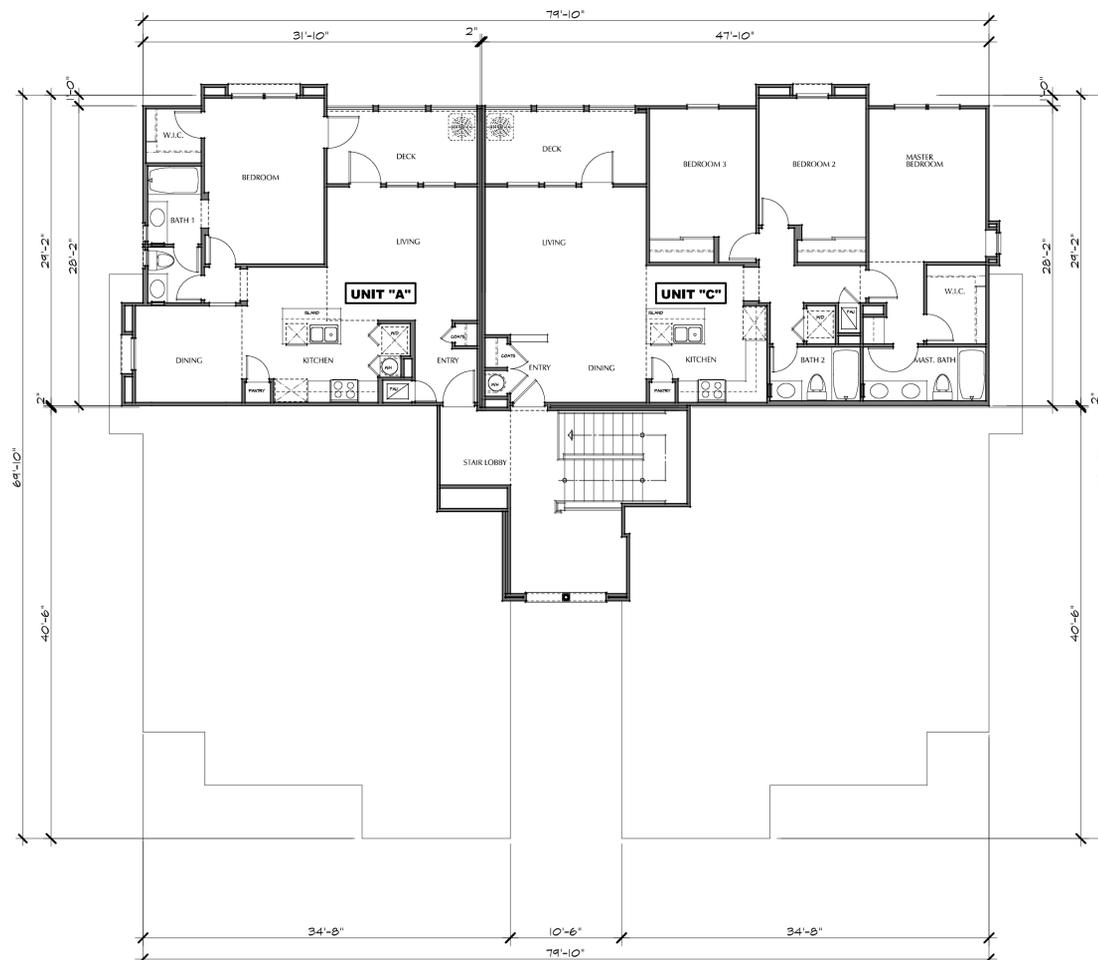
**ROOF PLAN**

SCALE: 1/8" = 1'-0"



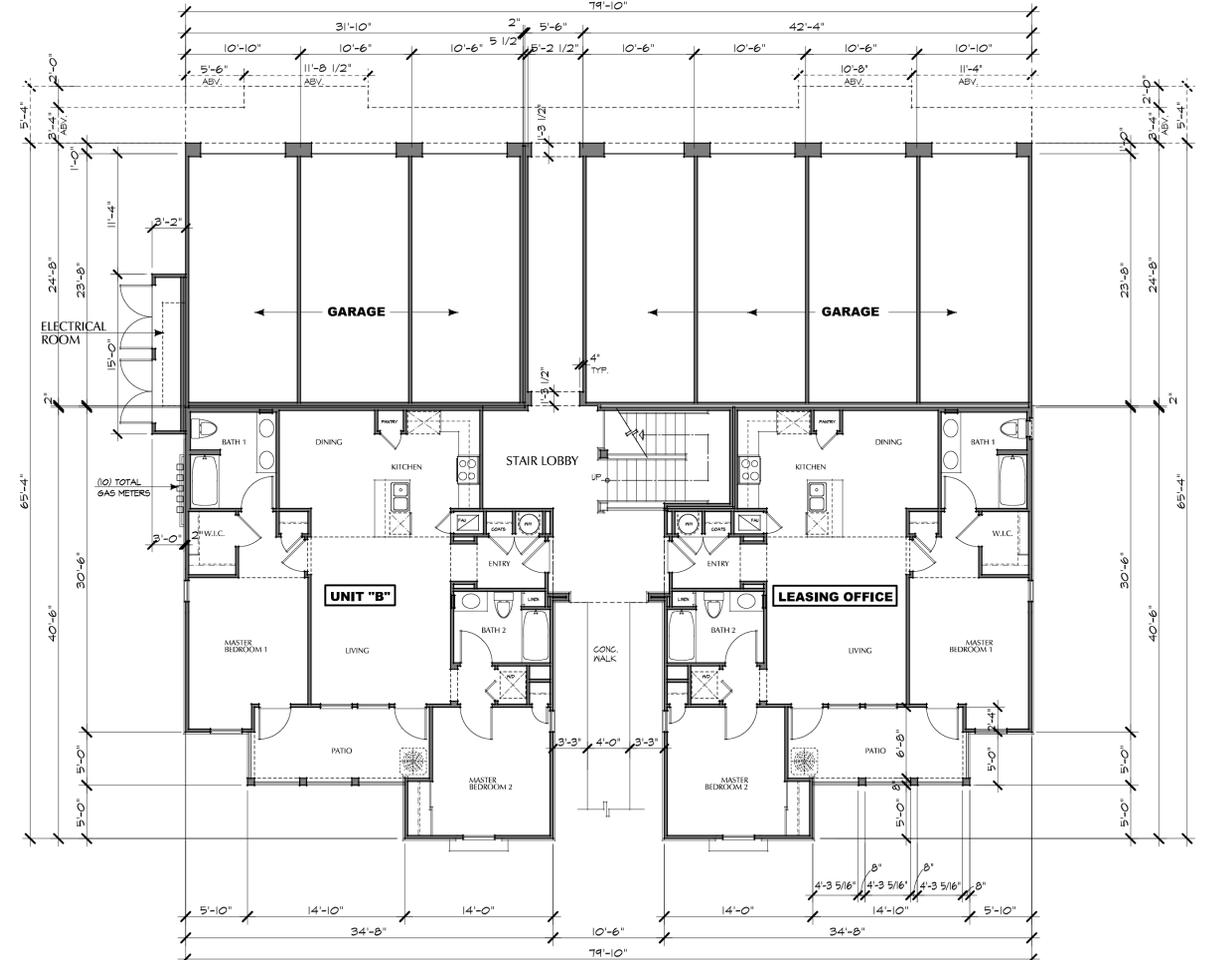
**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**THIRD FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

ATTACHMENT - B

ATTACHMENT - B7

**ADKVAS**  
GROUP  
DESIGNERS & PLANNERS ■ 647 CAMINO DE LOS VAREZ ■ SUITE 206 ■ SAN CLEMENTE, CA 92673 ■ (949) 246 6591

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ADKVAS GROUP. THEY ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ALL RIGHTS ARE RESERVED. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

**87 UNIT APARTMENT PROJECT**  
VAN LUYVEN STREET, LOMA LINDA, CALIFORNIA  
DEVELOPED BY: GOLDEN EAGLE MULTI-FAMILY PROPERTIES, LLC  
6201 OAK CANYON SUITE 250 IRVINE, CA 92618  
TEL: (949) 270-7781

**JOB NUMBER**

2013 LL

**DATE**

6/20/2013

**SHEET TITLE**

**BLDG. TYPE - II FLOOR PLANS & ROOF PLAN**

**REVISIONS**

NO.	DESCRIPTION

**SHEET NO**

**A.5**

REV. DATE: 6/20/2013

# BUILDING TYPE II ELEVATIONS BLDG. SECTION

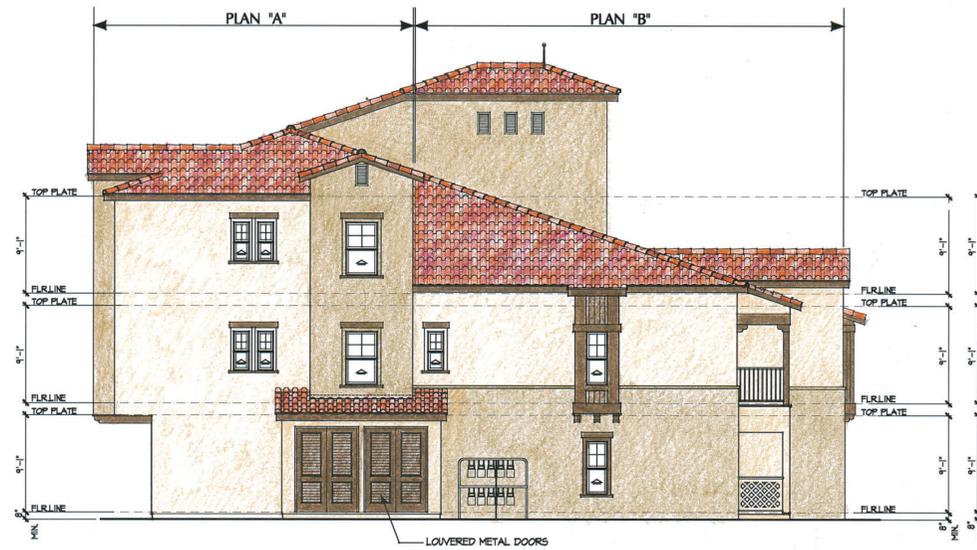
OCCUPANCY GROUP / BLD'G CLASSIFICATION

OCCUPANCY GROUP : R-2 DWELLINGS  
U DETACHED GARAGES

CONSTRUCTION TYPE : VA

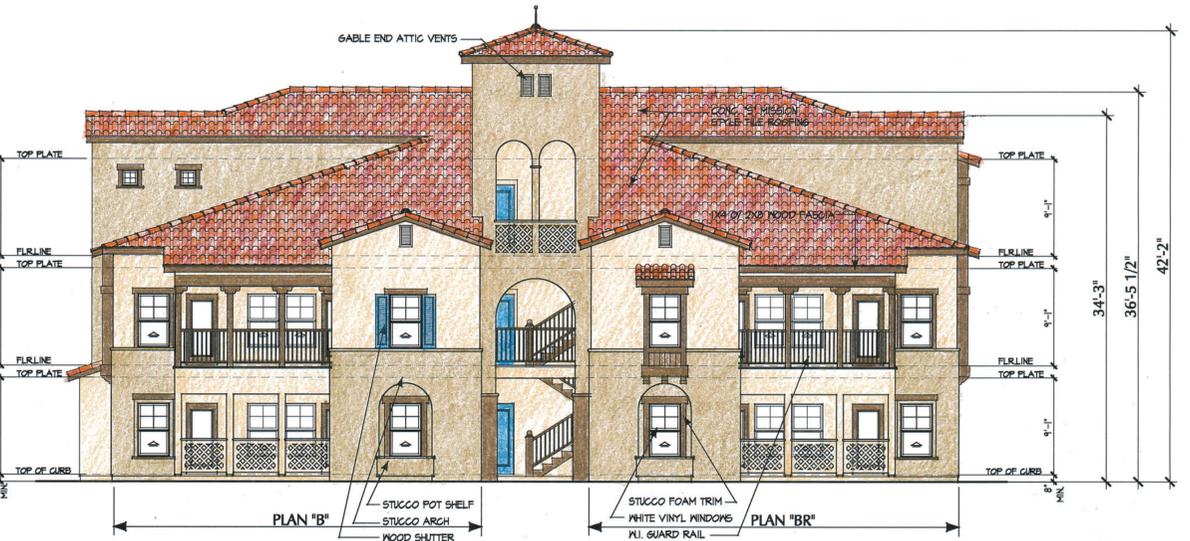
## FIRE DEPARTMENT NOTES :

- ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 13" FIRE SPRINKLER SYSTEM INCLUDING ENCLOSED GARAGES.
- ALL STRUCTURES TO BE EQUIPPED WITH AN "NFPA 72" FIRE ALARM SYSTEM.
- ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE EDITIONS OF THE CALIFORNIA BUILDING CODE [CBC] AND THE CALIFORNIA FIRE CODE [CFC] / INTERNATIONAL FIRE CODE [IFC] AS ADOPTED AND AMENDED BY THE CITY OF LOMA LINDAS AND LEGALLY IN EFFECT AT THE TIME OF ISSUANCE OF BUILDING PERMITS.
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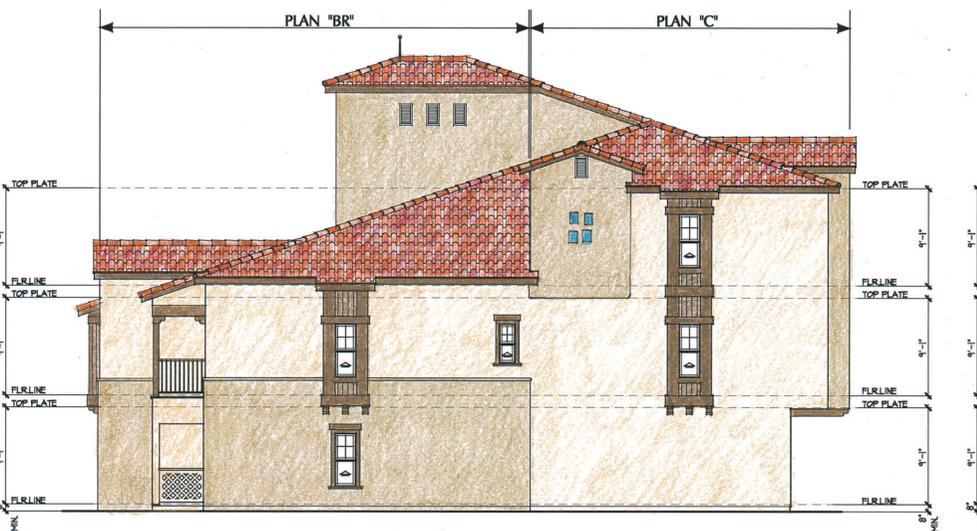
**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



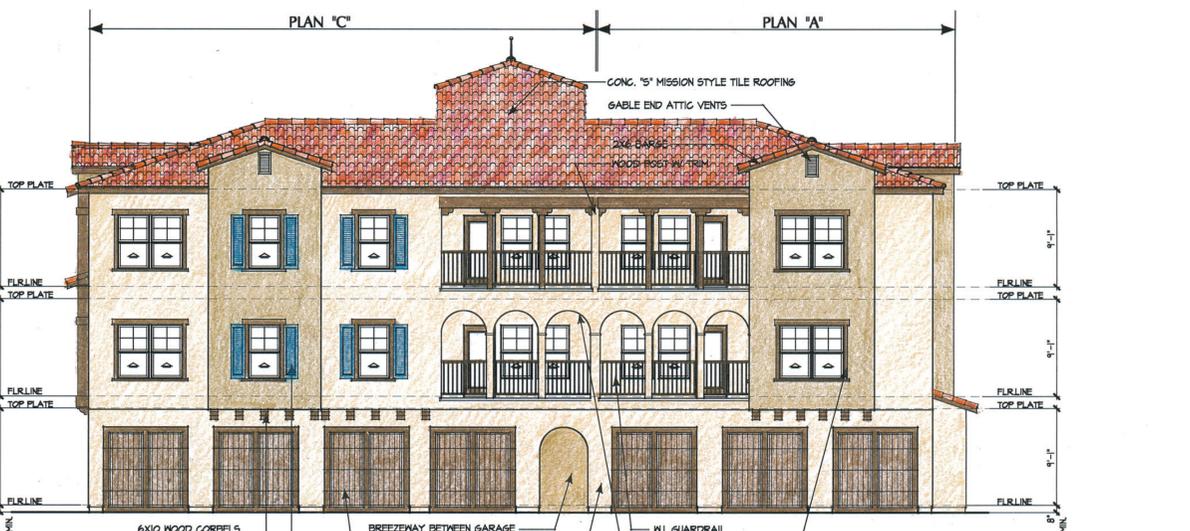
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



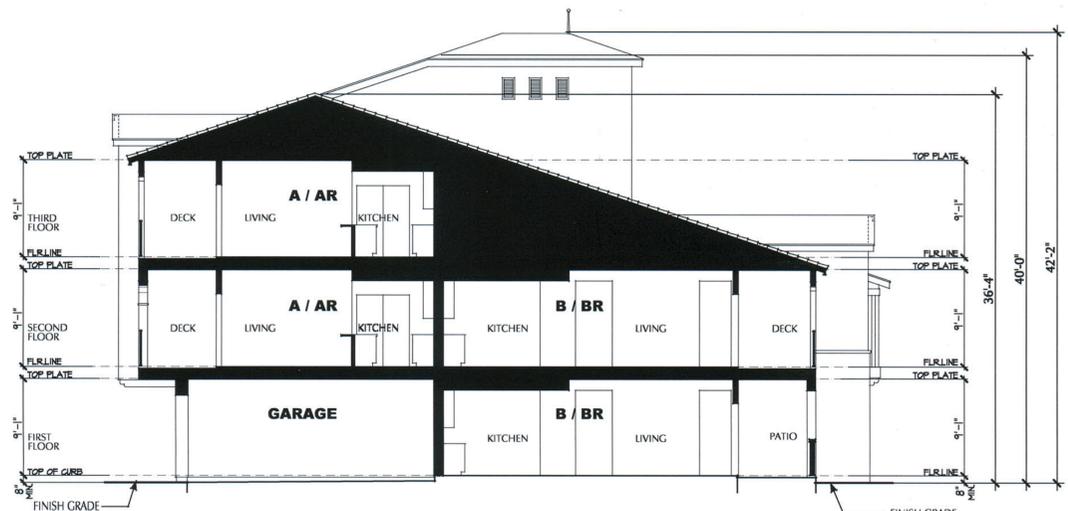
**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



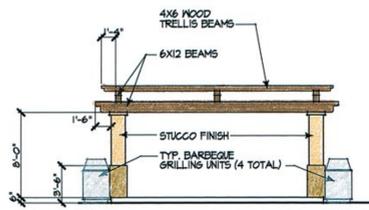
**BUILDING SECTION**

SCALE: 1/8" = 1'-0"

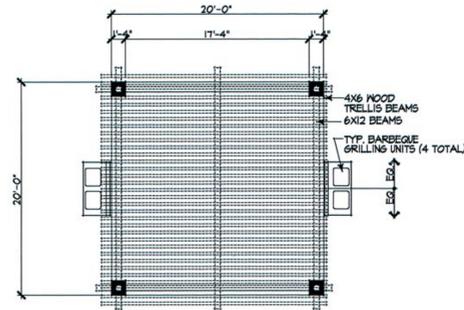
## BUILDING COLORS & FINISHES

- ROOFING : EAGLE CO. "S" MISSION STYLE "EL MORADO BLEND"  
SHC 8709 CONCRETE TILE ROOFING.
- APARTMENT BUILDING :
- EXTERIOR FINISH : MERLEX CO. SAND FINISH.
- STUCCO COLORS : MAIN BODY COLOR : MERLEX CO. P-225 INDIAN CLAY.  
ACCENT STUCCO : MERLEX CO. P-155 MESA BROWN.
- PAINTED FINISHES : SOFFIT BEAMS, IRON POOL ENCLOSURE, SECURITY GATE,  
BBQ & REFUSE TRELIS BEAMS, REFUSE & GARAGE DOORS,  
DECK GUARDRAILS, STAIRWAY STRINGERS, WOOD POSTS  
& STUCCO OVER FOAM TRIMS.  
PAINT WITH PITTSBURGH PAINT OBELISK 415-7 LRV 11.
- ENTRY DOORS : PITTSBURGH PAINT AMERICAN ANTHEM 451-4 LRV 29.
- REFUSE ENCLOSURES  
& GARAGE BUILDINGS : MERLEX CO. P-255 INDIAN CLAY.
- WINDOWS & SLIDING DOORS : MILGUARD DUAL GLAZED WHITE VINYL UNITS.
- STAIR TREADS : PRECAST NATURAL CONCRETE COLOR (GRAY).

ATTACHMENT - B8



**FRONT ELEVATION**



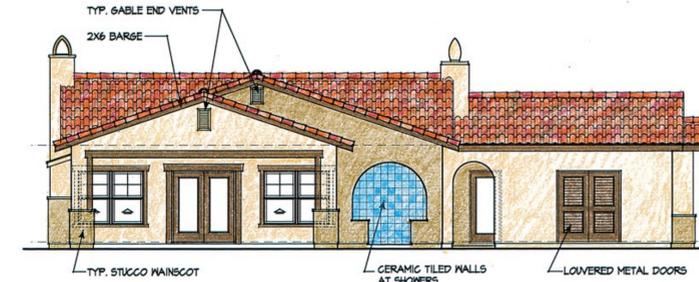
**PLAN VIEW**  
SCALE: 1/8" = 1'-0"

**BBQ TRELLIS**



**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



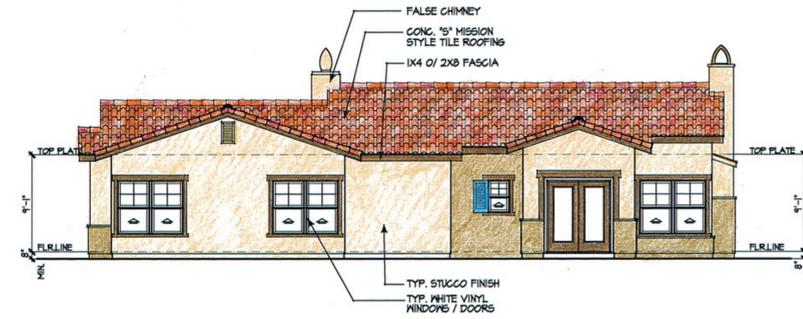
**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



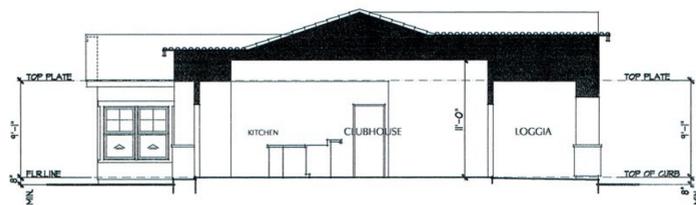
**LEFT ELEVATION**

SCALE: 1/8" = 1'-0"



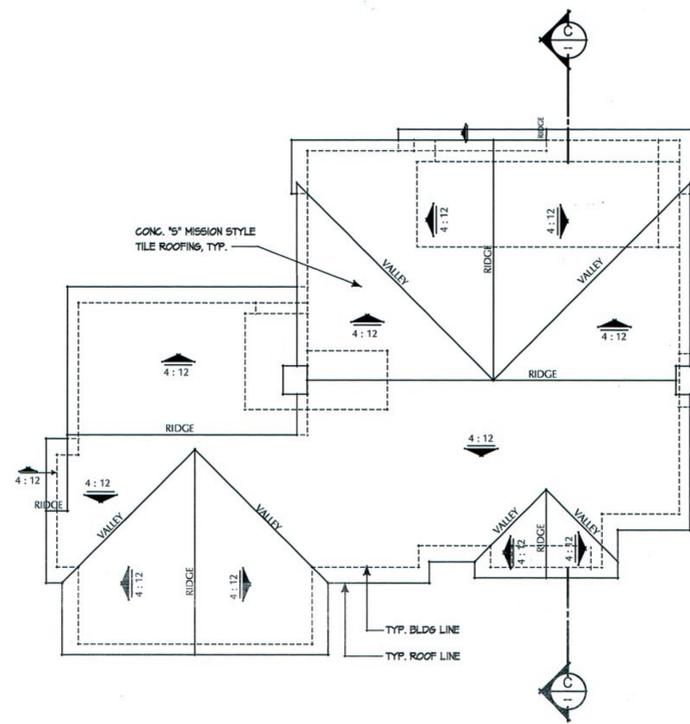
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



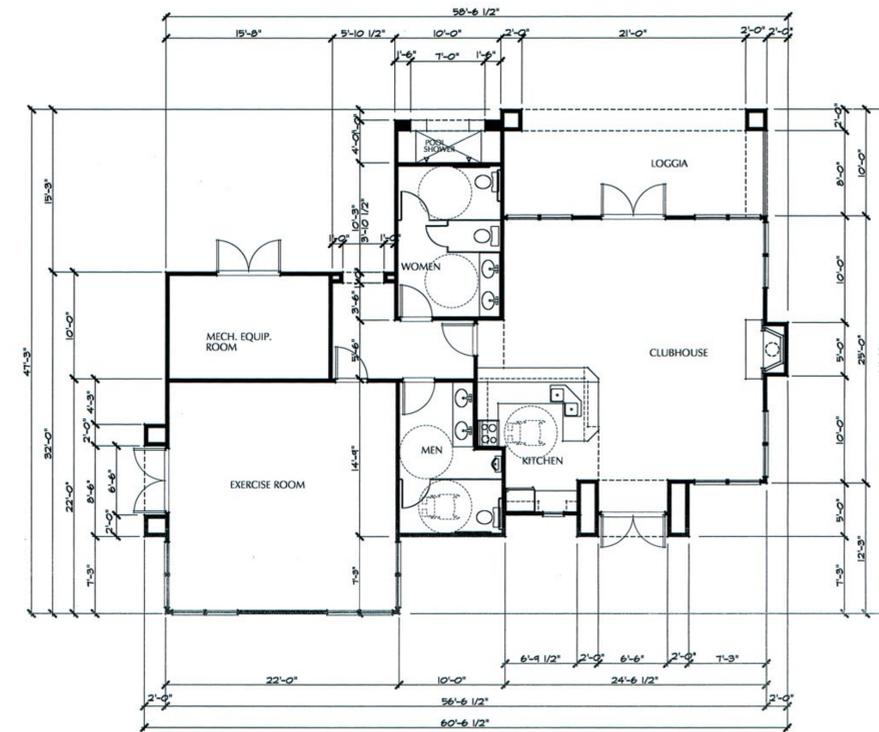
**BUILDING SECTION "C - C"**

SCALE: 1/8" = 1'-0"



**ROOF PLAN**

SCALE: 1/8" = 1'-0"



**FLOOR PLAN**

SCALE: 1/8" = 1'-0"

CLUBHOUSE : 1,659 SQ. FT.  
LOGGIA : 247 SQ. FT.

ATTACHMENT - B9

# GARAGE BLD'G & MAILBOX, REFUSE ENCLOSURES & ENTRY SECURITY GATE

OCCUPANCY GROUP / BLD'G CLASSIFICATION

OCCUPANCY GROUP : R-2 DWELLINGS  
U DETACHED GARAGES

CONSTRUCTION TYPE : VA

BUILDING COLORS & FINISHES

ROOFING : EAGLE CO. "S" MISSION STYLE "EL MORADO BLEND"  
SHC 8709 CONCRETE TILE ROOFING.

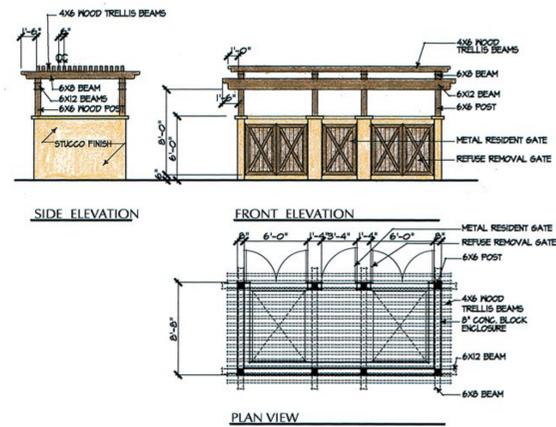
APARTMENT BUILDING :

EXTERIOR FINISH : MERLEX CO. SAND FINISH.

STUCCO COLORS : MAIN BODY COLOR : MERLEX CO. P-225 INDIAN CLAY.  
ACCENT STUCCO : MERLEX CO. P-155 MESA BROWN.

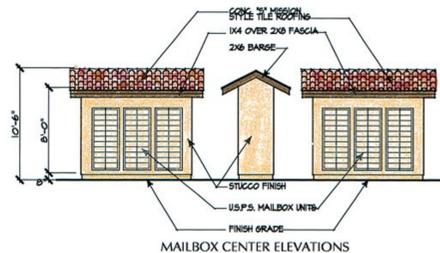
PAINTED FINISHES : SOFFIT BEAMS, IRON POOL ENCLOSURE, SECURITY GATE,  
BBQ & REFUSE TRELLIS BEAMS, REFUSE & GARAGE DOORS,  
DECK GUARDRAILS, STAIRWAY STRINGERS, WOOD POSTS &  
STUCCO OVER FOAM TRIMS. PAINT WITH PITTSBURGH PAINT OBELISK 415-7 LRV 11.

REFUSE ENCLOSURES & GARAGE BUILDINGS : MERLEX CO. P-255 INDIAN CLAY.



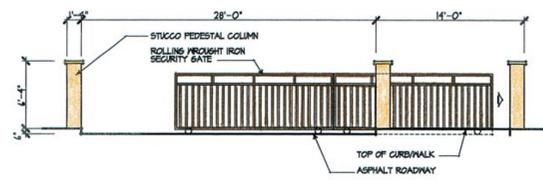
## REFUSE ENCLOSURE

SCALE: 1/8" = 1'-0"



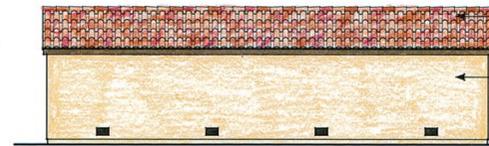
## MAILBOX

SCALE: 1/8" = 1'-0"



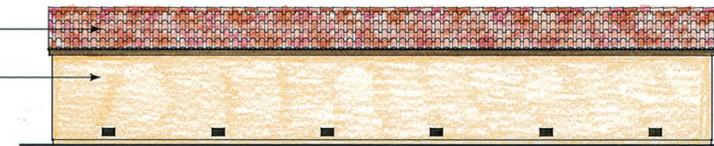
## SECURITY GATE

SCALE: 1/8" = 1'-0"



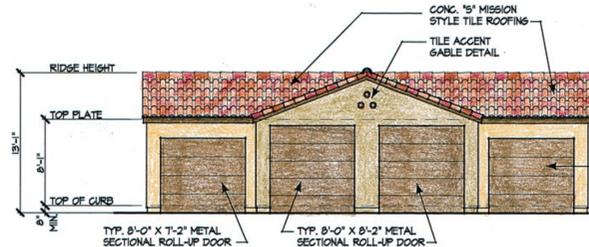
## REAR ELEVATION

SCALE: 1/8" = 1'-0"



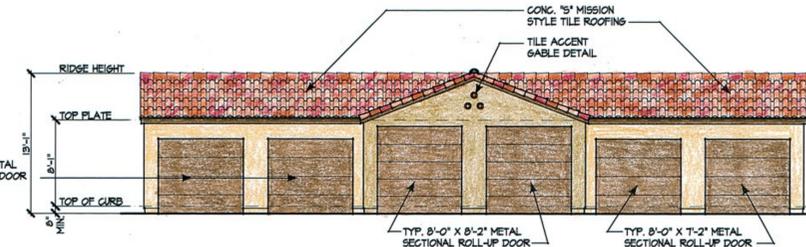
## REAR ELEVATION

SCALE: 1/8" = 1'-0"



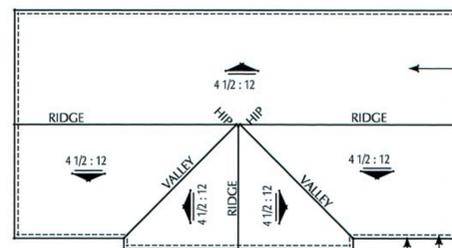
## FRONT ELEVATION

SCALE: 1/8" = 1'-0"



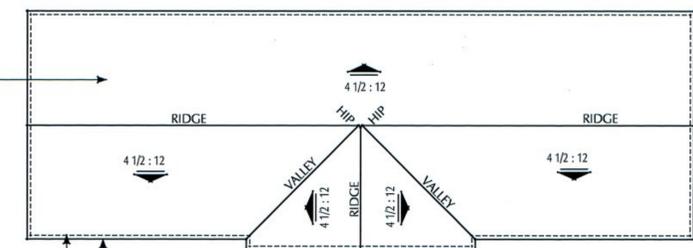
## FRONT ELEVATION

SCALE: 1/8" = 1'-0"



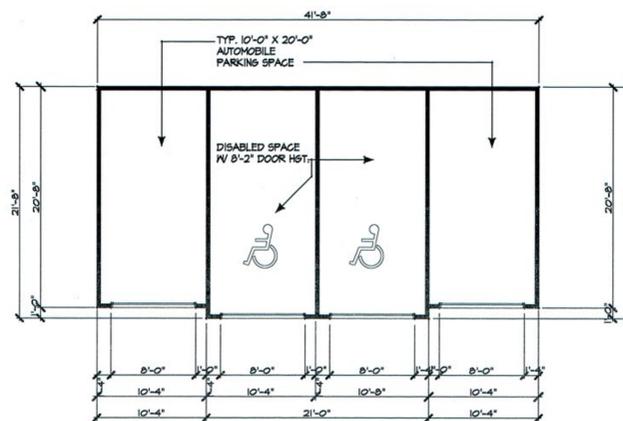
## ROOF PLAN

SCALE: 1/8" = 1'-0"



## ROOF PLAN

SCALE: 1/8" = 1'-0"

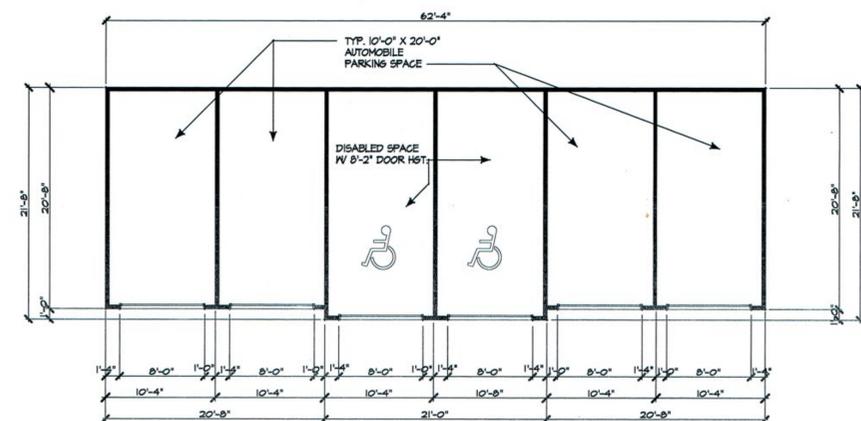


## FLOOR PLAN

SCALE: 1/8" = 1'-0"

GARAGE: 882 SQ. FT.

## 4 SPACE GARAGE



## FLOOR PLAN

SCALE: 1/8" = 1'-0"

GARAGE: 1,309 SQ. FT.

## 6 SPACE GARAGE

TOT LOT WITH RUBBERIZED PLAY SURFACE

YAN LEUVEN STREET

POOL  
SPA

ENTRADA DEL PARQUE

BIO-RETENTION BASIN

HALF COURT BASKETBALL

COLORLED CONCRETE POOL DECK

SHADE STRUCTURE

6' BENCH (TYP.)

SAND VOLLEYBALL COURT

SOUTHERN PACIFIC RAILROAD

CONCEPT PLANT SCHEDULE

	EVERGREEN PERIMETER TREE - 24" BOX ACACIA STENOPHYLLA / SHOESTRING ACACIA PINUS ELДАРICA / AFGHAN PINE	57
	DECIDUOUS CANOPY TREE - 24" BOX PISTACIA X 'RED PUSH' / PISTACHE	29
	FLOWERING ACCENT TREE - 24" BOX CERCIS CANADENSIS 'FOREST PANSY' TM / FOREST PANSY REDBUD LAGERSTROEMIA X 'TUSCARORA' / GRAPE MYRTLE CORAL PINK X CHITALPA TASHKENTENSIS 'PINK DAWN' / PINK DAWN CHITALPA	29
	LARGE EVERGREEN CANOPY TREE - 36" BOX OLEA EUROPAEA 'SAN GABRIEL' / SAN GABRIEL FRUITLESS OLIVE QUERCUS ILEX / HOLLY OAK SCHINUS MOLLE / CALIFORNIA PEPPER TREE MULTI-TRUNK	7
	SMALL EVERGREEN CANOPY TREE - 24" BOX ACACIA PENDULA / WEEPING MYALL MAGNOLIA GRANDIFLORA 'LITTLE GEM' / DWARF SOUTHERN MAGNOLIA RHUS LANCEA / AFRICAN SUMAC	31
	STREET TREE VAN LEUVEN ST. - 24" BOX AT 35' O.G. LAGERSTROEMIA X 'MUSKOGEE' / GRAPE MYRTLE LIGHT LAVENDER	12
	PROJECT THEME TREE - 36" BOX SCHINUS MOLLE / CALIFORNIA PEPPER TREE MULTI-TRUNK	4
	SHRUBS & GROUNDCOVERS - ONE OR FIVE GALLON PER 25 S.F. ACACIA REDOLENS 'DESERT CARPET' TM / BANK CATCLAW ANIGOZANTHOS X 'BUSH GOLD' / KANGAROO PAW ANIGOZANTHOS X 'BUSH SUNSET' / RED KANGAROO PAW BERBERIS THUNBERGII 'ATROPURPUREA NANA' / DWARF REDLEAF JAPANESE BARBERRY CAESALPINIA GILLIESII / YELLOW BIRD OF PARADISE CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH DIANELLA TASMANICA 'YELLOW STRIPE' / GOLDEN FLAX LILY FESTUCA GLAUCA 'ELIJAH BLUE' / BLUE FESCUE HESPERALOE PARVIFLORA / RED YUCCA HEUCHERA X 'SANTA ANA CARDINAL' / CORAL BELLS JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER LEPTOSPERMUM SCOPARIUM / NEW ZEALAND TEA TREE LIRIOPE MUSCARI 'VARIEGATA' / VARIEGATED LILY TURF LOROPETALUM CHINENSE 'SNOWMOUND' / SNOWMOUND LOROPETALUM MISCANTHUS SINENSIS 'VARIEGATUS' / VARIEGATED MAIDEN GRASS MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY MUHLENBERGIA RIGENS / DEER GRASS MYOPORUM PARVIFOLIUM 'PINK' / TRAILING MYOPORUM ROSA X 'FLOWER CARPET PINK' / ROSE ROSA X 'FLOWER CARPET RED' / ROSE ROSA X 'FLOWER CARPET WHITE' / ROSE ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY SALVIA CHAMAEDRYOIDES / MEXICAN BLUE SAGE SALVIA GREGGII 'RED' / AUTUMN SAGE TEUCRIUM CHAMAEDRYIS 'PROSTRATUM' / PROSTRATE GERMANDER TEUCRIUM FRUTICANS 'COMPACTA' / BUSH GERMANDER	12,587 SF
	DROUGHT TOLERANT TURF BUCHLOE DACTYLOIDES 'UC VERDE' / UC VERDE BUFFALO GRASS	6,144 SF
	BIO-RETENTION BASIN PLANTING - ONE GALLON PER 6.25 S.F. CAREX PANSA / SANDDUNE SEDGE JUNCUS PATENS / CALIFORNIA GRAY RUSH	697 SF

NOTE: THIS LANDSCAPE PLAN WILL COMPLY WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE and CITY STANDARDS

MAXIMUM APPLIED WATER ALLOWANCE

$MAMA = (Eto) (.7) (LA) (.62)$

$55.6 \times .7 \times 48,235 \times .62 = 1,163,929 \text{ GAL/YEAR}$

ESTIMATED TOTAL WATER USE

$ETWU = (Eto) (.62) \frac{(PLANT FACTOR) (LA)}{4}$

SHRUB/GC  $55.6 \times .62 \times \frac{5 \times 42,106}{4} = 806,376 \text{ GAL/YEAR}$

TURF  $55.6 \times .62 \times \frac{6 \times 61,291}{7} = 1,81,096 \text{ GAL/YEAR}$

NO EXISTING TREES ARE TO BE PRESERVED OR REMOVED FROM THE SITE.  
ALL LANDSCAPE AREAS SHOWN SHALL BE PRIVATELY MAINTAINED.  
ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW-FLOW DRIP SYSTEM.  
ALL LANDSCAPE AREAS TO RECEIVE MIN. 3" LAYER OF SHREDDED BARK MULCH.  
LANDSCAPE PLANS SHALL COMPLY WITH ALL APPLICABLE CODES OF THE LOMA LINDA MUNICIPAL CODE



Landscape Architecture  
11262 Warmingington St.  
Riverside, CA 92503  
(951) 353-2436



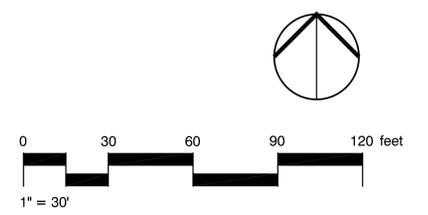
REGISTERED LANDSCAPE ARCHITECT  
L. WILSON  
NO. 2122  
STATE OF CALIFORNIA  
RENEWED DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_  
I hereby certify that I am the author of the above work and that I am a duly licensed professional landscape architect in the State of California.  
L. WILSON  
11262 WARMINGTON ST.  
RIVERSIDE, CA 92503  
(951) 353-2436

GOLDEN EAGLE APARTMENTS - LOMA LINDA  
VAN LEUVEN STREET  
GOLDEN EAGLE MULTI-FAMILY PROPERTIES, LLC  
6501 CHOC CANYON, SUITE 150  
IRVINE, CA 92618  
(949) 710-1181

CONCEPTUAL LANDSCAPE

Drawn by: BMS  
Date: 7-17-18  
Revisions:

13001







FOR  
EAGLE MULTI-FAMILY PROPERTIES, LLC.  
CANYON SUITE 250 IRVINE, CA 92618  
270-7781

**RENAISSANCE APARTMENT HOMES**  
**87 UNITS PROJECT**  
VAN LEUVEN STREET, LOMA LINDA, CA

**A D K V A S**  
**G R O U P**  
DESIGNERS & PLANNERS • 847 CARNO DE LOS MARES • SUITE 208 • SAN CLEMENTE, CA 92673 •

ATTACHMENT B13



FOR  
EAGLE MULTI-FAMILY PROPERTIES, LLC.  
CANYON SUITE 250 IRVINE, CA 92618  
770-7781

**RENAISSANCE APARTMENT HOMES**  
**87 UNITS PROJECT**  
VAN LEUVEN STREET, LOMA LINDA, CA

**ADKVAS**  
**GROUP**  
DESIGNERS & PLANNERS • 847 CAMINO DE LOS MARES • SUITE 208 • SAN CLEMENTE, CA 92673 •

ATTACHMENT B14



DEVELOPER  
GOLDEN EAGLE MULTI-FAMILY PROPERTIES, LLC.  
6201 OAK CANYON SUITE 250 IRVINE, CA 92618  
TEL: 949 270-7781

**RENAISSANCE APARTMENT HOMES**  
**87 UNITS PROJECT**  
VAN LEUVEN STREET, LOMA LINDA, CA

**A D K V A S**  
**G R O U P**  
DESIGNERS & PLANNERS • 647 CAMINO DE LOS MARES • SUITE 206 • SAN CLEMENTE, CA 92673 • (949) 240 6591

# Golden Eagle Multi-Family Properties, LLC.

6201 Oak Canyon Road, Suite 250 • Irvine, California 92618 • (949) 874-7474

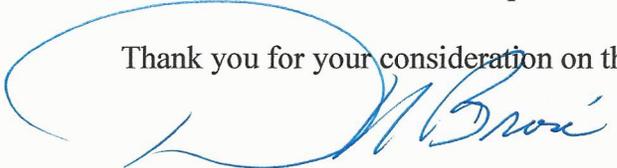
May 27, 2015

**Mr. Guillermo Arreola**  
**City of Loma Linda**  
**Community Development Dept.**  
25541 Barton Road  
Loma Linda, CA 92354

**Precise Plan of Design 13-78**  
**Tentative Parcel Map 13-32 (19452)**  
**Variance 13-67**

We would like to request an extension of time on the above. Due to market and financing conditions, we have been unable to proceed in the allowable time frame. Now with improved conditions, we will be able to proceed forward with the project.

Thank you for your consideration on this matter.



**Danny Brose**  
*Managing Director*

**REVISED  
CONDITIONS OF APPROVAL  
PRECISE PLAN OF DESIGN (PPD) NO. 13-07  
TENTATIVE PARCEL MAP NO. 13-32  
VARIANCE NO. 13-067  
(City Council – July 28, 2015)  
(Planning Commission – July 1, 2015)**

**COMMUNITY DEVELOPMENT DEPARTMENT**

1. Within two years of this approval, the Precise Plan of Design shall be exercised or the permit/approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of two years, the permit/approval shall become null and void.

**PROJECT:**  
**Precise Plan of Design No. 13-07**

**EXPIRATION DATE:**  
**July 28, 2015**

2. The Owner shall indemnify, protect, defend, and hold harmless the City, and any agency or instrumentality thereof, and officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the project and the approvals granted herein. Furthermore, Owner shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against another governmental entity in which Owner's project is subject to that other governmental entity's approval and a condition of such approval is that the City indemnify and defend such governmental entity. City shall promptly notify the Owner of any claim, action, or proceeding. City shall further cooperate fully in the defense of the action. Should the City fail to either promptly notify or cooperate fully, the Owner shall not thereafter be responsible to indemnify, defend, protect, or hold harmless the City, any agency or instrumentally thereof, or any of its officers, officials, employees, or agents.
3. Construction shall be in substantial conformance with the plan(s) approved by the City Council. Minor modification to the plan(s) shall be subject to approval by the Director through a minor administrative variation process. Any modification that exceeds 10% of the following allowable measurable design/site considerations shall require the refilling of the original application and a subsequent hearing by the appropriate hearing review authority if applicable:
  - a. On-site circulation and parking, loading and landscaping;
  - b. Placement and/or height of walls, fence and structures;
  - c. Reconfiguration of architectural features, including colors, and/or modification of finished materials that do not alter or compromise the previously approved theme; and,
  - d. A reduction in density or intensity of a developmental project.

4. No vacant, relocated, altered, repaired or hereafter erected structure shall be occupied or no change of use of land or structure(s) shall be inaugurated, or no new business commenced as authorized by this permit until a Certificate of Occupancy has been issued by the Building Division. A Temporary Certificate of Occupancy may be issued by the Building Division subject to the conditions imposed on the use, provided that a deposit is filed with the Community Development Department prior to the issuance of the Certificate, if necessary. The deposit or security shall guarantee the faithful performance and completion of all terms, conditions, and performance standards imposed on the intended use by this permit.
5. The developer shall register with the Crime Free Multi-Housing Program which closely works with San Bernardino County Sheriff's Department personnel to address crime prevention.
6. The project and future development and/or improvements shall conform to the approved set of plans depicting site design, layout and aesthetics of the housing product.
7. Approval of PPD No. 13-07 is contingent upon the applicant and property owners signing and returning the Revised Conditions of Approval.
8. The applicant shall provide infrastructure for the Loma Linda Connected Community Program, which includes providing a technologically enabled development that includes coaxial, cable, and fiber optic lines to all outlets in each unit of the development (including custom single-family residences). Plans for the location of the infrastructure shall be provided with the precise grading plans and reviewed and approved by the City of Loma Linda prior to issuing grading permits. Please contact Information Systems Supervisor at (909) 799-2897 for further information.
9. This permit or approval is subject to all the applicable provisions of the Loma Linda Municipal Code, Title 17 in effect at the time of approval, and includes development standards and requirements relating to: dust and dirt control during construction and grading activities; emission control of fumes, vapors, gases, and noise control; odor control; screening; signs, off-street parking and off-street transformers, boxes, ducts or meter cabinets shall be architecturally screened by wall or structural element, blending with the building design and include landscaping when on the ground.
10. The contractor shall utilize (as much as possible) pre-coated building materials and coating transfer or spray equipment with high transfer efficiency, such as high volume, low pressure (HVLP) spray method, or manual coating applications such as paint brush, hand roller, trowel, dauber, rag, or sponge.
11. The project proponent shall ensure that any portion of the site to be graded shall be pre-watered prior to the onset of grading activities.
  - a. The project proponent shall ensure that watering of the site or other soil stabilization method shall be employed on an on-going basis after the initiation of any grading activity on the site. Portions of the site that are actively being graded shall be watered regularly to ensure that a crust is formed on the ground surface, and shall be watered at the end of each workday.
  - b. The project proponent shall ensure that all disturbed areas are treated to prevent erosion until the site is constructed upon.
  - c. The project proponent shall ensure that landscaped areas are installed as soon as possible to reduce the potential for wind erosion.

- d. The project proponent shall ensure that all grading activities are suspended during first and second stage ozone episodes or when winds exceed 25 miles per hour.
12. To reduce emissions, all equipment used in grading and construction must be tuned and maintained to the manufacturer's specification to maximize efficient burning of vehicle fuel.
13. The project proponent shall ensure that existing power sources are utilized where feasible via temporary power poles to avoid on-site power generation during construction.
14. The project proponent shall ensure that construction personnel are informed of ride sharing and transit opportunities.
15. All buildings on the project site shall conform to energy use guidelines in Title 24 of the California Administrative Code.
16. The operator shall maintain and effectively utilize and schedule on-site equipment in order to minimize exhaust emissions from truck idling.
17. The operator shall comply with all existing and future CARB and SCAQMD regulations related to diesel-fueled trucks, which may include among others: (1) meeting more stringent emission standards; (2) retrofitting existing engines with particulate traps; (3) use of low sulfur fuel; and (4) use of alternative fuels or equipment.
18. The applicant shall implement SCAQMD Rule 403 and standard construction practices during all operations capable of generating fugitive dust, which will include but not be limited to the use of best available control measures and reasonably available control measures such as:
  - a. Water active grading areas and staging areas at least twice daily as needed;
  - b. Ensure spray bars on all processing equipment are in good operating condition;
  - c. Apply water or soil stabilizers to form curst on inactive construction areas and unpaved work areas;
  - d. Suspend grading activities when wind gusts exceed 25 mph;
  - e. Sweep public paved roads if visible soil material is carried off-site;
  - f. Enforce on-site speed limits on unpaved surface to 15 mph; and,
  - g. Discontinue construction activities during Stage 1 smog episodes.
  - h. The contractor shall use lean – NOx catalyst for all on and off road diesel vehicles.
  - i. The contractor shall use coating and solvents with a volatile organic compound (VOC) content lower than required under Rule 1113.
  - j. The developer/contractor shall use building materials that do not require painting.
  - k. The developer/contractor shall use pre-painted construction materials where feasible.
19. All construction activities shall cease if historical and/or archaeological resources are discovered during grading and/or excavation and removal of the existing foundation materials until a qualified archaeologist is called to the site to complete an evaluation of site and said resources.

20. **Mitigation Monitoring Program C-1:** If potential archaeological materials are uncovered during grading or other earth moving activities, the contractor shall be required to halt work in the immediate area of the find and to retain a professional archaeologist to examine the materials to determine whether it is a *unique archaeological resource* as defined in Section 21083.2(g) of the State CEQA Statutes. If this determination is positive, the resource shall be left in place, if determined feasible by the project archaeologist. Otherwise, the scientifically consequential information shall be fully recovered by the archaeologist. Work may continue outside of the area of the find; however, no further work shall occur in the immediate location of the find until all information recovery has been completed and a report concerning the resource(s) is filed with the Community Development Department.
21. In the event that human remains are encountered during grading, all provisions of state law requiring notification of the County Coroner, contacting the Native American Heritage Commission, and consultation with the most likely descendant, shall be followed.
22. The applicant/developer shall submit three sets of the final landscape plan prepared by a state licensed Landscape Architect, subject to approval by the Community Development Department, and by the Public Works Department for landscaping in the public right-of-way. Landscape plans for the Landscape Maintenance District shall be on separate plans.
23. Landscape plans shall depict the utility laterals, concrete improvements, and tree locations. Any modification to the placement of a street tree, as specified, in front of each house shall be reviewed and approved by the Community Development Department prior to issuance of permits.
24. Root guards shall be placed around the roots of all trees to be planted in the front, exterior side yards, and in the common areas.
25. **Mitigation Monitoring Program N-1:** The project applicant shall require construction contractors to adhere to the following noise attenuation requirements:
  - Construction activities shall be limited to between the hours of 6:00 A.M. and 6:00 P.M. Monday through Friday. No work on holidays.
  - All construction equipment shall use noise-reduction features (e.g., mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer.
  - Construction staging and heavy equipment maintenance activities shall be performed a minimum distance of 300 feet from any offsite residence, unless safety or technical factors/feasibility take precedence.
26. All windows shall be double paned.
27. **Mitigation Monitoring Program N-2:** A 10-foot high wall is required along the project site's property line. Noise barrier must present a solid face from top to bottom and be placed on top of grade or pad (whichever is higher).

- 28. Mitigation Monitoring Program N-3: For Building 4, all windows and sliding glass doors for floors 2 through 3 facing the Union Pacific Rail Line will require a minimum STC rating of 30 or higher.**

**FIRE DEPARTMENT**

29. All construction shall meet the requirements of the editions of California Building Code (CBC) and California Fire Code (CFC)/International Fire Code (IFC) as adopted and amended by the City of Loma Linda and legally in effect at the time of issuance of building permit.
30. Pursuant to CFC Section 903, as amended in Loma Linda Municipal Code (LLMC) Sections 15.28.230-450, the building(s) shall be equipped with automatic fire sprinkler system(s). Pursuant to CFC Section 901.2, plans and specifications for the fire sprinkler system(s) shall be submitted to Fire Prevention for review and approval prior to installation. Fire flow test data for fire sprinkler calculations must be current within the last 6 months. Request flow test data from Loma Linda Fire Prevention at (909) 799-2858.
31. Pursuant of CFC 907.2, a fire alarm system shall be installed in all new buildings. Plans and specifications to be submitted to the Fire Prevention Bureau for review and approval prior to installation. All structures shall be equipped with an NFPA 72 Fire Alarm system.
32. All structures shall be equipped with an NFPA 13 Fire Sprinkler System, including garages.
33. A 26-foot fire lane shall be provided within the subject site.
34. Access shall comply with all radius requirements for largest unit MT-251.
35. Two points of connection shall be required for fire underground loop.
36. Multiple on-site Private Fire Hydrants of the 4" x 2 1/2 x 2 1/2 x 6" type shall be required.
37. On-site civil engineering improvement plans shall be submitted to Fire Prevention for review and approval prior to construction. Plans shall show the proposed locations for water mains and fire hydrants; driveways, drive aisles and access roadways for fire apparatus.
38. The site address shall be as assigned by the Fire Marshal in a separate document, following approval of the project, and upon submittal of a working copy of the final approved site plan.
39. The project shall meet all fire flow requirements (currently under investigation).

**PUBLIC WORKS**

40. The applicant shall provide for recycling and trash removal as approved by the franchise hauler.
41. The project proponent shall comply with City adopted policies and ordinances regarding construction and demolition (C&D) materials.
42. A Final Parcel Map shall be required for parcel consolidation and recordation shall be accomplished prior to issuance of any building or construction permits.

43. All waste to be disposed of in accordance with local, state and federal regulations. The contractor to contract with a local waste hauler or ensure that waste containers are emptied weekly. Waste containers cannot be washed out on-site.
44. The applicant/developer shall submit grading plans, preliminary soils report SWPPP, WQMP and hydrology/hydraulic study to the Public Works Department for review and approval.
45. The applicant/developer shall comply with the requirements of the National Pollution Discharge Elimination System (NPDES) permit program.
46. Dust control shall be by watering or other mitigation as approved by city engineer.
47. The precise grading plan for the project shall be approved by the City of Loma Linda prior to issuance of any building permits.
48. The applicant/developer shall submit final grade certifications, by the grading engineer, to the Public Works Department prior to issuance of any Certificate of Occupancy.
49. Any streets damaged as a result of new services shall be repaired as required by the Public Works Department prior to occupancy.
50. The applicant/developer shall submit off-site improvement plans to the Public Works Department for approval. This includes water, sewer, storm drain, streets and street lights (LED 180' spacing), curb and gutter, sidewalk, driveway approach(s), landscape and irrigation and LMD plans, if any.
51. Dedicate by final map or separate document of the right of way on Van Leuven Street, 33-feet to central line.
52. The applicant shall install an on-site non-potable landscape water system.
53. Trash enclosures shall accommodate refuse and recycle bins.
54. All utilities shall be underground per LLMC.
55. Public utility easements shall be dedicated to cover all utilities either by map or separate document.
56. A 20-foot wide storm drain easement shall be required, preferably along the east property line.
57. City of Loma Linda shall be the water purveyor and sewer.
58. The developer/owner shall pay for the relocation of any power poles or other existing public utilities as necessary.
59. Water mains, fire hydrants, services and meters shall be sized and installed to City of Loma Linda standards and as shown on the approved utility plans for the development.
60. No commencement of public street work shall be permitted, except rough grading, until dedication for that street has been recorded. The applicant/developer shall obtain a permit prior to any construction within the City's right-of-way.
61. The applicant/developer shall comply with the prevailing City standards and requirements at the time of construction.
62. Within forty-eight (48) hours of approval of the subject project, the applicant shall deliver a payment to enable the City to file the appropriate environmental documentation for the project. If within such forty-eight (48) hour period that applicant has not delivered to the

Community Development Department the above-noted check, the statute of limitations for any interested party to challenge the environmental determination under the provisions of the California Environmental Quality Act could be significantly lengthened.

63. The project proponent shall adhere to and comply with the document found in the San Bernardino County Flood Control District (District) offices entitled "**Comprehensive Storm Drain Plan #4, dated February 2013**". This document shall provide information on local drainage patterns and flows, in consultation with the District.
64. All Development Impact fees shall be paid to the City of Loma Linda prior to the issuance of building permits. Any increase in fees shall be paid prior to issuance of Certificate of Occupancy.

\_\_\_\_\_  
Applicant signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner signature

\_\_\_\_\_  
Date

End of Conditions

# Staff Report

# City of Loma Linda

From the Community Development Department

## PLANNING COMMISSION MEETING OF AUGUST 7, 2013

**TO:** PLANNING COMMISSION

**FROM:** KONRAD BOLOWICH, ASSISTANT CITY MANAGER

**SUBJECT:** PRECISE PLAN OF DESIGN (PPD) NO. 13-07, TENTATIVE PARCEL MAP 13-32 (NO. 19452), VARIANCE NO. 13-067 - A REQUEST TO DEVELOP AN 87-UNIT APARTMENT PROJECT FOR PROPERTY AT 25259-25303 VAN LEUVAN STREET, LOCATED IN THE R-3 HIGH DENSITY ZONE. THE PROJECT INCLUDES A REQUEST FOR A VARIANCE TO REDUCE TO THE REAR YARD SETBACK REQUIREMENT AND ALLOW A WALL THAT EXCEED 6-FEET IN HEIGHT ALONG THE REAR PROPERTY LINE.

### SUMMARY

Golden Eagle Multi-Family Properties (the Applicant), is requesting approval to construct 87 apartment units, of which one would be designated “low income”), plus one leasing office in five, three-story buildings on 4.37 acres located on the south side of Van Leuven Street (Exhibit A). The project plans are available in Exhibit B. The project includes a request for a variance for the reduction in the rear yard setback and the construction of a 10-foot high rear property line block wall, as well as a Tentative Parcel Map to consolidate seven parcels into one parcel.

### RECOMMENDATION

Staff recommends that the Planning Commission recommend the following actions to the City Council:

1. Adoption of the Mitigated Negative Declaration
  - a. Approval of Precise Plan of Design No. 13-78, Tentative Parcel Map No. 13-32, and Variance No. 13-67, based on the Findings, and subject to the Conditions of Approval (Exhibit C).

### PERTINENT DATA

**Owner/Applicant:** Golden Eagle Multi Residential Properties, LLC

**General Plan/Zoning:** High Density Residential (0-20 du/acre)/ Multiple Residence (R-3)

**Site/Special Features:** 4.37-acre site/7 lots/6 existing residential structures with accessory structures

**Topography:** Relatively flat

**Vegetation:** Sparse trees and grasses

## **BACKGROUND AND EXISTING SETTING**

### **Background**

The applicant submitted the PPD application (PPD No. 13-07), Tentative Parcel Map No. 19452, on January 13, 2013. The applications were reviewed by the Administrative Review Committee on February 21, 2013 and provided the applicant with necessary revisions and determined that a variance was required of the development for a reduction in the rear yard setback. A variance application was submitted in April, 2013, for the reduction in the rear setback. The Noise Study prepared for this project also recommends that a 10-foot high block wall along the rear property line is necessary to reduce the noise level resulting from passing trains on the Southern Pacific Railroad to an acceptable level.

### **Existing Setting**

The 4.37-acre project site is comprised of 7 residential lots of varying sizes and shapes and contains 6 residential multi-family structures and accessory structures. All existing structures on the lot will be demolished as a result of the development. Existing vegetation on the site includes trees, shrubs, palm trees and some native grasses and weeds. As indicated the site is relatively flat.

To the north of the site are older, existing single-residential developments. To the east and west are newer single-residential and multi-family residential developments. To the south is the Southern Pacific rail road.

The project site is located in an area of Loma Linda that is commonly referred to as the North Central Neighborhood (NCN), roughly located south of Redlands Boulevard, north of the San Timoteo Creek, east of Anderson Street, and west of Mountain View Avenue. The North Central Neighborhood contains a mix of single-family and multi-family residential developments and neighborhoods that to a large extent predate the City's incorporation in the early 1970s.

## **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) STATUS**

On June 28, 2013, a Notice of Intent (NOI) to adopt a Mitigated Negative Declaration and Initial Study were prepared and released for public review. The California Environmental Quality Act (CEQA) mandatory 20-day public review began on June 28, 2013 and ended on July 17, 2013. The Environmental Initial Study (Exhibit D) prepared by MIG-Hogle Ireland, evaluates the potential impacts of the project and identifies appropriate mitigation measures. All of the potential impacts that were identified in the Initial Study can be mitigated to below a level of significance. The mitigation measures are included as project Conditions of Approval, and are listed below:

- C-1 If potential archaeological materials are uncovered during grading or other earth moving activities, the contractor shall be required to halt work in the immediate area of the find and to retain a professional archaeologist to examine the materials to determine whether it is a *unique archaeological resource* as defined in Section 21083.2(g) of the State CEQA Statutes. If this determination is positive, the resource shall be left in place, if

determined feasible by the project archaeologist. Otherwise, the scientifically consequential information shall be fully recovered by the archaeologist. Work may continue outside of the area of the find; however, no further work shall occur in the immediate location of the find until all information recovery has been completed and a report concerning the resource(s) is filed with the Community Development Department.

- N-1 The project applicant shall require construction contractors to adhere to the following noise attenuation requirements:
- Construction activities shall be limited to between the hours of 6:00 A.M. and 6:00 P.M. Monday through Friday. No work on holidays.
  - All construction equipment shall use noise-reduction features (e.g., mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer.
  - Construction staging and heavy equipment maintenance activities shall be performed a minimum distance of 300 feet from any offsite residence, unless safety or technical factors/feasibility take precedence.
- N-2 A 10-foot high wall is required along the project site's property line. Noise barrier must present a solid face from top to bottom and be placed on top of grade or pad (whichever is higher).
- N-3 For Building 4, all windows and sliding glass doors for floors 1 through 2 facing the Union Pacific Rail Line will require a minimum STC rating of 30 or higher.

Therefore, the project can be approved with a Mitigated Negative Declaration in accordance with the requirements of CEQA.

## **PUBLIC COMMENTS**

Staff received the following request from the County of San Bernardino Department of Public Works, and has been made a condition of approval:

- The project proponent shall adhere to and comply with the document found in the San Bernardino County Flood Control District (District) offices entitled "**Comprehensive Storm Drain Plan #4, dated February 2013**". This document shall provide information on local drainage patterns and flows, in consultation with the District.

## **ANALYSIS**

### **Project Description**

The proposed project is located on approximately 4.37 acres and includes the construction of a multi-family apartment complex. The project consists of a total of 87 rental units and one leasing office in an early California mission style architecture. There will be five buildings, each three stories in height (approximately 42 feet and two inches). Along with the apartment units, there are four six-unit detached garages and one four-unit detached garage. These are located around the perimeter of the project

site along with the required open parking spaces for residents and guests. The project features a large central common area which will feature a pool and spa, a clubhouse with exercise gym, a tot lot, and an open covered wood trellis and BBQ structure. Landscaping features include meandering walkways, verdant green areas, trees, and shrubs. Proposed recreational areas include a half basketball court and a volleyball court. The project is proposed with a gated and secured main entrance and a secondary exit. The exteriors will feature stucco mixed with wood accents, shutters, stucco window and door trims, wood posts, recessed decks and patios, wrought iron and stucco deck and patio guardrails, and varied elevations through the use of entrance courts and building offsets.

### Surroundings

The subject site, as stated above, is located on the south side of Van Leuven Street between Poplar Avenue and Mountain View Avenue. The property is located in the R-3 Zone with a General Plan land use designation of Medium Density (0-9 du/ac). The surrounding uses, General Plan Land Use designation, and zones are as follows:

Direction	General Plan Designation	Zoning District	Existing Land Use
Project Site	Very High Density Residential	Multi-Family Residence (R-3)	Single-Family Residential
North	Very High Density Residential	Multi-Family Residence (R-3)	Single-Family Residential
South	None (immediately adjacent)  Institutional and High Density Residential (across tracks)	None (immediately adjacent)  Institutional (I) Multi Family Residence (R-3) (across tracks)	Rail Road Tracks  Parking lot, Residential
East	Very High Density Residential	Multi-Family Residence (R-3)	Single-Family Residential
West	Very High Density Residential	Multi-Family Residence (R-3)	Multi-Family Residential

The area in and around the subject site is in transition. The area includes a mixture of new and older stock single family residences and multi-family housing

### Site Analysis

Development Standards – R-3	Minimum Required	Proposed	Complies
Front Setback	20'	20'	Yes
Side yard			
- Interior	5'	20'	Yes
- Exterior	10% width of lot (not less than 10', or more than 20')	Approximately 85'	Yes
- Rear			
- Main Building	15'	Approximately 49'	Yes
- Carport	0'	0'	Yes
- Open Parking spaces	15'	4.34'	No*
Distance between main buildings	10'	Varies, no less than 33' at nearest point	Yes

Minimum Lot Width	70'	Approximately 503'	Yes
Maximum Building Height	35'	27'3" <sup>**</sup> To highest point on buildings 42'2"	Yes
Minimum Lot Area	7,200 sq. ft.	190,357 sq. ft. (4.37 acres)	
Open Space	60,900 square feet	73,620 sq.ft.	Yes
- Balcony (max)	No minimum, but balcony area may not exceed 50% to total required.	10,356 sq. ft.	
- Open Space with no Amenities		8,342 sq.ft.	
- Open Space with Amenities (counted at 1:2 ratio to comply with required open space requirement)		27,461 x 2 = 54,922 sq.ft.	
Parking	218 Garage: 87	219 Garage: 91	

\*Applicant is applying for a variance to allow the open parking spaces within the rear yard setback.

\*\*Building height is defined as the vertical distance measured from the average level of the foundation of the building to the ceiling of the uppermost story.

Vehicular access will be provided from Van Leuven Street via a 46-foot wide driveway with landscaped median at the center of the project site, with a secondary driveway approach, which accommodates both residential traffic and emergency vehicular traffic.

The site plan for the proposed development indicates that the five, detached, three story apartment buildings centrally located on the property, plus a recreational building with gym facilities. The development includes two main apartment buildings fronting Van Leuven Street, giving the project street presence along Van Leuven Street. Previous project drafts included carports fronting Van Leuven Street and lacked a walkability component, however, during the preliminary review stages and based on staff's concerns, the applicant revised the site plan to its current form. Two buildings are now oriented towards the street, and the project now includes a series of walkways throughout the development. The remaining three apartment buildings are centrally located on the property, with a driveway separating the garages, the open parking spaces, as well as the recreational amenities. The development also includes a half basketball court along the east property line, and a fully volleyball court along the east property line.

### Traffic

The project is expected to generate an average of 579 vehicle trips per day (cars and delivery vehicles), with 44 trips occurring during the morning peak hours, 54 trips occurring in the afternoon peak period, and 54 occurring in the evening peak period., based on the Traffic Impact Analysis prepared by Transtech Engineers (May 30, 2013).

The existing/prior uses to be removed from the site (5 multi-family residential units) were not subtracted from these counts, resulting in a worst-case scenario.

All new development project shall assure by implementation of appropriate mitigation measures that, at a minimum, traffic levels of service (LOS) are maintained at a minimum of LOS C throughout the City, Except where the current level of service is lower than LOS C. In any location where mitigation measures shall be imposed on that development project to assure, at a minimum, that the level of traffic service is maintained at levels of service that are no worse than those existing at the time an application for development is filed.

Presently, all of the nearby intersections are operating at a Level of Service (LOS) C or better, as shown in the table below:

Intersection	Peak Hour	Existing Conditions	
		LOS	Avg Delay (sec/veh)
1. Poplar St at Van Leuven St	AM	A	9.9
	AFT	A	7.9
	PM	A	9.1
2. Mtn View Ave at Van Leuven St	AM	B	18.8
	AFT	B	16.2
	PM	B	16.8
3. Poplar St at Redlands Blvd	AM	B	13.0
	AFT	A	8.3
	PM	B	10.2
4. Anderson St at Orange Grove/ Academy	AM	C	24.9
	AFT	B	17.8
	PM	B	17.4

Source: Traffic Impact Analysis, Transtech Engineers, May 30, 2013

The project as stated previously, will generate an average of 579 vehicle trips per day, and those trips are broken down as follows:

Intersection	Peak Hour	Existing Conditions		Existing Conditions With Project	
		LOS	Avg Delay (sec/veh)	LOS	Avg Delay (sec/veh)
1. Poplar St at Van Leuven St	AM	A	9.9	A	10.0
	AFT	A	7.9	A	7.9
	PM	A	9.1	A	9.3
2. Mtn View Ave at Van Leuven St	AM	B	18.8	B	19.5
	AFT	B	16.2	B	16.6
	PM	B	16.8	B	17.3
3. Poplar St at Redlands Blvd	AM	B	13.0	B	13.6
	AFT	A	8.3	A	8.6
	PM	B	10.2	B	10.4
4. Anderson St at Orange Grove/ Academy	AM	C	24.9	C	24.9
	AFT	B	17.8	B	17.8
	PM	B	17.4	B	17.5

Source: Traffic Impact Analysis, Transtech Engineers, May 30, 2013

As shown in the table above, the nearby intersections will continue to operate at a LOS C or better. The Traffic Impact Analysis also provided Year 2035 projections for the study intersections using an ambient growth rate of 2% per year for the 22 year period

between 2013 and 2035 conditions. The table below indicates that in Year 2035, the study intersections will continue to operate at a LOS C or better:

**TABLE 9**  
**Future 2035 Conditions With and Without Project Level of Service Analysis**

Intersection	Peak Hour	2035 Cumulative Conditions Without Project		2035 Cumulative Conditions With Project	
		LOS	Avg Delay (sec/veh)	LOS	Avg Delay (sec/veh)
1. Poplar St at Van Leuven St	AM	B	13.0	B	13.2
	AFT	A	8.4	A	8.5
	PM	B	11.1	B	11.3
2. Mtn View Ave at Van Leuven St	AM	C	27.9	C	30.8
	AFT	B	18.3	B	18.8
	PM	C	23.9	C	24.8
3. Poplar St at Redlands Blvd	AM	B	15.2	B	15.7
	AFT	A	9.4	A	9.7
	PM	B	12.7	B	12.9
4. Anderson St at Orange Grove/ Academy	AM	C	34.4	C	34.4
	AFT	B	19.3	B	19.3
	PM	B	19.1	B	19.2

Source: Traffic Impact Analysis, Transtech Engineers, May 30, 2013

The increase in delay with the addition of project traffic and with project traffic and cumulative traffic does not exceed thresholds for “significant impacts”.

All of the studied intersections were evaluated based upon thresholds as defined by the City of Loma Linda’s, Level of Service Standards. As shown in the traffic impact analysis, all of the studied intersections are operating and are projected to operate at acceptable LOS A, B or C with the increase in project traffic to the existing traffic stream significant thresholds are not exceeded so no off-site mitigation measures are necessary for the development of the project

### On-Site Parking

The project includes 219 total parking spaces, of which 91 are covered, and 128 are open and uncovered parking spaces. Of the total parking spaces, 14 spaces are handicapped accessible, with 10 of those being covered. The LLMC requires 1.5 parking spaces per one-bedroom unit plus 0.5 parking spaces per each additional bedroom, and 0.25 parking spaces per bedroom for guest parking for a total of 219 parking spaces. The parking breakdown is as follows:

Parking Requirements	# Units	1 Bedroom 1.5	Each Additional Bedroom .5	Guest Parking .25 per bedroom	Required	Proposed	Complies
1 Bedroom	18	27	0	4.5	31.5		
2 Bedroom	51	76.5	25.5	25.5	127.5		
3 Bedroom	18	27	18	13.5	58.5		
<b>Total</b>	87	130.5	43.5	43.5	<b>218</b> (87)	<b>219</b> (91 Covered)	<b>Yes</b>

					Covered)		
--	--	--	--	--	----------	--	--

Both covered, open and handicapped parking spaces are distributed throughout the property, with a majority of the open parking spaces located along the rear portion of the development. As proposed, the project complies with the parking requirements of the LLMC.

### Architecture Analysis

The architectural style of the surrounding neighborhood is a mix of traditional residential architecture for both older and newer developments in the area. The project proposes 87 units divided into five, three-story modern, neo-Mediterranean style buildings.

The buildings will include “S” tile roofing throughout the project. The buildings will include a two-tone dark tan and brown accents. The window trim, garage doors, and corbels include a dark brown finish. The soffits, pool enclosure, gates, deck guardrails, stairway, wood pots and stucco foam trims will be painted a dark brown. The main entry doors and shutters will be painted blue-gray.

The buildings include multiple wall planes to reduce the massing that may be associated with three-story structures. The apartment buildings include wall pop-outs, multiple gables and roof lines, wood accents (wood beams, corbels), and arches over the proposed balconies. The primary hipped roof on the buildings also helps reduce the massing along the sides of the buildings.

The project will result in an improvement to the visual character of the project site as it will remove older structures to be replaced with an architecturally contemporary development. Furthermore, the three-story development will be more consistent with the scale of the multiple-family developments to the north and west of the project site.

The following is a breakdown of the project units:

	No. of Units	Minimum Unit Size	Proposed	Minimum Balcony Size	Proposed Balcony
<b>1 Bedroom</b>	<b>18</b>	<b>675 sq. ft.</b>	<b>812 sq. ft.</b>	<b>70 sq. ft.</b>	<b>106 sq. ft.</b>
<b>2 Bedroom</b>	<b>51</b>	<b>850 sq. ft.</b>	<b>1,083 sq. ft.</b>	<b>70 sq. ft.</b>	<b>123 sq. ft.</b>
<b>3 Bedroom</b>	<b>18</b>	<b>1,025 sq.ft.</b>	<b>1,243 sq. ft.</b>	<b>70 sq. ft.</b>	<b>114 sq. ft.</b>

The units and accessory balcony comply with the minimum development standards of the R-3 Multi-Family Residence.

### Open Space

As stated in the site analysis table above, the project requires 60,900 square feet of open landscape area. The front yard and side yard landscape setbacks are not counted toward fulfilling this requirement. As proposed the project complies with the open space requirement. The project includes open space areas with no amenities and amenities. The central open area includes a number of amenities, including:

- Pool and spa
- Gym
- Club house
- BBQ area
- Trellis
- Tot Lot
- Meandering walkway

Additionally, the project includes a half court (basketball) and a full volleyball court. When open space areas are improved with amenities, such as the ones listed above, the open space requirement is fulfilled at a 1:2 ratio, meaning that for every square foot of open space with amenities provided, two square feet of required open space is fulfilled. The 27,461 square feet of open space with amenities the applicant is providing count as 54,922 square feet of open space.

While not counted towards fulfilling the open space requirement, the front setback includes a meandering sidewalk through a landscaped area that includes trees, shrubs, and ground cover.

As proposed, the project complies with the open space requirement of the LLMC.

### **Landscape Plan**

The proposed landscape plan includes a variety of trees, shrubs and groundcover. The front yard setback is improved with a combination of trees, shrubs, groundcover and a meandering sidewalk to promote walkability on the site. Section 17.74.120 of the Loma Linda Municipal Code establishes landscape criteria for new development. A minimum of two 24-inch box trees shall be provided with the construction of a new building. In addition, one 36-inch box tree shall be planted for each ten 24-inch box trees required if the proposed lot has a greater than 65 lineal feet frontage. Per section 17.02.215 of the Municipal Code, landscaping contains a combination of planted trees, shrubs, vines, ground cover, flower or lawns. The combination or design shall not contain more than fifty percent hardscape. The proposed project will include 55, 24-inch evergreen perimeter trees, 31 24-inch deciduous canopy trees, 29 24-inch flowering accent trees, nine 36-inch large evergreen canopy trees, 33 24-inch small evergreen canopy trees, 12 24-inch street trees along Van Leuven Street, and four 36-inch project theme trees. In addition, the project will include 10,724 square feet of shrubs and groundcovers, 6,144 square feet of drought tolerant turf, and 2,350 square feet of landscaping for the bio-retention basin.

### **Loma Linda Connected Communities Program (LLCCP)**

A Condition of Approval includes the requirement that the proposed project be pre-wired for coaxial, cable, and fiber optic installation per the LLCCP policy. The LLCCP ensures that all new development projects are equipped with links to meet the latest communications/technological advances.

### **Variance Request and Findings**

As stated in the table above, the applicant is requesting a variance from two sections of the municipal code, Rear Yard Setbacks and Fence Height.

*Rear Yard*

The Applicant requests relief from Section 17.38.090, which prohibits open parking spaces and structures within the rear yard setback, with the exception of enclosed storage and carport structures. The property measures 4.37 acres in size, which exceeds the minimum lot size in the R-3 zone, however the property is required to include a storm drain easement that somewhat limits the ability to locate buildings on the site, while at the same time addressing the negative impacts associated with the southern property is also negatively affected by the adjacent southern property.

As stated above, the project includes a storm drain easement below the easternmost driveway. Buildings cannot be located above the easement, so the easement limits the ability to situate a building along the east portion of the site while at the same time complying with the setback requirements. Furthermore, the Southern Pacific Railroad abuts the property to the south, and in order to reduce the noise and vibration impacts to an acceptable level, the apartment buildings must be located as far away from the rear property line as possible, again further limiting the siting ability of the residential structures. Therefore, the applicant is requesting a variance from Section 17.38.090 to allow the open space parking spaces, trash enclosures and garages within the rear yard setback and allow this area to serve as a buffer between the Southern Pacific Railroad property and the apartment buildings.

Due to the fact that the property to the south is not residentially developed, the impacts that could potentially impact a residentially developed property, both visual and auditory resulting from the proximity of the open space parking, the trash enclosures and the garages, are not anticipated to negatively impact the southern property.

*Rear Property Wall Height*

The project site's southern property line is located approximately 45 feet from the centerline of the Southern Pacific (SP) tracks. The estimated exterior noise levels from the SP rail line is anticipated to be approximately 67.2 dBA Community Noise Equivalent Level (CNEL) at the façade of Building 4 (nearest building to tracks). The estimated noise level is above the City's 65 dBA CNEL, as shown in the table below:

Rail Line	Operations per Day <sup>2</sup>		CNEL at Observer Location (dBA) <sup>3</sup>	Noise Level at Specified Distance (dBA CNEL) <sup>4</sup>			
	Freight	AMTRAK		100 ft	200 ft	400 ft	800 ft
Southern Pacific	40	4	67.2	67.2	63.7	59.6	55.1

Source: First Carbon Solutions | Michael Brandman Associates. *Noise Impact Analysis 87-Unit Apartment Project, Loma Linda, San Bernardino County, California.* May 2013.

Notes:

- 1 Unmitigated scenario assumes no wall to shield residential units from rail line.
- 2 Per FRA data and growth rate of 2.71% as outlined by Colton Crossing Report
- 3 Noise levels calculated at 5 feet above ground level.
- 4 Noise level is projected to façade of nearest residential building (approximately 100 feet from centerline of tracks).

In order to meet the City's 65 dBA CNEL threshold, the noise consultant has recommended that a 10-foot high wall be located along the rear property line in order to reduce the noise level of rail road traffic to an acceptable level.

While the maximum height of a wall along the rear property line in a residential zone is 6-feet, it appears that any two-story development on properties located alongside the rail road tracks will require construction of a 10-foot high masonry block wall in order to comply with the City's 65 dBA level. Therefore, allowing the applicant to construct a 10-foot high wall along the rear property line will allow the applicant to develop the property in compliance with the General Plan.

In conjunction with the construction of the 10-foot high wall, the applicant is also required to provide the following mitigation measure:

- For Building 4, all windows and sliding glass doors for floors 1 through 2 facing the Union Pacific Rail Line will require a minimum STC rating of 30 or higher.

Both the construction of the 10-foot high rear wall and the minimum STC rating of 30 or higher requirements should reduce the impact associated with Southern Pacific Railroad traffic on Building 4 to an acceptable level.

#### *Findings for Reduction in Rear Yard Setback and Increase in Fence Height*

1. *That there are exceptional and extraordinary circumstances of conditions applicable to the property involved.*

In order to reduce the impacts associated with the Southern Pacific (SP) Railroad tracks located adjacent to the subject site, the residential structures must be located as far away from the south property line as possible. The reduction in the rear yard setback will allow the applicant to centrally locate the apartment buildings on the site and limit the impacts associated with the SP line. The noise study prepared by FCS-MBA states that if not properly mitigated, the noise and vibration impacts associated with SP line traffic will exceed the allowable levels stated in the Noise Ordinance of the Loma Linda General Plan. The proposed location of the residential structures requires the applicant situate the proposed driveway, garages, and open parking spaces as close to the rear property line as possible, serving as a noise buffer between the two properties.

Furthermore, a required storm drain easement along the east portion of the lot limits the ability to construct any structures over the easement, further restricting the ability to locate the residential structures on the subject site. The proposed location of the residential structures, plus the proposed 10-foot high block wall will reduce the impacts associated with SP traffic to a noise level that is compliant with the General Plan Implementing Noise Policies for Land Use and New Development.

As stated previously, the projects southern property line is located approximately 45-feet from the centerline of the Southern Pacific tracks. Building 4 is located approximately 54 feet from the southern property line. The estimated noise levels from the Southern Pacific line are anticipated to be approximately 67.2 dBA CNEL at

the façade of Building 4 (nearest building to the tracks). In order to reduce the noise level to the City's 65 dBA CNEL maximum, a 10-foot high, masonry block wall is required of the project. Relative to the width (521 feet) of the subject site and the fact that the property is located adjacent to the SP line, the visual impact associated with a 10-foot high wall will not negatively affect the adjacent neighbors.

2. *That such variance is necessary for the preservation and enjoyment of the substantial property right possessed by other property in the same vicinity and zone and denied to the property in question.*

The subject site is located in the Very High Density Residential (0-20 du/ac) land use designation. The applicant is proposing 87 units at a density of 19.91 dwelling units per acre. The 15-foot rear yard setback would negatively impact the ability to fully develop the site to the maximum 20 du/ac allowed under the General Plan.

3. *That the granting of such a variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and zone in which the property is located.*

The proposed relief from Section 17.38.90 of the LLMC will not be detrimental to the public welfare or injurious to property and improvements in that the majority of the property will not be altered in any way. The property is located adjacent to the Southern Pacific Railroad property, which spans the length of the subject site, and will not be negatively affected by the proposed open parking spaces, garages, or the construction of the trash enclosures. Construction will be subject to the necessary building code requirements to ensure compatibility and safety.

In addition, the proposed relief from Section 17.38.080 (Maximum Height – Rear Yards) of the LLMC will not be detrimental to the public welfare in that the proposed 10-foot high block wall will allow the development to comply with Implementing Policy 7.8.1.1 – Implementing Policies for Land use and New Development of the General Plan. Furthermore, the proposed 10-foot high wall will be located along the SP Line and will not be visually detrimental to the SP property.

4. *The granting of such variances will be consistent with the General Plan for the City.*

The proposed variance for a reduction in the rear yard setback is consistent with the objectives of the General Plan in that the variance would allow for development which complies with the density requirements allowed under the Very High Density Residential (0-20 du/ac) land use designation, and further allowing the development to comply with the following Guiding Policies for Residential Land Uses:

*Policy a – Encourage a mixture of dwelling sizes, layouts, and ownership types (consistent with the corresponding land use designation, density range, and applicable General Plan requirements), especially within large-scale residential development projects, in order to provide housing opportunities for a range of incomes and households*

*Policy e - Provide the citizens of Loma Linda with a choice of areas of varying densities and housing with a range of costs.*

The proposed variance for a 10-foot high block wall is consistent with the objectives of the General Plan in that the 10-foot high block wall will reduce the noise level associated with traffic along the Southern Pacific Property to an acceptable level and comply with Implementing Policy Section 7.8.1.1 Implementing Noise Policies for Land Use and New Development, Multifamily: 65 dBA with private yard or enclosed balcony spaces.

5. *That a public hearing was held wherein the applicant is heard and in which he substantiates all of the conditions cited in this subsection.*

The variance requests are scheduled for review on the August 7, 2013 Planning Commission Meeting. The conditions to the project are included as Exhibit C to this report.

### **Tentative Parcel Map and Findings**

The applicant proposes to consolidate seven lots into one 4.37 acre lot. As stated in the Site Analysis, the lot area and width of the proposed lot complies with R-3 (Multiple Residence) development standards.

1. *That the proposed map is consistent with the applicable general plan and zoning designations.*

The proposed consolidation of seven parcels into one 4.37 acre parcel is consistent with the General Plan land use designation Very High Density Residential (0-20 du/ac) and the R-3 Multi Family Residence zoning designation. The minimum lot size in the R-3 Zone is 7,200 square feet, with a minimum lot width of 70 feet. The subject site measures over 500 feet in width and measures 4.37 acres in area, thus complying with the development standards for lots in the R-3 zone.

2. *The design or improvement of the proposed subdivision is consistent with the applicable general plan and zoning designations.*

The proposed subdivision complies with the existing General Plan land use designation in that the General Plan allows up to 20 dwelling units per acre. The project as proposed is developed at 19.90 dwelling units per acre, within the allowable density of the Very High Density Residential land use designation of the General Plan. The lot size also complies with the minimum 7,200 square foot lot size requirement for properties located within the R-3 residential zone.

3. *The site is physically suitable for the type of development proposed.*

The proposed parcels are physically suitable for the proposed lot consolidation, demolition of existing multifamily structures, and the construction of the 87-unit apartment unit project.

4. *The site is physically suitable for the proposed density of development.*

The proposed consolidation of seven parcels into one, 4.37 acre parcel is consistent with the General Plan, Very High Density Residential (0-20 du/ac) and the R-3 Multi

Family Residence zoning designation, in that development will include 87 dwelling units at a density of 19.90 dwelling units per acre.

5. *The design of the subdivision is not likely to cause substantial environmental damage or substantially and unavoidably injure fish and wildlife or their habitat.*

The site has been graded and is presently developed with multifamily dwelling units. There is no natural vegetation or wildlife present or undisturbed area remaining on the subject site. Therefore, the design of the proposed subdivision would not cause any substantial environmental damage or substantially and unavoidably injure fish and wildlife or their habitat.

6. *The design of the subdivision is not likely to cause serious public health problems.*

The design of the subdivision would not cause any serious public health problems. The consolidation of seven parcels into one parcel will create a parcel that conforms to the minimum lot width, lot area requirements of properties located in the Multi Family Residence (R-3) zone. While the project includes a variance request for a reduced rear yard and 10-foot high block wall along the rear property line, the Southern Pacific Railroad is located to the south of the subject site and will therefore not negatively impact adjacent residential properties.

7. *The design of the subdivision will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.*

The site includes a storm drain easement that will be located beneath the proposed driveway entrance and driveway itself, as it runs the entire length (north-south) along the east portion of the lot. However, as designed, the consolidation of lots will not conflict with the proposed/required storm drain easement.

### **Precise Plan of Design Findings**

According to LLMC Section 17.30.290, Precise Plan of Design (PPD), Application Procedure, PPD applications shall be processed using the procedure for a variance (as outlined in LLMC Section 17.30.030 through 17.30.060) but excluding the grounds (or findings). As such, no specific findings are required. However, LLMC Section 17.30.280, states the following:

“If a PPD would substantially depreciate property values in the vicinity or would unreasonably interfere with the use or enjoyment of property in the vicinity by the occupants thereof for lawful purposes or would adversely affect the public peace, health, safety or general welfare to a degree greater than that generally permitted by this title, such plan shall be rejected or shall be so modified or conditioned before adoption as to remove the said objections.”

In an effort to ensure that the foregoing project is consistent with the General Plan, compliant with the zoning and other City requirements, compatible with the surrounding area, and appropriate for the site, staff and the City Attorney have opted to apply the Conditional Use Permit Findings in LLMC §17.30.210 to this project, as follows:”

1. *That the use applied for at the location set forth in the application is properly one for which a precise plan of design is authorized by this title.*

The proposed use is a permitted use within the Multi-Family Residence (R-3) zone and in fact, the R-3 zone is intended for multi-family residential development. A number of multi-family developments have been approved, constructed, or are under construction on Poplar Avenue, just north of the subject site. There are single and multi-family residential structures developed adjacent and around the project site. The proposed use also meets Goal No. 2 in the General Plan Housing Element to provide housing that is affordable to all economic segments of the community. Therefore, the proposed use is a proper one for the area.

2. *That the said use is necessary or desirable for the development of the community, is in harmony with the various elements and objectives of the general plan, and is not detrimental to existing uses specifically permitted in the zone in which the proposed use is to be located.*

The project meets General Plan Goal 1 (to provide a diversity of housing opportunities to enhance the City's living environment and to satisfy the housing and shelter needs of Loma Linda residents). The proposed project is designed as a market rate development intended to provide different housing opportunities and to improve the blighted and vacant areas with housing opportunities to enhance the City's living environment. Additionally, the surrounding area is a mixture of single and multi-family residential developments, none of which would appear to conflict with the proposed use.

3. *That the site for the intended use is adequate in size and shape to accommodate said use and all of the yards, setbacks, walls, or fences, landscaping and other features required in order to adjust said use to those existing or permitted future uses on land in the neighborhood.*

The project site is adequate in size and shape to accommodate the proposed use. However, due to the proximity of the adjacent Southern Pacific Railroad, the project requires variances to locate the buildings as far away from the rear property line as possible, thereby moving the required parking spaces, garages, and trash enclosures to the rear portion of the lot, within the required rear yard setback. Furthermore, siting the building as far away as possible from the rail road property is not enough to reduce the impact associated with SP traffic; the project therefore includes 10-foot high rear property line walls to reduce the noise and vibration associated with train traffic along the tracks. Because the subject site abuts the Southern Pacific Railroad, the variance requests will not negatively impact the adjacent property. The apartment buildings comply with the minimum setbacks required of the R-3 zone. The project site will accommodate the proposed use and be compatible with the existing land uses on Van Leuven Street and in the surrounding area.

4. *That the site or the proposed use related to streets and highways is properly designed and improved to carry the type and quantity of traffic generated or that will be generated by the proposed use.*

The project site has access from Van Leuven Street, which can accommodate the type and quantity of traffic generated by the use. Currently the roadway can accommodate the existing volume of traffic and the future traffic from the proposed apartment development.

Off-site improvements in the vicinity of the project site will include roadway widening, installation of sidewalk, curb, and gutter, and two driveway approaches. A total of 219 parking spaces are provided to accommodate the parking requirements of the 87-unit apartment project. Additionally, the perimeter drive aisle provides emergency vehicle access all around the development. The proposed project and related on- and off-site improvements will not conflict with other uses immediately adjacent to the project site.

5. *That the conditions set forth in the permit and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare.*

The public health, safety and general welfare will be protected through the implementation of the Conditions of Approval for PPD No. 13-07 to insure compatibility with the neighborhood. As outlined in §19.16.020 *Substantive General Plan Amendment*, Section I (A)(3), the project includes a condition that requires the applicant to pay all required development impact fees to cover 100 percent of the pro rata share of the estimated cost of public infrastructure, facilities, and services.

## **CONCLUSION**

All elements of the project are consistent with the General Plan (May 26, 2009). The project is also in compliance with the LLMC Chapter 19.16, Title 17 Zoning Code. The project includes a variance request for a reduction in the rear yard setback, as well as a variance to allow a 10-foot high wall along the rear property line, both necessary to protect the future tenants of the southern-most apartment building from noise and vibration created by the adjacent Southern Pacific Railroad property. The required Findings have been made to support staff's recommendation for approval. The applicant has worked closely with staff and has made every effort possible to provide the most appropriate layout, design, and architecture for this project. The apartment development is compatible with the existing and future uses in the surrounding area and provides housing opportunities that are much needed by Loma Linda's population.

The project is in compliance with CEQA and the Mitigation Measures listed in the Initial Study will reduce any potential environmental impacts to below a level of significance. The Mitigation Measures have been made part of the Conditions of Approval (Exhibit C).

## **EXHIBITS**

- A. Site Location Map
- B. Project Plans
- C. Conditions of Approval

## D. Mitigated Negative Declaration/Environmental Initial Study

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# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Ovidiu Popescu, Mayor pro tempore  
John Lenart, Councilman  
Ronald Dailey, Councilman  
Phillip Dupper, Councilman

**COUNCIL AGENDA:** August 27, 2013

**TO:** City Council

**VIA:** T. Jarb Thaipejr, City Manager

**FROM:** Konrad Bolowich, Assistant City Manager

**SUBJECT:** PRECISE PLAN OF DESIGN (PPD) NO. 13-07, TENTATIVE PARCEL MAP 13-32 (NO. 19452), VARIANCE NO. 13-067 – A REQUEST TO DEVELOP AN 87-UNIT APARTMENT PROJECT FOR PROPERTY AT 25259-25303 VAN LEUVAN STREET, LOCATED IN THE R-3 MULTI FAMILY ZONE. THE PROJECT INCLUDES A REQUEST FOR A VARIANCE TO REDUCE TO THE REAR YARD SETBACK REQUIREMENT AND ALLOW A WALL THAT EXCEEDS 6-FEET IN HEIGHT ALONG THE REAR PROPERTY LINE, AND A TENTATIVE PARCEL MAP TO CONSOLIDATE SEVEN PARCELS INTO ONE PARCEL.

Approved/Continued/Denied  
By City Council  
Date \_\_\_\_\_

## SUMMARY

Golden Eagle Multi-Family Properties (the Applicant), is requesting approval to construct 87 apartment units, of which one would be designated “low income”), plus one leasing office in five, three-story buildings on 4.37 acres located on the south side of Van Leuven Street (Attachment A). The project plans are available in Attachment B. The project includes a request for a variance for the reduction in the rear yard setback and the construction of a 10-foot high rear property line block wall, as well as a Tentative Parcel Map to consolidate seven parcels into one parcel.

## RECOMMENDATION

The Planning Commission recommends the following actions to the City Council:

1. Adopt the Mitigated Negative Declaration;
2. Approve of Precise Plan of Design No. 13-78, Tentative Parcel Map No. 13-32, and Variance No. 13-67, based on the Findings, and subject to the Conditions of Approval (Attachment C).

## PERTINENT DATA

**Owner/Applicant:** Golden Eagle Multi Residential Properties, LLC

**General Plan/Zoning:** Very High Density Residential (0-20 du/acre)/Multiple Residence (R-3)

**Site/Special Features:** 4.37-acre site/7 lots/6 existing residential structures with accessory structures

**Topography:** Relatively flat

**ATTACHMENT – F**

**Vegetation:** Sparse trees and grasses

## **BACKGROUND AND EXISTING SETTING**

### **Background**

The applicant submitted the PPD application (PPD No. 13-07), Tentative Parcel Map. No. 19452, on January 13, 2013. The applications were reviewed by the Administrative Review Committee on February 21, 2013 and provided the applicant with necessary revisions and determined that a variance was required of the development for a reduction in the rear yard setback. A variance application was submitted in April, 2013, for the reduction in the rear setback. The Noise Study prepared for this project also recommends that a 10-foot high block wall along the rear property line is necessary to reduce the noise level resulting from passing trains on the Southern Pacific Railroad to an acceptable level.

On August 7, 2013, the Planning Commission held a public hearing and recommended approval of the above mentioned applications. At the meeting, Commission requested the following revisions:

- Revise site plan and landscape plan to show delineated walkways, by using stamped concrete, colored concrete, or some other type of delineation.
- Revise site plan and landscape plan to include benches along the walkway areas.

The applicant has revised the plans to include the Planning Commission's recommendations.

### **Existing Setting**

The 4.37-acre project site is comprised of 7 residential lots of varying sizes and shapes and contains 6 residential multi-family structures and accessory structures. All existing structures on the lot will be demolished as a result of the development. Existing vegetation on the site includes trees, shrubs, palm trees and some native grasses and weeds. As indicated the site is relatively flat.

To the north of the site are older, existing single-residential developments. To the east and west are newer single-residential and multi-family residential developments. To the south is the Southern Pacific rail road.

The project site is located in an area of Loma Linda that is commonly referred to as the North Central Neighborhood (NCN), roughly located south of Redlands Boulevard, north of the San Timoteo Creek, east of Anderson Street, and west of Mountain View Avenue. The North Central Neighborhood contains a mix of single-family and multi-family residential developments and neighborhoods that to a large extent predate the City's incorporation in the early 1970s.

## **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) STATUS**

On June 28, 2013, a Notice of Intent (NOI) to adopt a Mitigated Negative Declaration and Initial Study were prepared and released for public review. The California Environmental Quality Act (CEQA) mandatory 20-day public review began on June 28, 2013 and ended on July 17, 2013. The Environmental Initial Study (Attachment D) prepared by MIG-Hogle Ireland, evaluates the potential impacts of the project and identifies appropriate mitigation measures. All of the potential impacts that were identified in the Initial Study can be mitigated to below a level of significance. The mitigation measures are included as project Conditions of Approval, and are listed below:

- C-1 If potential archaeological materials are uncovered during grading or other earth moving activities, the contractor shall be required to halt work in the immediate area of the find and to retain a professional archaeologist to examine the materials to determine whether it is a *unique archaeological resource* as defined in Section 21083.2(g) of the State CEQA Statutes. If this determination is positive, the resource shall be left in place, if determined feasible by the project archaeologist. Otherwise, the scientifically consequential information shall be fully recovered by the archaeologist. Work may continue outside of the area of the find; however, no further work shall occur in the immediate location of the find until all information recovery has been completed and a report concerning the resource(s) is filed with the Community Development Department.
- N-1 The project applicant shall require construction contractors to adhere to the following noise attenuation requirements:
- Construction activities shall be limited to between the hours of 6:00 A.M. and 6:00 P.M. Monday through Friday. No work on holidays.
  - All construction equipment shall use noise-reduction features (e.g., mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer.
  - Construction staging and heavy equipment maintenance activities shall be performed a minimum distance of 300 feet from any offsite residence, unless safety or technical factors/feasibility takes precedence.
- N-2 A 10-foot high wall is required along the project site's property line. Noise barrier must present a solid face from top to bottom and be placed on top of grade or pad (whichever is higher).
- N-3 For Building 4, all windows and sliding glass doors for floors 2 through 3 facing the Southern Pacific Rail Line will require a minimum STC rating of 30 or higher.

Therefore, the project can be approved with a Mitigated Negative Declaration in accordance with the requirements of CEQA.

## **PUBLIC COMMENTS**

Staff received the following request from the County of San Bernardino Department of Public Works, and has been made a condition of approval:

- The project proponent shall adhere to and comply with the document found in the San Bernardino County Flood Control District (District) offices entitled "**Comprehensive Storm Drain Plan #4, dated February 2013**". This document shall provide information on local drainage patterns and flows, in consultation with the District.
- No public comments were provided during the August 7, 2013 Planning Commission public hearing.

## **ANALYSIS**

### **Project Description**

The proposed project is located on approximately 4.37 acres and includes the construction of a multi-family apartment complex. The project consists of a total of 87 rental units and one

leasing office in an early California mission style architecture. There will be five buildings, each three stories in height (approximately 42 feet and two inches). Along with the apartment units, there are four six-unit detached garages and one four-unit detached garage. These are located around the perimeter of the project site along with the required open parking spaces for residents and guests. The project features a large central common area which will feature a pool and spa, a clubhouse with exercise gym, a tot lot, and an open covered wood trellis and BBQ structure. Landscaping features include meandering walkways, verdant green areas, trees, and shrubs. Proposed recreational areas include a half basketball court and a volleyball court. The project is proposed with a gated and secured main entrance and a secondary exit. The exteriors will feature stucco mixed with wood accents, shutters, stucco window and door trims, wood posts, recessed decks and patios, wrought iron and stucco deck and patio guardrails, and varied elevations through the use of entrance courts and building offsets.

**Surroundings**

The subject site, as stated above, is located on the south side of Van Leuven Street between Poplar Avenue and Mountain View Avenue. The property is located in the R-3 Zone with a General Plan land use designation of Very High Density Residential (0-20 du/ac). The surrounding uses, General Plan Land Use designation, and zones are as follows:

Direction	General Plan Designation	Zoning District	Existing Land Use
Project Site	Very High Density Residential	Multi-Family Residence (R-3)	Single-Family Residential
North	Very High Density Residential	Multi-Family Residence (R-3)	Single-Family Residential
South	None (immediately adjacent) Institutional and High Density Residential (across tracks)	None (immediately adjacent) Institutional (I) Multi Family Residence (R-3) (across tracks)	Rail Road Tracks Parking lot, Residential
East	Medium Density Residential	Single Residence (R-1)	Single-Family Residential
West	Very High Density Residential	Multi-Family Residence (R-3)	Multi-Family Residential

The area in and around the subject site is in transition. The area includes a mixture of new and older stock single family residences and multi-family housing

**Site Analysis**

Development Standards – R-3	Minimum Required	Proposed	Complies
Front Setback	20'	20'	Yes
Side yard			
- Interior	5'	20'	Yes
- Exterior	10% width of lot (not less than 10', or more than 20')	Approximately 85'	Yes
- Rear			
- Main Building	15'	Approximately 49'	Yes
- Garage	0'	0'	No*
- Open Parking spaces	15'	4.34'	No*
Distance between main buildings	10'	Varies, no less than 33' at nearest point	Yes

Minimum Lot Width	70'	Approximately 503'	Yes
Maximum Building Height	35'	27'3"*** To highest point on buildings 42'2"	Yes
Minimum Lot Area	7,200 sq. ft.	190,357 sq. ft. (4.37 acres)	
Open Space	60,900 square feet	73,620 sq.ft.	Yes
- Balcony (max)	No minimum, but balcony area may not exceed 50% to total required.	10,356 sq. ft.	
- Open Space with no Amenities - Open Space with Amenities (counted at 1:2 ratio to comply with required open space requirement)		8,342 sq.ft. 27,461 x 2 = 54,922 sq.ft.	
Parking	218 Garage: 87	219 Garage: 91	

\*Applicant is applying for a variance to allow the open parking spaces within the rear yard setback.

\*\*Building height is defined as the vertical distance measured from the average level of the foundation of the building to the ceiling of the uppermost story.

Vehicular access will be provided from Van Leuven Street via a 46-foot wide driveway with landscaped median at the center of the project site, with a secondary driveway approach, which accommodates both residential traffic and emergency vehicular traffic.

The site plan for the proposed development indicates that the five, detached, three story apartment buildings centrally located on the property, plus a recreational building with gym facilities. The development includes two main apartment buildings fronting Van Leuven Street, giving the project street presence along Van Leuven Street. Previous project drafts included carports fronting Van Leuven Street and lacked a walkability component, however, during the preliminary review stages and based on staff's concerns, the applicant revised the site plan to its current form. Two buildings are now oriented towards the street, and the project now includes a series of walkways throughout the development. The remaining three apartment buildings are centrally located on the property, with a driveway separating the garages, the open parking spaces, as well as the recreational amenities. The development also includes a half basketball court along the east property line, and a fully volleyball court along the east property line.

### Traffic

The project is expected to generate an average of 579 vehicle trips per day (cars and delivery vehicles), with 44 trips occurring during the morning peak hours, 54 trips occurring in the afternoon peak period, and 54 occurring in the evening peak period., based on the Traffic Impact Analysis prepared by Transtech Engineers (May 30, 2013). The existing/prior uses to be removed from the site (5 multi-family residential units) were not subtracted from these counts, resulting in a worst-case scenario.

All new development project shall assure by implementation of appropriate mitigation measures that, at a minimum, traffic levels of service (LOS) are maintained at a minimum of LOS C throughout the City, Except where the current level of service is lower that LOS C. In any

location where mitigation measures shall be imposed on that development project to assure, at a minimum, that the level of traffic service is maintained at levels of service that are no worse than those existing at the time an application for development is filed.

Presently, all of the nearby intersections are operating at a Level of Service (LOS) C or better, as shown in the table below:

Intersection	Peak Hour	Existing Conditions	
		LOS	Avg Delay (sec/veh)
1. Poplar St at Van Leuven St	AM	A	9.9
	AFT	A	7.9
	PM	A	9.1
2. Mtn View Ave at Van Leuven St	AM	B	18.8
	AFT	B	16.2
	PM	B	16.8
3. Poplar St at Redlands Blvd	AM	B	13.0
	AFT	A	8.3
	PM	B	10.2
4. Anderson St at Orange Grove/ Academy	AM	C	24.9
	AFT	B	17.8
	PM	B	17.4

Source: Traffic Impact Analysis, Transtech Engineers, May 30, 2013

The project as stated previously, will generate an average of 579 vehicle trips per day, and those trips are broken down as follows:

Intersection	Peak Hour	Existing Conditions		Existing Conditions With Project	
		LOS	Avg Delay (sec/veh)	LOS	Avg Delay (sec/veh)
1. Poplar St at Van Leuven St	AM	A	9.9	A	10.0
	AFT	A	7.9	A	7.9
	PM	A	9.1	A	9.3
2. Mtn View Ave at Van Leuven St	AM	B	18.8	B	19.5
	AFT	B	16.2	B	16.6
	PM	B	16.8	B	17.3
3. Poplar St at Redlands Blvd	AM	B	13.0	B	13.6
	AFT	A	8.3	A	8.6
	PM	B	10.2	B	10.4
4. Anderson St at Orange Grove/ Academy	AM	C	24.9	C	24.9
	AFT	B	17.8	B	17.8
	PM	B	17.4	B	17.5

Source: Traffic Impact Analysis, Transtech Engineers, May 30, 2013

As shown in the table above, the nearby intersections will continue to operate at a LOS C or better. The Traffic Impact Analysis also provided Year 2035 projections for the study intersections using an ambient growth rate of 2% per year for the 22 year period between 2013 and 2035 conditions. The table below indicates that in Year 2035, the study intersections will continue to operate at a LOS C or better:

**TABLE 9**  
**Future 2035 Conditions With and Without Project Level of Service Analysis**

Intersection	Peak Hour	2035 Cumulative Conditions Without Project		2035 Cumulative Conditions With Project	
		LOS	Avg Delay (sec/veh)	LOS	Avg Delay (sec/veh)
1. Poplar St at Van Leuven St	AM	B	13.0	B	13.2
	AFT	A	8.4	A	8.5
	PM	B	11.1	B	11.3
2. Mtn View Ave at Van Leuven St	AM	C	27.9	C	30.8
	AFT	B	18.3	B	18.8
	PM	C	23.9	C	24.8
3. Poplar St at Redlands Blvd	AM	B	15.2	B	15.7
	AFT	A	9.4	A	9.7
	PM	B	12.7	B	12.9
4. Anderson St at Orange Grove/ Academy	AM	C	34.4	C	34.4
	AFT	B	19.3	B	19.3
	PM	B	19.1	B	19.2

Source: Traffic Impact Analysis, Transtech Engineers, May 30, 2013

The increase in delay with the addition of project traffic and with project traffic and cumulative traffic does not exceed thresholds for “significant impacts”.

All of the studied intersections were evaluated based upon thresholds as defined by the City of Loma Linda’s, Level of Service Standards. As shown in the traffic impact analysis, all of the studied intersections are operating and are projected to operate at acceptable LOS A, B or C with the increase in project traffic to the existing traffic stream significant thresholds are not exceeded so no off-site mitigation measures are necessary for the development of the project

### On-Site Parking

The project includes 219 total parking spaces, of which 91 are covered, and 128 are open and uncovered parking spaces. Of the total parking spaces, 14 spaces are handicapped accessible, with 10 of those being covered. The LLMC requires 1.5 parking spaces per one-bedroom unit plus 0.5 parking spaces per each additional bedroom, and 0.25 parking spaces per bedroom for guest parking for a total of 219 parking spaces. The parking breakdown is as follows:

Parking Requirements	# Units	1 Bedroom 1.5	Each Additional Bedroom .5	Guest Parking .25 per bedroom	Required	Proposed	Complies
1 Bedroom	18	27	0	4.5	31.5		
2 Bedroom	51	76.5	25.5	25.5	127.5		
3 Bedroom	18	27	18	13.5	58.5		
<b>Total</b>	87	130.5	43.5	43.5	<b>218</b> (87 Covered)	<b>219</b> (91 Covered)	<b>Yes</b>

Both covered, open and handicapped parking spaces are distributed throughout the property, with a majority of the open parking spaces located along the rear portion of the development. As proposed, the project complies with the parking requirements of the LLMC.

### Architecture Analysis

The architectural style of the surrounding neighborhood is a mix of traditional residential architecture for both older and newer developments in the area. The project proposes 87 units divided into five, three-story modern, neo-Mediterranean style buildings.

The buildings will include “S” tile roofing throughout the project. The buildings will include a two-tone dark tan and brown accents. The window trim, garage doors, and corbels include a dark brown finish. The soffits, pool enclosure, gates, deck guardrails, stairway, wood pots and stucco foam trims will be painted a dark brown. The main entry doors and shutters will be painted blue-gray.

The buildings include multiple wall planes to reduce the massing that may be associated with three-story structures. The apartment buildings include wall pop-outs, multiple gables and roof lines, wood accents (wood beams, corbels), and arches over the proposed balconies. The primary hipped roof on the buildings also helps reduce the massing along the sides of the buildings.

The project will result in an improvement to the visual character of the project site as it will remove older structures to be replaced with an architecturally contemporary development. Furthermore, the three-story development will be more consistent with the scale of the multiple-family developments to the north and west of the project site.

The following is a breakdown of the project units:

<b>Number of Bedrooms</b>	<b>No. of Units</b>	<b>Minimum Unit Size</b>	<b>Proposed</b>	<b>Minimum Balcony Size</b>	<b>Proposed Balcony</b>
<b>1 Bedroom</b>	<b>18</b>	<b>675 sq. ft.</b>	<b>812 sq. ft.</b>	<b>70 sq. ft.</b>	<b>106 sq. ft.</b>
<b>2 Bedroom</b>	<b>51</b>	<b>850 sq. ft.</b>	<b>1,083 sq. ft.</b>	<b>70 sq. ft.</b>	<b>123 sq. ft.</b>
<b>3 Bedroom</b>	<b>18</b>	<b>1,025 sq.ft.</b>	<b>1,243 sq. ft.</b>	<b>70 sq. ft.</b>	<b>114 sq. ft.</b>

The units and accessory balcony comply with the minimum development standards of the R-3 Multi-Family Residence.

### **Open Space**

As stated in the site analysis table above, the project requires 60,900 square feet of open landscape area. The front yard and side yard landscape setbacks are not counted toward fulfilling this requirement. As proposed the project complies with the open space requirement. The project includes open space areas with no amenities and amenities. The central open area includes a number of amenities, including:

- Pool and spa
- Gym
- Club house
- BBQ area
- Trellis
- Tot Lot
- Meandering walkway

Additionally, the project includes a half-court (basketball) and a full volleyball court. When open space areas are improved with amenities, such as the ones listed above, the open space requirement is fulfilled at a 1:2 ratio, meaning that for every square foot of open space with amenities provided, two square feet of required open space is fulfilled. The 27,461 square feet of open space with amenities the applicant is providing count as 54,922 square feet of open space.

While not counted towards fulfilling the open space requirement, the front setback includes a meandering sidewalk and benches through a landscaped area that includes trees, shrubs, and ground cover.

As proposed, the project complies with the open space requirement of the LLMC.

### **Landscape Plan**

The proposed landscape plan includes a variety of trees, shrubs and groundcover. The front yard setback is improved with a combination of trees, shrubs, groundcover and a meandering sidewalk to promote walkability on the site. Section 17.74.120 of the Loma Linda Municipal Code establishes landscape criteria for new development. A minimum of two 24-inch box trees shall be provided with the construction of a new building. In addition, one 36-inch box tree shall be planted for each ten 24-inch box trees required if the proposed lot has a greater than 65 lineal feet frontage. Per section 17.02.215 of the Municipal Code, landscaping contains a combination of planted trees, shrubs, vines, ground cover, flower or lawns. The combination or design shall not contain more than fifty percent hardscape. The proposed project will include 55, 24-inch evergreen perimeter trees, 31 24-inch deciduous canopy trees, 29 24-inch flowering accent trees, nine 36-inch large evergreen canopy trees, 33 24-inch small evergreen canopy trees, 12 24-inch street trees along Van Leuven Street, and four 36-inch project theme trees. In addition, the project will include 10,724 square feet of shrubs and groundcovers, 6,144 square feet of drought tolerant turf, and 2,350 square feet of landscaping for the bio-retention basin.

### **Loma Linda Connected Communities Program (LLCCP)**

A Condition of Approval includes the requirement that the proposed project be pre-wired for coaxial, cable, and fiber optic installation per the LLCCP policy. The LLCCP ensures that all new development projects are equipped with links to meet the latest communications/technological advances.

### **Variance Request and Findings**

As stated in the table above, the applicant is requesting a variance from two sections of the municipal code, Rear Yard Setbacks and Fence Height.

#### *Rear Yard*

The Applicant requests relief from Section 17.38.090, which prohibits open parking spaces and structures within the rear yard setback, with the exception of enclosed storage and carport structures. The property measures 4.37 acres in size, which exceeds the minimum lot size in the R-3 zone, however the property is required to include a storm drain easement that somewhat limits the ability to locate buildings on the site, while at the same time addressing the negative impacts associated with the southern property is also negatively affected by the adjacent southern property.

As stated above, the project includes a storm drain easement below the easternmost driveway. Buildings cannot be located above the easement, so the easement limits the ability to situate a building along the east portion of the site while at the same time complying with the setback requirements. Furthermore, the Southern Pacific Railroad abuts the property to the south, and in order to reduce the noise and vibration impacts to an acceptable level, the apartment buildings must be located as far away from the rear property line as possible, again further limiting the siting ability of the residential structures. Therefore, the applicant is requesting a variance from

Section 17.38.090 to allow the open space parking spaces, trash enclosures and garages within the rear yard setback and allow this area to serve as a buffer between the Southern Pacific Railroad property and the apartment buildings.

Due to the fact that the property to the south is not residentially developed, the impacts that could potentially impact a residentially developed property, both visual and auditory resulting from the proximity of the open space parking, the trash enclosures and the garages, are not anticipated to negatively impact the southern property.

*Rear Property Wall Height*

The project site’s southern property line is located approximately 45 feet from the centerline of the Southern Pacific (SP) tracks and approximately 100 feet to the nearest residential building. The estimated exterior noise level from the SP rail line is anticipated to be approximately 67.2 dBA Community Noise Equivalent Level (CNEL) at the façade of Building 4 (nearest building to tracks). The estimated noise level is above the City’s 65 dBA CNEL (7.8.1.1 *Implementing Noise Policies for Land Use and New Development, 2009 General Plan*) within private yards or enclosed balcony spaces, as shown in the table below:

2015 Unmitigated Noise Levels

Rail Line	Operations per Day <sup>2</sup>		CNEL at Observer Location (dBA) <sup>3</sup>	Noise Level at Specified Distance (dBA CNEL) <sup>4</sup>			
	Freight	AMTRAK		100 ft	200 ft	400 ft	800 ft
Southern Pacific	40	4	67.2	67.2	63.7	59.6	55.1

Source: First Carbon Solutions | Michael Brandman Associates. *Noise Impact Analysis 87-Unit Apartment Project, Loma Linda, San Bernardino County, California*. May 2013.

Notes:

- 1 Unmitigated scenario assumes no wall to shield residential units from rail line.
- 2 Per FRA data and growth rate of 2.71% as outlined by Colton Crossing Report
- 3 Noise levels calculated at 5 feet above ground level.
- 4 Noise level is projected to façade of nearest residential building (approximately 100 feet from centerline of tracks).

The estimated interior noise level with the windows closed may not exceed 45 dBA, per 7.8.1.1 *Implementing Noise Policies for Land Use and New Development, 2009 General Plan*. As shown below, windows on the 2<sup>nd</sup> and 3<sup>rd</sup> floors on Building 4 will exceed the 45 dBA threshold.

Future 2<sup>nd</sup> Floor Interior Noise Levels (dBA CNEL)

Building	Noise Impacts at Third Floor Building Facade	Interior Noise Reduction Required to Meet Interior Noise Standard of 45 dBA CNEL	2nd Floor Interior Noise Level w/ Standard Windows (STC ≥ 25)		Required STC Rating for Windows and Doors <sup>3</sup>
			“Windows Open” <sup>1</sup>	“Windows Closed” <sup>2</sup>	
Building 1	62.6	17.6	50.6	42.6	25
Building 2	63.8	18.8	51.8	43.8	25
Building 4	67.2	22.2	55.2	47.2	30

Source: First Carbon Solutions | Michael Brandman Associates. *Noise Impact Analysis 87-Unit Apartment Project, Loma Linda, San Bernardino County, California*. May 2013.

Notes:

- <sup>1</sup>A minimum of 12 dBA noise reduction is assumed with the “windows open” condition.
- <sup>2</sup>A minimum 20 dBA noise reduction is assumed with the “windows closed” condition. If noise levels exceed the interior noise standard of 45 dBA when the windows are closed, then upgraded glass windows and doors (higher STC rating) are needed to ensure proper sound attenuation.
- <sup>3</sup>Upgraded windows are required for all units facing tracks.

Future Third Floor Interior Noise Levels (dBA CNEL)

Building	Noise Impacts at Third Floor Building Facade	Interior Noise Reduction Required to Meet Interior Noise Standard of 45 dBA CNEL	3 <sup>rd</sup> Floor Interior Noise Level w/ Standard Windows (STC ≥ 25)		Required STC Rating for Windows and Doors <sup>3</sup>
			“Windows Open” <sup>1</sup>	“Windows Closed” <sup>2</sup>	
Building 1	62.6	17.6	50.6	42.6	25
Building 2	63.8	18.8	51.8	43.8	25
Building 4	67.2	22.2	55.2	47.2	30

Source: First Carbon Solutions | Michael Brandman Associates. *Noise Impact Analysis 87-Unit Apartment Project, Loma Linda, San Bernardino County, California*. May 2013.

Notes:  
<sup>1</sup>A minimum of 12 dBA noise reduction is assumed with the “windows open” condition.  
<sup>2</sup>A minimum 20 dBA noise reduction is assumed with the “windows closed” condition. If noise levels exceed the interior noise standard of 45 dBA when the windows are closed, then upgraded glass windows and doors (higher STC rating) are needed to ensure proper sound attenuation.  
<sup>3</sup>Upgraded windows are required for all units facing tracks.

In order to comply with the City’s 65 dBA CNEL threshold within private patios and enclosed balconies, and 45 dBA interior noise level with the windows closed, the noise consultant has recommended that a 10-foot high wall be located along the rear property line in order to reduce the noise level of rail road traffic to an acceptable level.

While the maximum height of a wall along the rear property line in a residential zone is 6-feet, it appears that any two-story development on properties located alongside the rail road tracks will require construction of a 10-foot high masonry block wall in order to comply with the City’s 65 dBA CNEL threshold within private patios and enclosed balconies, and 45 dBA interior noise level with the windows closed. Therefore, allowing the applicant to construct a 10-foot high wall along the rear property line will allow the applicant to develop the property in compliance with the General Plan.

In conjunction with the construction of the 10-foot high wall, the applicant is also required to provide the following mitigation measure:

- For Building 4, all windows and sliding glass doors for floors 2 through 3 facing the Southern Pacific Rail Line will require a minimum STC rating of 30 or higher.

Both the construction of the 10-foot high rear wall and the minimum STC rating of 30 or higher requirements should reduce the impact associated with Southern Pacific Railroad traffic on Building 4 to an acceptable level.

*Findings for Reduction in Rear Yard Setback and Increase in Fence Height*

1. *That there are exceptional and extraordinary circumstances of conditions applicable to the property involved.*

In order to reduce the impacts associated with the Southern Pacific (SP) Railroad tracks located adjacent to the subject site, the residential structures must be located as far away from the south property line as possible. The reduction in the rear yard setback will allow the applicant to centrally locate the apartment buildings on the site and limit the impacts associated with the SP line. The noise study prepared by FCS-MBA states that if not properly mitigated, the noise and vibration impacts associated with SP line traffic will exceed

the allowable levels stated in the Noise Ordinance of the Loma Linda General Plan. The proposed location of the residential structures requires the applicant situate the proposed driveway, garages, and open parking spaces as close to the rear property line as possible, serving as a noise buffer between the two properties.

Furthermore, a required storm drain easement along the east portion of the lot limits the ability to construct any structures over the easement, further restricting the ability to locate the residential structures on the subject site. The proposed location of the residential structures, plus the proposed 10-foot high block wall will reduce the impacts associated with SP traffic to a noise level that is compliant with the General Plan Implementing Noise Policies for Land Use and New Development.

As stated previously, the projects southern property line is located approximately 45-feet from the centerline of the Southern Pacific tracks. Building 4 is located approximately 54 feet from the southern property line. The estimated noise levels from the Southern Pacific line are anticipated to be approximately 67.2 dBA CNEL at the façade of Building 4 (nearest building to the tracks). In order to reduce the noise level to the City's 65 dBA CNEL at the building façade and 45 dBA interior noise level with the windows closed, a 10-foot high, masonry block wall is required of the project. Relative to the width (521 feet) of the subject site, a depth of 327' – 413', and the fact that the property is located adjacent to the SP line, the visual impact associated with a 10-foot high wall will not negatively affect the adjacent neighbors.

2. *That such variance is necessary for the preservation and enjoyment of the substantial property right possessed by other property in the same vicinity and zone and denied to the property in question.*

The subject site is located in the Very High Density Residential (0-20 du/ac) land use designation. The applicant is proposing 87 units at a density of 19.91 dwelling units per acre. The 15-foot rear yard setback would negatively impact the ability to fully develop the site to the maximum 20 du/ac allowed under the 2009 General Plan.

3. *That the granting of such a variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and zone in which the property is located.*

The proposed relief from Section 17.38.90 of the LLMC will not be detrimental to the public welfare or injurious to property and improvements in that the majority of the property will not be altered in any way. The property is located adjacent to the Southern Pacific Railroad property, which spans the length of the subject site, and will not be negatively affected by the proposed open parking spaces, garages, or the construction of the trash enclosures. Construction will be subject to the necessary building code requirements to ensure compatibility and safety.

In addition, the proposed relief from Section 17.38.080 (Maximum Height – Rear Yards) of the LLMC will not be detrimental to the public welfare in that the proposed 10-foot high block wall will allow the development to comply with Implementing Policy 7.8.1.1 – Implementing Policies for Land use and New Development of the General Plan. Furthermore, the proposed 10-foot high wall will located along the SP Line and will not be visually detrimental to the SP property.

4. *The granting of such variances will be consistent with the General Plan for the City.*

The proposed variance for a reduction in the rear yard setback is consistent with the objectives of the General Plan in that the variance would allow for development which complies with the density requirements allowed under the Very High Density Residential (0-20 du/ac) land use designation, and further allowing the development to comply with the following Guiding Policies for Residential Land Uses:

*Policy a – Encourage a mixture of dwelling sizes, layouts, and ownership types (consistent with the corresponding land use designation, density range, and applicable General Plan requirements), especially within large-scale residential development projects, in order to provide housing opportunities for a range of incomes and households;*

*Policy e – Provide the citizens of Loma Linda with a choice of areas of varying densities and housing with a range of costs.*

The proposed variance for a 10-foot high block wall is consistent with the objectives of the General Plan in that the 10-foot high block wall will reduce the noise level associated with traffic along the Southern Pacific Property to an acceptable level and comply with Implementing Policy Section 7.8.1.1 Implementing Noise Policies for Land Use and New Development, 2009 General Plan – Multifamily: 65 dBA within private yards or enclosed balcony spaces, and 45 dBA interior noise level with the windows closed.

5. *That a public hearing was held wherein the applicant is heard and in which he substantiates all of the conditions cited in this subsection.*

The variance requests are scheduled for review on the August 7, 2013 Planning Commission Meeting. The conditions to the project are included as Attachment C to this report.

### **Tentative Parcel Map and Findings**

The applicant proposes to consolidate seven lots into one 4.37 acre lot. As stated in the Site Analysis, the lot area and width of the proposed lot complies with R-3 (Multiple Residence) development standards.

1. *The proposed map is consistent with the applicable general plan and zoning designations.*

The proposed consolidation of seven parcels into one 4.37 acre parcel is consistent with the General Plan land use designation Very High Density Residential (0-20 du/ac) and the R-3 Multi Family Residence zoning designation. The minimum lot size in the R-3 Zone is 7,200 square feet, with a minimum lot width of 70 feet. The subject site measures over 500 feet in width and measures 4.37 acres in area, thus complying with the development standards for lots in the R-3 zone.

2. *The design or improvement of the proposed subdivision is consistent with the applicable general plan and zoning designations.*

The proposed subdivision complies with the existing General Plan land use designation in that the General Plan allows up to 20 dwelling units per acre. The project as proposed is developed at 19.90 dwelling units per acre, within the allowable density of the Very High Density Residential land use designation of the General Plan. The lot size also complies with the minimum 7,200 square foot lot size requirement for properties located within the R-3 residential zone.

3. *The site is physically suitable for the type of development proposed.*

The proposed parcels are physically suitable for the proposed lot consolidation, demolition of existing multifamily structures, and the construction of the 87-unit apartment unit project.

4. *The site is physically suitable for the proposed density of development.*

The proposed consolidation of seven parcels into one, 4.37 acre parcel is consistent with the General Plan, Very High Density Residential (0-20 du/ac) and the R-3 Multi Family Residence zoning designation, in that development will include 87 dwelling units at a density of 19.90 dwelling units per acre.

5. *The design of the subdivision is not likely to cause substantial environmental damage or substantially and unavoidably injure fish and wildlife or their habitat.*

The site has been graded and is presently developed with multifamily dwelling units. There is no natural vegetation or wildlife present or undisturbed area remaining on the subject site. Therefore, the design of the proposed subdivision would not cause any substantial environmental damage or substantially and unavoidably injure fish and wildlife or their habitat.

6. *The design of the subdivision is not likely to cause serious public health problems.*

The design of the subdivision would not cause any serious public health problems. The consolidation of seven parcels into one parcel will create a parcel that conforms to the minimum lot width, lot area requirements of properties located in the Multi Family Residence (R-3) zone. While the project includes a variance request for a reduced rear yard and 10-foot high block wall along the rear property line, the Southern Pacific Railroad is located to the south of the subject site and will therefore not negatively impact the adjacent property.

7. *The design of the subdivision will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.*

The site includes a storm drain easement that will be located beneath the proposed driveway entrance and driveway itself, as it runs the entire length (north-south) along the east portion of the lot. However, as designed, the consolidation of lots will not conflict with the proposed/required storm drain easement.

### **Precise Plan of Design Findings**

According to LLMC Section 17.30.290, Precise Plan of Design (PPD), Application Procedure, PPD applications shall be processed using the procedure for a variance (as outlined in LLMC Section 17.30.030 through 17.30.060) but excluding the grounds (or findings). As such, no specific findings are required. However, LLMC Section 17.30.280, states the following:

“If a PPD would substantially depreciate property values in the vicinity or would unreasonably interfere with the use or enjoyment of property in the vicinity by the occupants thereof for lawful purposes or would adversely affect the public peace, health, safety or general welfare to a degree greater than that generally permitted by this title, such plan shall be rejected or shall be so modified or conditioned before adoption as to remove the said objections.”

In an effort to ensure that the foregoing project is consistent with the General Plan, compliant with the zoning and other City requirements, compatible with the surrounding area, and appropriate for the site, staff and the City Attorney have opted to apply the Conditional Use Permit Findings in LLMC §17.30.210 to this project, as follows:

1. *That the use applied for at the location set forth in the application is properly one for which a precise plan of design is authorized by this title.*

The proposed use is a permitted use within the Multi-Family Residence (R-3) zone and in fact, the R-3 zone is intended for multi-family residential development. A number of multi-family developments have been approved, constructed, or are under construction on Poplar Avenue, just north of the subject site. There are single and multi-family residential structures developed adjacent and around the project site. The proposed use also meets Goal No. 2 in the General Plan Housing Element to provide housing that is affordable to all economic segments of the community. Therefore, the proposed use is a proper one for the area.

2. *That the said use is necessary or desirable for the development of the community, is in harmony with the various elements and objectives of the general plan, and is not detrimental to existing uses specifically permitted in the zone in which the proposed use is to be located.*

The project meets General Plan Goal 1 (to provide a diversity of housing opportunities to enhance the City's living environment and to satisfy the housing and shelter needs of Loma Linda residents). The proposed project is designed as a market rate development intended to provide different housing opportunities and to improve the blighted and vacant areas with housing opportunities to enhance the City's living environment. Additionally, the surrounding area is a mixture of single and multi-family residential developments, none of which would appear to conflict with the proposed use.

3. *That the site for the intended use is adequate in size and shape to accommodate said use and all of the yards, setbacks, walls, or fences, landscaping and other features required in order to adjust said use to those existing or permitted future uses on land in the neighborhood.*

The project site is adequate in size and shape to accommodate the proposed use. However, due to the proximity of the adjacent Southern Pacific Railroad, the project requires variances to locate the buildings as far away from the rear property line as possible, thereby moving the required parking spaces, garages, and trash enclosures to the rear portion of the lot, within the required rear yard setback. Furthermore, siting the building as far away as possible from the rail road property is not enough to reduce the impact associated with SP traffic; the project therefore includes 10-foot high rear property line walls to reduce the noise and vibration associated with train traffic along the tracks. Because the subject site abuts the Southern Pacific Railroad, the variance requests will not negatively impact the adjacent property. The apartment buildings comply with the minimum setbacks required of the R-3 zone. The project site will accommodate the proposed use and be compatible with the existing land uses on Van Leuven Street and in the surrounding area.

4. *That the site or the proposed use related to streets and highways is properly designed and improved to carry the type and quantity of traffic generated or that will be generated by the proposed use.*

The project site has access from Van Leuven Street, which can accommodate the type and quantity of traffic generated by the use. Currently the roadway can accommodate the existing volume of traffic and the future traffic from the proposed apartment development.

Off-site improvements in the vicinity of the project site will include roadway widening, installation of sidewalk, curb, and gutter, and two driveway approaches. A total of 219 parking spaces are provided to accommodate the parking requirements of the 87-unit apartment project. Additionally, the perimeter drive aisle provides emergency vehicle access

all around the development. The proposed project and related on- and off-site improvements will not conflict with other uses immediately adjacent to the project site.

5. *That the conditions set forth in the permit and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare.*

The public health, safety and general welfare will be protected through the implementation of the Conditions of Approval for PPD No. 13-07 to insure compatibility with the neighborhood. As outlined in §19.16.020 *Substantive General Plan Amendment*, Section I (A)(3), the project includes a condition that requires the applicant to pay all required development impact fees to cover 100 percent of the pro rata share of the estimated cost of public infrastructure, facilities, and services.

## **CONCLUSION**

All elements of the project are consistent with the General Plan (May 26, 2009). The project is also in compliance with the LLMC Chapter 19.16, Title 17 Zoning Code. The project includes a variance request for a reduction in the rear yard setback, as well as a variance to allow a 10-foot high wall along the rear property line, both necessary to protect the future tenants of the southern-most apartment building from noise and vibration created by the adjacent Southern Pacific Railroad property. The required Findings have been made to support staff's recommendation for approval. The applicant has worked closely with staff and has made every effort possible to provide the most appropriate layout, design, and architecture for this project. The apartment development is compatible with the existing and future uses in the surrounding area and provides housing opportunities that are much needed by Loma Linda's population.

The project is in compliance with CEQA and the Mitigation Measures listed in the Initial Study will reduce any potential environmental impacts to below a level of significance. The Mitigation Measures have been made part of the Conditions of Approval (Attachment C).

## **ATTACHMENTS**

- A. Site Location Map
- B. Project Plans
- C. Conditions of Approval
- D. Mitigated Negative Declaration/Environmental Initial Study
- E. Landscape Photos (Trees)

*I:\PROJECT FILES\PPD's\2013\PPD 13-007\Staff Reports\CC Staff Report 8-27-13.doc*

## PLANNING COMMISSION MEETING OF JULY 1, 2015

**TO:** PLANNING COMMISSION

**FROM:** KONRAD BOLOWICH, ASSISTANT CITY MANAGER  
COMMUNITY DEVELOPMENT DEPARTMENT

**SUBJECT:** Time Extension Request of Precise Plan of Design No. PPD 13-007, Tentative Parcel Map No. TPM 13-032 (No. 19452), and Variance No. V 13-067 to construct an 87-unit multi-family project on property located at 25259-25303 Van Leuvan Street, a Tentative Parcel Map to consolidate seven parcels into one parcel, and a Variance to reduce the rear yard setback and to allow a wall that exceeds 6-feet in height along the rear property line. The property is located in the R-3 (Multi Family Residence Zone).

### SUMMARY

Golden Eagle Multi-Family Properties (the Applicant), is requesting approval to construct 87 apartment units, plus one leasing office in five, three-story buildings on 4.37 acres located on the south side of Van Leuven Street (Exhibit A). The project includes a request for a variance for the reduction in the rear yard setback and the construction of a 10-foot high rear property line block wall, as well as a Tentative Parcel Map to consolidate seven parcels into one parcel.

The Applicant is requesting a one year time extension for the previously approved Precise Plan of Design to construct

### BACKGROUND

On August 7, 2013, the Planning Commission recommended approval of applications PPD 13-007, TPM 13-032, and V 13-067 for the above mentioned project (Exhibit C).

On August 27, 2013, the City Council approved applications PPD 13-007, TPM 13-032, and V 13-067 for the above mentioned project (Exhibit D).

On June 9, 2015, the Applicant submitted a one-year time extension request (Exhibit E).

### ANALYSIS

The Applicant is requesting a one-year extension in order to obtain building permits for the above mentioned project. The Applicant has indicated that due to market and financing conditions, they have been unable to proceed with the proposed project in a timely manner. The Applicant is not proposing to change the scope of the project. The approved conditions of approval allow the applicant to submit a request for a one-time extension not to exceed 12 months.

## **ENVIRONMENTAL**

On August 27, 2013, the City Council adopted a Mitigated Negative Declaration (MND) for the project and approved the applications. The request for a one-year time extension for the above mentioned applications falls within the scope of the project MND and as such, no additional environmental review is required.

## **RECOMMENDATION**

Staff recommends that the Planning Commission recommend approval of a one year time extension for the following Applications: PPD 13-007, TPM 13-032, and V 13-067 based on the analysis and original staff report and project findings (Exhibits C and D) and subject to the Revised Conditions of Approval (Exhibit F).

Report prepared by:

Guillermo Arreola  
Associate Planner

## **EXHIBITS**

- A – Vicinity Map
- B – Plans
- C – August 7, 2013 Planning Commission Staff Report (no exhibits)
- D – August 27, 2013 City Council Staff Report (no exhibits)
- E – Applicant's Time Extension Request
- F – Revised Conditions of Approval



# City of Loma Linda Official Report

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Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ovidiu Popescu, Councilman  
Ronald Dailey, Councilman  
John Lenart, Councilman

COUNCIL AGENDA: July 28, 2015

TO: City Council

VIA: T. Jarb Thaipejr, City Manager

FROM: Pamela Byrnes-O'Camb, City Clerk

SUBJECT: Minutes of July 14, 2015

Approved/Continued/Denied By City Council Date _____
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## **RECOMMENDATION**

It is recommended that the City Council approve the minutes of July 14, 2015.

City of Loma Linda

City Council Minutes

Regular Meeting of July 14, 2015

A regular meeting of the City Council was called to order by Mayor Rigsby at 6:02 p.m., Tuesday, July 14, 2015, in the Council Chamber, 25541 Barton Road, Loma Linda, California.

Councilmen Present:	Mayor Rhodes Rigsby Mayor pro tempore Phill Dupper Ovidiu Popescu Ron Dailey John Lenart
Councilmen Absent:	None
Others Present:	City Manager T. Jarb Thaipejr City Attorney Richard Holdaway

CC-2015-058 Closed Session

- a. Joint meeting with Successor Agency to the Loma Linda Redevelopment Agency – Conference with Legal Counsel – Pending Litigation – City of Loma Linda, a California charter city, and City of Loma Linda as Successor Agency to the Dissolved Redevelopment Agency of the City of Loma Linda, a public entity organized and existing under California Health & Safety Code Section 34173, vs. State of California; State of California Department of Finance, et al., Sacramento County Superior Court Case No. 34-2013-80001583 (Government Code Section 54956.9(b)(1))
- b. Public employee Evaluation - City Manager (Government Code Section 54957) (Continued from June 23)
- c. Public Employee Discipline/Dismissal/Release (May be continued to after the Open Meeting)

The City Council immediately recessed to consider the closed session items as listed and reconvened at 7:12 p.m. with all members present. City Attorney Holdaway announced that relating to Item a, City Council and Successor Agency met with Legal Counsel and gave direction. No final action to report at this time; Item b, City Council met and discussed. There was no final action in that regard; however, a related item was agendaized on the Consent Calendar; Item c, City Council unanimously voted to uphold the dismissal of an employee holding the position of Fire Department Battalion Chief, and to deny the employee's administrative appeal.

The Successor Agency recessed to allow completion of the City Council Agenda.

Councilman Popescu led the invocation and Pledge of Allegiance. No items were added or deleted; no public participation comments were offered upon invitation of the Mayor, and no conflicts of interest were noted.

CC-2015-059 - Consent Calendar

Staff responded to questions.

**Motion by Dailey, seconded by Popescu and unanimously carried to approve the following items.**

The Demands Register dated June 30, 2015 with commercial demands totaling \$1,600,042.37.

The Demands Register dated July 14, 2015 for Fiscal Year 2014-2015 with commercial demands totaling \$681,812.73 and payroll demands totaling \$274,657.58 and \$14,298.74.

The Demands Register dated July 14, 2015 for Fiscal Year 2015-2016 with commercial demands totaling \$1,112,670.41.

The Minutes of June 23, 2015 as presented.

Accepted as complete and authorized recordation of Notice of Completion for Installation of Playground Equipment at Elmer Digneo Park, Orteo Incorporated, contractor.

Change Order for Mountain View Well #3 Rehabilitation in the amount of \$26,000 and to carry over the unexpended funds of \$56,000 from fiscal year 2014-2015 to fiscal year 2015-2016.

City Manager Contract.

Agreement for Professional Services between the City and Lilburn Corporation for contract planning services, preparation of an environmental analysis, and associated technical studies for the annexation and development of Orchard Heights, a 95 unit, single-family lot subdivision located within the city's Sphere of Influence along New Jersey Street, between Orange Avenue and Citrus Avenue; and the use of funds to be deposited in the amount of \$72,464 as a pass through fee (plus a 10% contingency fee of \$7,246.40) paid for by the applicant to cover the costs of contract planning services

Appropriation of \$20,000 from General Facilities Fund Reserves to Complete design services for the EOC Expansion project.

Re-appropriation of \$86,100 from Fiscal Year 2014-15 to Fiscal Year 2015-16 and Appropriate \$119,600 from Miscellaneous Grant Fund Reserves for the Extension of Fiber Optic Infrastructure to Grand Terrace Project.

Increase to General Fund for Fiscal Year 2014-2015 Revenues and expenditure appropriations related to the Economic Incentive Agreement between Mansfield Oil Company and the City.

**Old Business**

**CC-2015-060 - Council Bill #O-2015-02 (Second Reading/Roll Call Vote) Pre-Zone No. MA14-076 to establish the Single Family Residence (R-1) Zone For APNs 0292-161-01, and 11, and the General Business (C-2) Zone APNs 0292-161-08, and 12 located on the east side of California Street, between Orange Avenue and Citrus**

Assistant City Manager Bolowich reviewed that the subject zone change was a requirement of LAFCO as part of the annexation process; the public hearing was held on June 23 at which time the proposed ordinance was introduced on First Reading. If adopted, the Ordinance would become effective in 30 days.

**Motion by Dupper, seconded by Popescu and unanimously carried to waive reading of Council Bill #O-2015-02 in its entirety; direct the Clerk to read by title only and call the roll.**

The City Clerk read the title and called the roll with the following results:

Ayes:	Rigsby, Dupper, Popescu, Dailey, Lenart
Noes:	None
Absent:	None
Abstain:	Non

**Ordinance No. 727**

An Ordinance of the City Council of the City of Loma Linda modifying the Official Zoning Map of the City of Loma Linda to pre-zone the east side of California Street between Orange Avenue and Citrus Avenue to Single-Family Residence (R-1) for APNS 0292-161-01 and 11, and to the General Business (C-2) Zone for APNS 0292-161-08 and 12, for the purpose of future annexation of the unincorporated area into the City of Loma Linda City Limits

**Reports of Councilmen**

Councilman Dupper commented on his recent training which took place at the Museum of Tolerance, and which included several hours of one-on-one testimony with survivors of the Auschwitz Prison Camp.

The meeting adjourned at 7:26 p.m.

Approved at the meeting of \_\_\_\_\_, 2015

\_\_\_\_\_  
City Clerk



# City of Loma Linda Official Report

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Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ovidiu Popescu, Councilman  
Ronald Dailey, Councilman  
John Lenart, Councilman

COUNCIL AGENDA: July 28, 2015  
TO: City Council  
VIA: T. Jarb Thaipejr, City Manager  
FROM: Diana De Anda, Finance Director/City Treasurer   
SUBJECT: June 2015 Treasurer's Reports

Approved/Continued/Denied By City Council Date _____
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## **RECOMMENDATION**

It is recommended that the City Council receive the report for filing.

CITY OF LOMA LINDA  
COMPOSITION OF CASH  
JUNE 2015

DEMAND DEPOSIT ACCOUNTS

CITY - BANK OF AMERICA - MAIN CHECKING ACCOUNT	\$	1,689,935.28
Outstanding Checks as of month-end		<u>(263,389.66)</u>
CITY - MAIN CHECKING ACCOUNT AVAILABLE BALANCE	\$	1,426,545.62
 BANK OF AMERICA - PAYROLL	 \$	 300,507.30
 HOUSING AUTHORITY - BANK OF AMERICA - CHECKING ACCOUNT		 133,859.12
Outstanding Checks as of month-end		<u>(1,254.30)</u>
HOUSING AUTHORITY - CHECKING ACCOUNT AVAILABLE BALANCE	\$	132,604.82
 SUCCESSOR AGENCY - BANK OF AMERICA - CHECKING ACCOUNT		 259,954.59
Outstanding Checks as of month-end		<u>(110,927.00)</u>
SUCCESSOR AGENCY - CHECKING ACCOUNT AVAILABLE BALANCE	\$	149,027.59

DEMAND DEPOSIT ACCOUNTS - TOTAL \$ 2,008,685.33

INVESTMENTS

YIELD

LOCAL AGENCY INVESTMENT FUND (LAIF)

CITY	0.299%		\$	20,360,446.68
SUCCESSOR RDA	0.299%	281,510.10		
SUCCESSOR RDA -Bond Proceeds		4,621,023.74		
SUCCESSOR RDA -Total				4,902,533.84
HOUSING AUTHORIT	0.299%			370,990.71

INVESTMENTS TOTALS \$ 25,633,971.23

OTHER CASH

IMPREST ACCOUNT	\$	500.00
CASH ON HAND		<u>1,350.00</u>

OTHER CASH TOTAL \$ 1,850.00

CASH AND INVESTMENTS - GRAND TOTAL 27,644,506.56

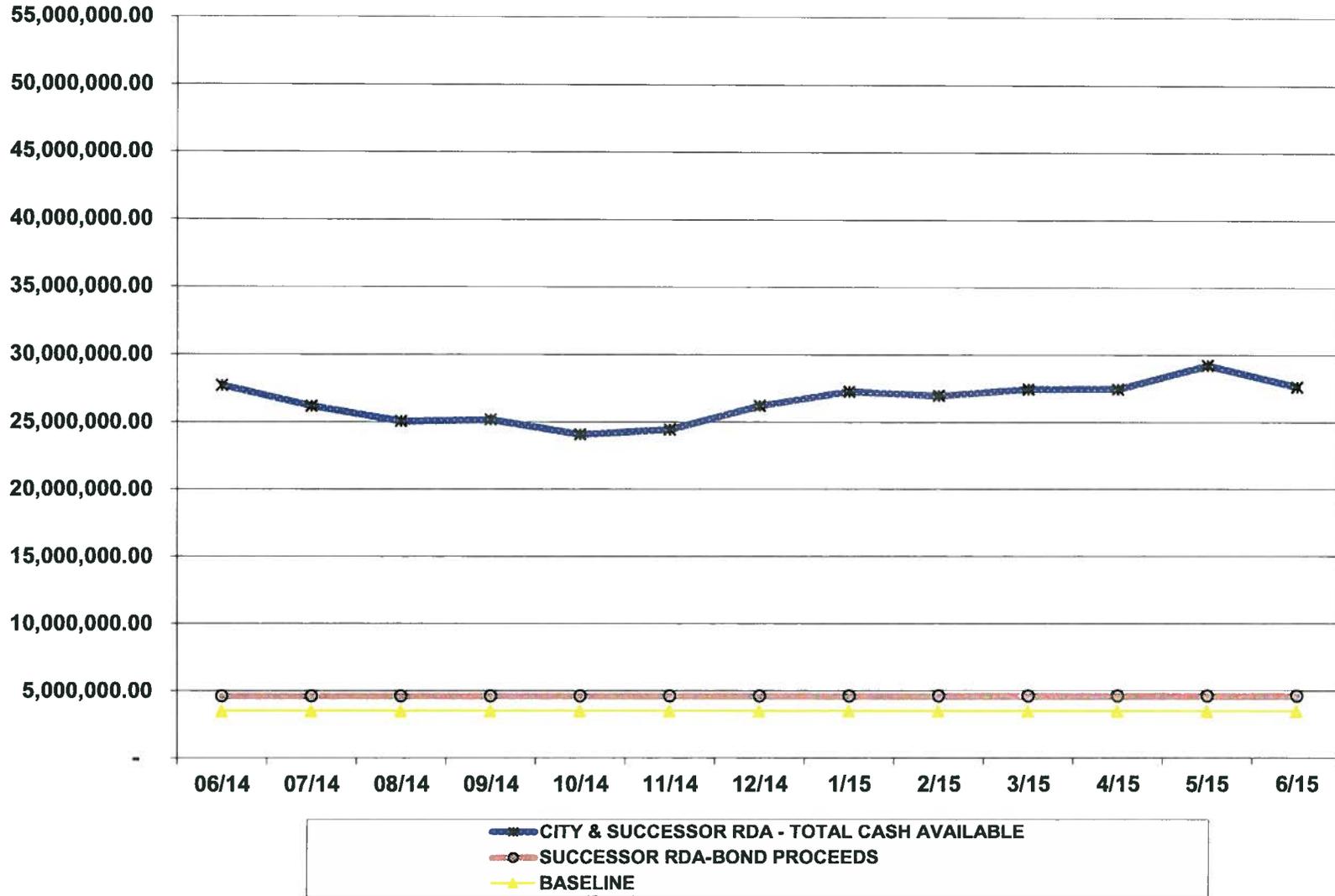
PREVIOUS MONTH 29,227,958.33

CHANGE +/-) \$ (1,583,451.77)

All investments are in accordance with the City Investment Policy, and as such, sufficient funds are available to meet the cash flow requirements of Loma Linda, including the next thirty days' obligations. City and Agency funds are pooled.

  
Treasurer

**CITY OF LOMA LINDA  
MONTHLY TREASURER'S REPORT 6/14 - 6/15**





# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ovidiu Popescu, Councilmember  
Ronald Dailey, Councilmember  
John Lenart, Councilmember

COUNCIL AGENDA: July 28, 2015  
TO: City Council  
VIA: T. Jarb Thaipr, City Manager  
FROM: Jeff Bender, Fire Chief *JB*  
SUBJECT: June Fire Department Activity Report

Approved/Continued/Denied By City Council Date _____
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## Operations Division

The Fire Department's Operations Division responded to 361 incidents in June 2015.

The alarm types are broken down as follows:

Fire & Rescue	Month		YTD	
Medical Aid (MA)	191	52.9%	1188	56.9%
Traffic Collision (TC)	13	3.6%	87	4.2%
<b>MA + TC</b>	<b>204</b>	<b>56.5%</b>	<b>1275</b>	<b>61.0%</b>
Hazardous Conditions	4	1.1%	18	0.9%
Hazardous Material	0	0.0%	0	0.0%
Mutual/Automatic Aid	51	14.1%	291	13.9%
Public Assistance	29	8.0%	133	6.4%
Rescue	3	0.8%	13	0.6%
Structure Fire	6	1.7%	20	1.0%
Cooking	0	0.0%	7	0.3%
Vegetation Fire	5	1.4%	23	1.1%
Vehicle Fire	0	0.0%	7	0.3%
Refuse Fire	1	0.3%	10	0.5%
<b>All Fires</b>	<b>12</b>	<b>3.3%</b>	<b>67</b>	<b>3.2%</b>
Other	20	5.5%	92	4.4%
Fire Alarm Activation*	38	10.5%	200	9.6%

\*Note: Includes accidental activation, burnt food, good intent, system malfunction, malicious, etc.

## Training Division Highlights:

- Monthly Emergency Medical Services (EMS) Training
  - Monthly EMS training, CQI
  - Advance Cardiac Life Support Re-certification
- Annual Radio & Fire Shelter Refresher
- Countywide CERT Exercise
- Solar Panel Safety Awareness Training
- Multi-Agency Swift Water Rescue Training
- Company Inspections at Holiday Inn in Loma Linda

## Public Education/Relations Detail:

- Attended Luke the Lion's 1950's Birthday Party at LLU Children's Hospital
- Full Arrest Demo for the Drayson Center's Life Guards
- Attended Vacation Bible School Closing Ceremonies at LLU Church

CC AGENDA ITEM 9

**SUBJECT: June 2015 Fire Department Activity Report Continued**

- Attended PR events at Kinder Care in Colton & Loma Linda
- Presented a Drowning Prevention Program at LLU Church

**Fire Prevention Division:**

The Fire Departments Prevention Division monthly activity report is as follows:

Certificate Of Occupancy Inspection	3
Commercial UL-300 Hood Inspections	2
Construction Site Inspection	28
Fire Alarm System Test & Inspection (# of trips)	14
Fire Building Final Inspection	12
Fire Flow Test (Hydrant Testing)	2
Fire Sprinkler Final – Commercial	5
Fire Sprinkler Final – Residential	
Fire Sprinkler Rough – Commercial	3
Fire Sprinkler Rough – Residential	
Fire Underground – Inspection, test, flush	2
Five Year FS System Certification – Observe Flush	
Knox Box Placement/Inspection	2
New Tenant Inspection	2
Over-Head Hydro – Commercial	
Over-Head Hydro – Residential	
Plan Check Review / Project Review (hours)	22.5
Smoke Alarm Check	1
Solar Panel Inspection	10
Underground Flam. Liquid Tank Inspection	
EOC Training or Activation (hours)	
Evacuation / Fire Drills, LLUMC, Schools	
Fire Code Research (hours)	18
Meetings	8
Public Education (hours)	
Public Hearings / Council Meetings	
Training Classes (hours)	1
Annual Fire Inspections	1
Engine Co. Computer / RMS (Hours)	
Engine Company Follow-up Inspection (hours)	10
Field Investigation / Inquiries	12
Fire / Arson / Illegal Burn Investigation	
Special Events – July 4 <sup>th</sup> Fireworks Patrol	
State Fire Marshal Permits Issued	2
State Fire Marshal Title 19 Inspections: RCF's	8
Weed Abatement Administrative Time (hours)	7
Weed Abatement, Parcels Inspected	14



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
Ovidiu Popescu, Councilman  
John Lenart, Councilman

COUNCIL AGENDA: July 28, 2015

TO: City Council

FROM: T. Jarb Thaipejr, City Manager/Public Works Director T.J.T.

SUBJECT: Award of Contract for Pavement Rehabilitation by Slurry Seal Method at Lawton Avenue, Whittier Avenue, Bryn Mawr Avenue, Hinckley Street and Mountain View Avenue. (CIP 15-168)

Approved/Continued/Denied  
By City Council  
Date \_\_\_\_\_

## **RECOMMENDATION:**

It is recommended that the City Council award a contract for the subject project to All American Asphalt South, Inc. of Fontana in the amount of \$232,494.34 and authorize a contingency allocation of \$23,000.00.

## **BACKGROUND:**

In an effort to extend street pavement life, staff recognizes the slurry seal method as very effective for minimally damaged streets. Funds have been allocated in the FY 15-16 CIP to rehabilitate streets as part of the pavement maintenance program. The streets to be included are Lawton Avenue from Mountain View Avenue to Whittier Avenue, Whittier Avenue from Beaumont Avenue to the UPRR crossing, Bryn Mawr Avenue from Lawton Avenue to Beaumont Avenue, Hinckley Street from Mountain View Avenue to Bryn Mawr Avenue and Mountain View Avenue from Beaumont Avenue to Lawton Avenue, Lozano Place, Largo Court and a portion of the Civic Center parking lot.

## **ANALYSIS:**

Five (5) bids were received and publicly opened on July 21, 2015. Bids ranged from a low of \$232,494.34 to a high of \$316,077.00 (see attached). The low bidder, All American Asphalt South, Inc. of Fontana, has been checked for references and license. This contractor has previously performed satisfactorily for the City. It is not unusual for a construction project to experience the need to add or reduce the quantities of work items or the scope of work as field conditions dictate. This is generally caused by unforeseen circumstances or work needed to maintain the integrity of the project. Therefore, Staff recommends an allocation of \$23,000.00 ( $\pm 10\%$  of contract) for such circumstances. City staff will provide inspection and management services.

## **FINANCIAL IMPACT:**

Adequate funding is available in Account No. 26-5340-8500.

Attachment: Bid Summary

I:\Public Works Admin\Staff Reports\Award of Contract\Slurry Seal 2015.doc

## City of Loma Linda

### Pavement Rehabilitation 2015

Bid Opening on July 21, 2015

ITEM	DESCRIPTION	UNIT	QUANTITY	Engineer's Estimate		American Asphalt South	
				UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	Mobilization	L.S.	1	\$10,000.00	\$10,000.00	\$13,300.00	\$13,300.00
2	Traffic Control	L.S.	1	\$8,500.00	\$8,500.00	\$7,500.00	\$7,500.00
3	Crack Sealing	L.S.	1	\$20,000.00	\$20,000.00	\$29,250.00	\$29,250.00
4	Slurry Seal Type II	TON	600	\$260.00	\$156,000.00	\$206.32	\$123,792.00
5	A.C. Pavement	TON	120	\$90.00	\$10,800.00	\$220.00	\$26,400.00
6	Cold Mill Existing	S.Y.	1,600	\$1.50	\$2,400.00	\$4.00	\$6,400.00
7	Detail 1, Yellow C.L.	L.F.	720	\$1.50	\$1,080.00	\$0.38	\$273.60
8	Detail 8, White C.L.	L.F.	3,080	\$1.35	\$4,158.00	\$0.38	\$1,170.40
9	Detail 21, Double Yellow	L.F.	380	\$0.55	\$209.00	\$0.72	\$273.60
10	Detail 22, Dbl. Yellow w/Reflect.	L.F.	9,907	\$1.23	\$12,185.61	\$0.82	\$8,123.74
11	Detail 24, Single Yellow	L.F.	230	\$1.30	\$299.00	\$0.44	\$101.20
12	Detail 31, Turn Lane	L.F.	1,540	\$1.20	\$1,848.00	\$1.32	\$2,032.80
13	Detail 39, Bike lane	L.F.	3,240	\$0.55	\$1,782.00	\$0.50	\$1,620.00
14	Type I Arrows	EA.	2	\$175.00	\$350.00	\$125.00	\$250.00
15	Type II Arrows	EA.	2	\$175.00	\$350.00	\$175.00	\$350.00
16	Type IV Arrows	EA.	10	\$140.00	\$1,400.00	\$99.00	\$990.00
17	"STOP" Pv't Marker	EA.	22	\$160.00	\$3,520.00	\$110.00	\$2,420.00
18	"STOP AHEAD" Pv't Marker	EA.	10	\$350.00	\$3,500.00	\$200.00	\$2,000.00
19	12" Stop Bar	EA.	16	\$150.00	\$2,400.00	\$11.00	\$176.00
20	24" Stop Bar	EA.	1	\$250.00	\$250.00	\$25.00	\$25.00
21	12" cross walk, A20E	L.F.	120	\$1.50	\$180.00	\$1.00	\$120.00
22	11' Wide Yellow X-Walk	EA.	7	\$250.00	\$1,750.00	\$160.00	\$1,120.00
23	"Bike lane" and symbol	EA.	6	\$250.00	\$1,500.00	\$137.00	\$822.00
24	Bike lane arrow	EA.	17	\$150.00	\$2,550.00	\$27.50	\$467.50
25	"Slow School Xing"	EA.	2	\$200.00	\$400.00	\$200.00	\$400.00
26	"RR Xing"	EA.	1	\$180.00	\$180.00	\$250.00	\$250.00
27	"35" Pavement Marker	EA.	6	\$200.00	\$1,200.00	\$50.00	\$300.00
28	"40" Pavement Marker	EA.	4	\$200.00	\$800.00	\$50.00	\$200.00
29	"Disable Person"	EA.	7	\$150.00	\$1,050.00	\$44.00	\$308.00
30	Parkng Stall Single line	EA.	50	\$65.00	\$3,250.00	\$8.80	\$440.00
31	Parkng Stall Double line	EA.	79	\$80.00	\$6,320.00	\$16.50	\$1,303.50
32	Blue Hatch ADA marking	EA.	4	\$200.00	\$800.00	\$60.00	\$240.00
33	White Hatch X walk	EA.	1	\$250.00	\$250.00	\$75.00	\$75.00
<b>TOTAL</b>					<b>\$241,031.61</b>		<b>\$232,494.34</b>

## City of Loma Linda

	Roy Allan Slurry Seal Inc.		Pavement Coatings Co.		All American Asphalt		VSS International	
ITEM	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	\$2,250.00	\$2,250.00	\$11,500.00	\$11,500.00	\$15,000.00	\$15,000.00	\$44,999.82	\$44,999.82
2	\$2,200.00	\$2,200.00	\$28,000.00	\$28,000.00	\$11,000.00	\$11,000.00	\$55,488.00	\$55,488.00
3	\$32,000.00	\$32,000.00	\$42,000.00	\$42,000.00	\$32,000.00	\$32,000.00	\$37,275.00	\$37,275.00
4	\$214.72	\$128,832.00	\$227.00	\$136,200.00	\$265.00	\$159,000.00	\$200.00	\$120,000.00
5	\$205.00	\$24,600.00	\$224.00	\$26,880.00	\$138.00	\$16,560.00	\$210.00	\$25,200.00
6	\$5.25	\$8,400.00	\$5.60	\$8,960.00	\$9.00	\$14,400.00	\$5.25	\$8,400.00
7	\$0.38	\$273.60	\$0.39	\$280.80	\$0.37	\$266.40	\$0.37	\$266.40
8	\$0.38	\$1,170.40	\$0.39	\$1,201.20	\$0.37	\$1,139.60	\$0.37	\$1,139.60
9	\$0.66	\$250.80	\$0.73	\$277.40	\$0.63	\$239.40	\$0.69	\$262.20
10	\$0.77	\$7,628.39	\$0.84	\$8,321.88	\$0.73	\$7,232.11	\$0.79	\$7,826.53
11	\$0.44	\$101.20	\$0.45	\$103.50	\$0.42	\$96.60	\$0.42	\$96.60
12	\$1.20	\$1,848.00	\$1.34	\$2,063.60	\$1.16	\$1,786.40	\$1.26	\$1,940.40
13	\$0.49	\$1,587.60	\$0.50	\$1,620.00	\$0.47	\$1,522.80	\$0.48	\$1,555.20
14	\$54.00	\$108.00	\$123.00	\$246.00	\$52.00	\$104.00	\$115.50	\$231.00
15	\$173.00	\$346.00	\$163.00	\$326.00	\$165.00	\$330.00	\$152.25	\$304.50
16	\$58.00	\$580.00	\$100.00	\$1,000.00	\$55.00	\$550.00	\$94.50	\$945.00
17	\$133.00	\$2,926.00	\$112.00	\$2,464.00	\$127.00	\$2,794.00	\$105.00	\$2,310.00
18	\$262.00	\$2,620.00	\$201.00	\$2,010.00	\$250.00	\$2,500.00	\$189.00	\$1,890.00
19	\$58.00	\$928.00	\$11.00	\$176.00	\$55.00	\$880.00	\$10.50	\$168.00
20	\$127.00	\$127.00	\$22.00	\$22.00	\$120.00	\$120.00	\$21.00	\$21.00
21	\$2.60	\$312.00	\$1.00	\$120.00	\$2.50	\$300.00	\$0.95	\$114.00
22	\$500.00	\$3,500.00	\$162.00	\$1,134.00	\$500.00	\$3,500.00	\$152.25	\$1,065.75
23	\$88.00	\$528.00	\$140.00	\$840.00	\$85.00	\$510.00	\$131.25	\$787.50
24	\$34.00	\$578.00	\$28.00	\$476.00	\$33.00	\$561.00	\$26.25	\$446.25
25	\$340.00	\$680.00	\$207.00	\$414.00	\$330.00	\$660.00	\$194.25	\$388.50
26	\$380.00	\$380.00	\$246.00	\$246.00	\$360.00	\$360.00	\$231.00	\$231.00
27	\$90.00	\$540.00	\$50.00	\$300.00	\$86.00	\$516.00	\$47.25	\$283.50
28	\$106.00	\$424.00	\$50.00	\$200.00	\$100.00	\$400.00	\$47.25	\$189.00
29	\$265.00	\$1,855.00	\$45.00	\$315.00	\$260.00	\$1,820.00	\$42.00	\$294.00
30	\$39.00	\$1,950.00	\$9.00	\$450.00	\$38.00	\$1,900.00	\$8.40	\$420.00
31	\$59.00	\$4,661.00	\$17.00	\$1,343.00	\$57.00	\$4,503.00	\$15.75	\$1,244.25
32	\$330.00	\$1,320.00	\$61.00	\$244.00	\$315.00	\$1,260.00	\$57.75	\$231.00
33	\$160.00	\$160.00	\$67.00	\$67.00	\$160.00	\$160.00	\$63.00	\$63.00
		<b>\$235,664.99</b>		<b>\$279,801.38</b>		<b>\$283,971.31</b>		<b>\$316,077.00</b>



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
John Lenart, Councilman  
Ovidiu Popescu, Councilman

COUNCIL AGENDA: July 28, 2015

TO: City Council

FROM: T. Jarb Thaipejr, City Manager/Public Works Director T.J.T.

SUBJECT: Award Contract for Annual Maintenance of Traffic Signals

Approved/Continued/Denied  
By City Council  
Date \_\_\_\_\_

## **RECOMMENDATION:**

It is recommended that the City Council award a contract for the subject project to Siemens Industry Inc. of Orange, CA for an amount of \$2,156.00 per month for an annual total of \$25,872.00 and approve a contingency amount of \$2,600.00. City staff will provide inspection and administration services.

## **BACKGROUND:**

The City periodically request bids for maintenance services in order to keep competitive pricing and services. We currently maintain traffic signals at 22 intersections. Other emergency or "As Needed" work was included in the bidding to set future pricing during the contract period. Currently, there are 3 companies in Southern California that perform this type of work. All were contacted and bids for service were requested.

## **ANALYSIS:**

One bid was received and opened on July 21, 2015 for this work. The bid of \$2,156.00 per month for an annual total of \$25,872.00 is reasonable and competitive. This bidder, the new parent company of a former vendor, has been checked for references and license. It is not unusual for a construction project to experience the need to add or reduce the quantities of work items or the scope of work as field conditions dictate. This is generally caused by unforeseen circumstances or work needed to maintain the integrity of the project. Therefore, Staff recommends an allocation of \$2,600.00 ( $\pm 10\%$  of contract) for such circumstances.

## **FINANCIAL IMPACT:**

Adequate funding will be available in Account Nos. 01-3030-1830 and 72-5100-1830.



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
John Lenart, Councilman  
Ovidiu Popescu, Councilman

COUNCIL AGENDA: July 28, 2015

TO: City Council

FROM: T. Jarb Thaipejr, City Manager/Public Works Director T.J.T.

SUBJECT: Janitorial Service Contract for City Facilities

Approved/Continued/Denied By City Council Date _____
--

## **RECOMMENDATION**

It is recommended that the City Council award a contract for janitorial services of City Facilities to Pristine Environments of San Diego, CA in the amount of \$73,344.00 per year.

## **BACKGROUND**

The current janitorial service contract has been completed. Staff prepared specifications and invited local qualified vendors to participate in a mandatory pre-bid job walk. Nine (9) vendors participated in the required job walk on July 14, 2015.

## **ANALYSIS**

Two bids were received and opened on July 21, 2015. One of the bids was incomplete and deemed non-responsive. The remaining bid of \$6,112.00 per month for an annual cost of \$73,344.00 from Pristine Environments is reasonable and competitive. This vendor is the current provider and has performed satisfactorily in the past.

## **FINANCIAL IMPACT**

Funding is from Account No. 01-3400-1830 - \$48,648; Account No. 05-3500-1830 - \$3,720; Account No. 65-7000-1830 - \$3,720; Account No. 01-5500-1830 - \$14,496; Account No. 01-4200-1830 - \$2,760.

*I:\Public Works Admin\Staff Reports\Award of Contract\Janitorial 15-16.docx*



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Ovidiu Popescu, Mayor pro tempore  
Ronald Dailey, Councilman  
Phillip Dupper, Councilman  
John Lenart, Councilman

## COUNCIL AGENDA:

Approved/Continued/Denied By City Council Date _____
--

Date: July 28, 2015

TO: City Council

VIA: T. Jarb Thaipejr, City Manager

FROM: James Gray, Fire Marshal *JG*

SUBJECT: City of Loma Linda to establish a Contractual agreement with Dennis Grubb and Associates, LLC to assist Loma Linda Fire Prevention Bureau with the Plan Checking, Inspection, and Testing of all Fire Life Safety systems incorporated into the Loma Linda University Adventist Health Sciences Center, Vision 20/20, Campus Transformation Project.

## RECOMMENDATION

It is recommended that the City Council approve a Contractual agreement with the firm, Dennis Grubb and Associates, LLC (DGA) subject to City Attorney approval as to form.

## BACKGROUND

DGA was chosen based on their qualifications and experience in the field of Plan Review, Inspection and Testing of Fire Life Safety systems incorporated into newly developed projects. The magnitude and complexity of the Campus Transformation Project necessitated the knowledge base and experience of DGA to work with both, the City of Loma Linda Fire Prevention Bureau and the Loma Linda University Adventist Health Sciences Center (LLUAHSC), Campus Transformation project team to ensure the smooth progression of each phase of this long term development.

## ANALYSIS

DGA has provided a fee schedule for specific categories of standard plan check and inspection services he and his team provide regarding the life safety systems incorporated into large developments. As this project is a long term development DGA has also outlined how fees would be assessed for any plan reviews or inspections that required additional reviews or inspections. DGA will assist the Loma Linda Prevention Bureau with final acceptance of the fire life safety systems designed in the project, keeping the project moving forward. This estimate of costs will provide the industry standard applied to number of plan checks, inspections, and tests to get each system in place. DGA has provided an hourly rate for services that require beyond the industry standard.

The City of Loma Linda will assess a 25% administration fee for the services that City staff will perform in managing the program for the checking, inspecting and testing for code compliance. The Loma Linda Prevention Bureau will also be actively involved with the process of plan checking, inspecting and testing of the systems incorporated into the project.

CC AGENDA ITEM 11

The total sum of fees for services rendered shall be paid prior to the start of the plan checking process and will be held in an escrow account to be drawn from as the various stages of the life safety systems are completed. Due to the complexity and extended timeline to complete the entire Campus Transformation project an estimate of fees for the first two confirmed structures in the development have been determined and this amount shall be deposited in an escrow account with the City of Loma Linda Finance Department. This escrow account will be used to pay DGA for services rendered. Additional money shall be deposited into said escrow account as required by future progress of construction. Notification of additional deposits required will be made to LLUAHSC representatives by the City of Loma Linda Fire Prevention Bureau as the need arises.

**Estimate of costs to be held in Escrow for payment of services rendered:**

As of July 21, 2015, projects in process or soon to be in process include:

1. Site access to current MC while new MC begins, multiple phases
2. Underground fire water loop development and re-design, for new MC
3. Alarm systems in Patient Parking Structure
4. Architectural plan review of FMO parking structure
5. Site access to FMO parking structure
6. Underground Fire Line Service to FMO parking Structure
7. Fire Sprinkler Plans, FMO parking structure
8. Standpipe systems for FMO parking structure
9. Fire Alarm System for FMO parking structure

See Schedule of Fees provided by Dennis Grubb and Associates: Exhibit A

Tabulation of initial project fees:

1. Site/ Fire access (per phase \$430.00) X 5 phases.....	\$2,150.00
2. Underground Fire Line Service, Medical Center.....	\$605.00
3. Alarm System Patient Parking Structure.....	\$560.00
4. Architectural Plan review FMO.....	\$770.00
5. Site access to FMO parking structure.....	\$430.00
6. Underground Fire Water Loop development FMO Parking Structure.....	\$605.00
7. Fire Sprinkler Plans FMO Parking Structure.....	\$690.00
8. Standpipe system for FMO Parking Structure (x 3 standpipes).....	\$750.00
9. Fire Alarm System for FMO Parking Structure.....	\$560.00
<hr/>	
Total Fee for services rendered by Dennis Grubb and Associated.....	\$7,120.00
- 10% Contingency Fee.....	\$712.00
- 25% City of Loma Linda Administration/Management Fee.....	\$1,780.00
<hr/>	
Total Fee to be placed in Escrow Account.....	\$9,612.00

**FINANCIAL IMPACT**

Fees will be deposited in account #11-2007 and will be administrated by the Fire Department's Executive Aide.

## CITY OF LOMA LINDA

### AGREEMENT FOR CONSULTANT SERVICES

THIS AGREEMENT is made and effective as of July 28, 2015 between the City of Loma Linda, a municipal corporation ("City") and Dennis Grubb and Associates, LLC (Consultant"). In consideration of the mutual covenants and conditions set forth herein, the parties agree as follows:

1. TERM

This Agreement shall commence on July 28, 2015 and shall remain and continue in effect for a period of approximately thirty six (36) months until tasks described herein are completed, but in no event later than July 28, 2019 (48) months. Due to the time required for the completion of the Campus Transformation Project, this contract will need to be extended on a yearly basis unless sooner terminated pursuant to the provisions of this Agreement, or as mutually extended in writing by the City.

2. SERVICES

Consultant shall perform the tasks described and set forth in Exhibit A, attached hereto and incorporated herein as though set forth in full. Consultant shall complete the tasks according to the schedule of performance which is also set forth in Exhibit A.

3. PERFORMANCE

Consultant shall at all times faithfully, competently and to the best of his/her ability, experience and talent, perform all tasks described herein. Consultant shall employ, at a minimum, generally accepted standards and practices utilized by persons engaged in providing similar services as are required of Consultant hereunder in meeting its obligations under this Agreement.

4. CITY MANAGEMENT

City's City Manager, or his designee shall represent City in all matters pertaining to the administration of this Agreement, review and approval of all products submitted by Consultant, but not including the authority to enlarge the Tasks to be Performed or change the compensation due to Consultant. City's City Manager shall be authorized to act on City's behalf and to execute all necessary documents which enlarge the Tasks to be Performed or change Consultant's compensation, subject to Section 5 hereof.

5. PAYMENT

(a) The City agrees to pay Consultant in accordance with the payment rates and terms and the schedule of payment as set forth in **Exhibit A**, attached hereto and incorporated herein by this reference as though set forth in full, based upon actual time spent on the above tasks. This amount shall not exceed \$7,120.00 for the total term of the Agreement unless additional payment is approved as provided in this Agreement.

(b) Consultant shall not be compensated for any services rendered in connection with its performance of this Agreement which are in addition to those set forth herein, unless such additional services are authorized in advance and in writing by the City Manager. Consultant shall be compensated for any additional services in the amounts and in the manner as agreed to by City Manager and Consultant at the time City's written authorization is given to Consultant for the performance of said services. The City Manager may approve additional work not to exceed ten percent (10%) of the amount of the Agreement, but in no event shall total compensation exceed Seven Thousand Eight Hundred Thirty Two Dollars. Any additional work in excess of this amount shall be performed at the hourly inspection rate, or additional plan check rate as noted in **Exhibit A**. Funds for any additional work must be approved by the City Council.

(c) Consultant will submit invoices monthly for actual services performed. Said invoices shall detail all costs, rates and hours for individual tasks. Invoices shall be submitted on or about the first business day of each month, or as soon thereafter as practical, for services provided in the previous month. Payment shall be made within thirty (30) days of receipt of each invoice as to all non-disputed fees. If the City disputes any of the Consultant's fees, it shall give written notice to Consultant within fifteen (15) days of receipt of an invoice of any disputed fees set forth on the invoice.

(d) Consultant agrees that, in no event shall City be required to pay to Consultant any sum in excess of ninety-five percent (95%) of the maximum payable hereunder prior to receipt by City of all final documents, together with all supplemental technical documents, as described herein acceptable in form and content to City. Final payments shall be made no later than sixty (60) days after presentation of final documents and acceptance thereof by City.

6. SUSPENSION OR TERMINATION OF AGREEMENT WITHOUT CAUSE

(a) The City may at any time, for any reason, with or without cause, suspend or terminate this Agreement, or any portion hereof, by serving upon the Consultant at least ten (10) days prior written notice. Upon receipt of said notice, the Consultant shall immediately cease all work under this Agreement, unless the notice provides otherwise. If the City suspends or terminates a portion of this Agreement, such suspension or termination shall not make void or invalidate the remainder of this Agreement.

(b) In the event this Agreement is terminated pursuant to this Section, the City shall pay to Consultant the actual value of work performed up to the time of termination, provided that the work performed is of value to the City. Upon termination of the Agreement pursuant to this Section, the Consultant will submit an invoice to the City pursuant to Section 5(c).

7. DEFAULT OF CONSULTANT

(a) The Consultant's failure to comply with the provisions of this Agreement shall constitute a default. In the event that Consultant is in default for cause under the terms of this Agreement, City shall have no obligation or duty to continue compensating Consultant for any work performed after the date of default and can terminate this Agreement immediately by written notice to the Consultant. If such failure by the Consultant to make progress in the performance of work hereunder arises out of causes beyond the Consultant's control, and without fault or negligence of the Consultant, it shall not be considered a default.

(b) If the City Manager or his/her delegate determines that the Consultant is in default in the performance of any of the terms or conditions of this Agreement, he/she shall cause to be served upon the Consultant a written notice of the default. The Consultant shall have ten (10) days after service upon it of said notice in which to cure the default by rendering a satisfactory performance. In the event that the Consultant fails to cure its default within such period of time, the City shall have the right, notwithstanding any other provision of this Agreement, to terminate this Agreement without further notice and without prejudice to any other remedy to which it may be entitled at law, in equity or under this Agreement.

8. OWNERSHIP OF DOCUMENTS

(a) Consultant shall maintain complete and accurate records with respect to billed time, sales, costs, expenses, receipts and other such information required by City that relate to the performance of services under this Agreement. Consultant shall maintain adequate records of services provided in sufficient detail to permit an evaluation of services. All such records shall be maintained in accordance with generally accepted accounting principles and shall be clearly identified and readily accessible. Consultant shall provide free access to the representatives of City or its designees at reasonable times to such books and records; shall give City the right to examine and audit said books and records; shall permit City to make transcripts therefrom as necessary; and shall allow inspection of all work, data, documents, proceedings, and activities related to this Agreement. Such records, together with supporting documents, shall be maintained for a period of three (3) years after receipt of final payment.

(b) Upon completion of, or in the event of termination or suspension of this Agreement, all original documents, claims, applications, computer files, notes, and other documents prepared in the course of providing the services to be performed pursuant to this Agreement shall become the sole property of the City and may be used,

reused, or otherwise disposed of by the City without the permission of the Consultant. With respect to computer files, Consultant shall make available to the City, at the Consultant's office and upon reasonable written request by the City, the necessary computer software and hardware for purposes of accessing, compiling, transferring and printing computer files.

9. INDEMNIFICATION

(a) Indemnification for Professional Liability. When the law establishes a professional standard of care for Consultant's services, to the fullest extent permitted by law, Consultant shall indemnify, protect, defend and hold harmless City and any and all of its officials, employees and agents ("Indemnified Parties") from and against any and all losses, liabilities, damages, costs and expenses, including attorney's fees and costs to the extent same are caused in whole or in part by any negligent or wrongful act, error or omission of Consultant, its officers, agents, employees or subconsultants (or any entity or individual that consultant shall bear the legal liability thereof) in the performance of professional services under this Agreement.

(b) Indemnification for Other Than Professional Liability. Other than in the performance of professional services and to the full extent permitted by law, Consultant shall indemnify, defend and hold harmless City, and any and all of its employees, officials, and agents from and against any liability (including liability for claims, suits, actions, arbitration proceedings, administrative proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including attorney's fees and costs, court costs, interest, defense costs, and expert witness fees), where the same arise out of, are a consequence of, or are in any way attributable to, in whole or in part, the performance of this Agreement by Consultant or by any individual or entity for which Consultant is legally liable, including but not limited to officers, agents, employees or subconsultants of Consultant. Said indemnification shall include any claim that Consultant, or Consultant's employees or agents, are considered to be employees of the City or are entitled to any employee benefits from City, including but not limited to those available under Public Employees Retirement Law.

(c) General Indemnification Provisions. Consultant agrees to obtain executed indemnity agreements with provisions identical to those set forth here in this section from each and every subconsultant or other person or entity involved by, for, with, or on behalf of Consultant in the performance of this Agreement. In the event Consultant fails to obtain such indemnity obligations from others as required here, Consultant agrees to be fully responsible according to the terms of this section. Failure of City to monitor compliance with these requirements imposes no additional obligations on City and will in no way act as a waiver of any rights hereunder. This obligation to indemnify and defend City as set forth here is binding on the successors, assigns or heirs of Consultant and shall survive the termination of this Agreement or this section.

## 10. INSURANCE

(a) Consultant shall neither commence work under this Agreement until it has obtained all insurance required hereunder in a company or companies acceptable to City nor shall Consultant allow any subcontractor to commence work on a subcontract until all insurance required of the subcontractor has been obtained. Consultant shall, at all times during the term of this Agreement, maintain and keep in full force and effect, the following policies of insurance with minimum limits as indicated below and issued by insurers with A.M. Best ratings of no less than A-: VI:

- Commercial general liability at least as broad as ISO CG 0001  
(per occurrence) 1,000,000, (general aggregate) 2,000,000
- Commercial auto liability at least as broad as ISO CA 0001 (per accident) 1,000,000
- Professional Liability (per claim and aggregate) 1,000,000
- Worker's compensation Statutory

(b) All insurance required by this section shall apply on a primary basis. Consultant agrees that it will not cancel or reduce said insurance coverage. Consultant agrees that if it does not keep the aforesaid insurance in full force and effect City may either immediately terminate this Agreement or, if insurance is available at a reasonable cost, City may take out the necessary insurance and pay, at Consultant's expense, the premium thereon.

(c) Auto liability insurance shall cover owned, nonowned and hired autos. If Consultant owns no vehicles, auto liability coverage may be provided by means of a nonowned and hired auto endorsement to the general liability policy.

(d) At all times during the term of this Agreement, Consultant shall maintain on file with City a certificate of insurance, in a form acceptable to City showing that the aforesaid policies are in effect in the required amounts. The general liability policy shall contain or be endorsed to contain a provision including the Indemnitees as additional insureds. Consultant shall promptly file with City such certificate or certificates and endorsements if applicable. Coverage for the additional insureds shall apply to the fullest extent permitted by law.

(e) No policy required by this section shall prohibit Consultant from waiving any right of recovery prior to loss. Consultant hereby waives such right with regard to the Indemnitees.

(f) All insurance coverage and limits provided by Consultant and available or applicable to this agreement are intended to apply to the full extent of the policies. Nothing contained in this Agreement limits the application of such insurance coverage.

(g) In accordance with the provisions of California Labor Code, Section 3700, every employer shall secure the payment of compensation to his employees. Consultant shall, prior to commencing work, sign and file with City a certification as follows:

I am aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self insurance in accordance with the provisions of that Code, and I will comply with such provisions before commencing the performance of the work of this Agreement."

d. General Insurance Requirements: All insurance required by express provision of this Agreement shall be carried only in responsible insurance companies licensed to do business in the State of California. All policies shall contain language, to the extent obtainable, to the effect that (1) the insurer, insured and all subcontractors waive the right of subrogation against City and City's elected officials, officers, employees, and agents; (2) the policies are primary and noncontributing with any insurance that may be carried by City; and (3) they cannot be canceled or materially changed except after thirty (30) days' written notice by the insurer to City by certified mail. Consultant shall furnish City with copies of all such policies. Consultant may effect for its own account insurance not required under this Agreement.

## 11. INDEPENDENT CONTRACTOR

(a) Consultant is and shall at all times remain as to the City a wholly independent contractor. The personnel performing the services under this Agreement on behalf of Consultant shall at all times be under Consultant's exclusive direction and control and shall not be construed to be employees of City for any purpose, including eligibility under Public Employees Retirement Law. Neither City nor any of its officers, employees, or agents shall have control over the conduct of Consultant or any of Consultant's officers, employees, or agents, except as set forth in this Agreement. Consultant shall not at any time or in any manner represent that it or any of its officers, employees, or agents are in any manner officers, employees, or agents of the City. Consultant shall not incur or have the power to incur any debt, obligation, or liability whatever against City, or bind City in any manner.

(b) No employee benefits shall be available to Consultant in connection with the performance of this Agreement. Except for the fees paid to Consultant as provided in the Agreement City shall not pay salaries, wages, or other compensation to Consultant for performing services hereunder for City. City shall not be liable for compensation or indemnification to Consultant for injury or sickness arising out of performing services hereunder.

12. LEGAL RESPONSIBILITIES

The Consultant shall keep itself informed of State and Federal laws and regulations which in any manner affect those employed by it or in any way affect the performance of its services pursuant to this Agreement. The Consultant shall at all times observe and comply with all such laws and regulations. The City, and its officers and employees, shall not be liable at law or in equity occasioned by failure of the Consultant to comply with this Section.

13. UNDUE INFLUENCE

Consultant declares and warrants that no undue influence or pressure is used against or in concert with any officer or employee of the City of Loma Linda in connection with the award, terms or implementation of this Agreement, including any method of coercion, confidential financial arrangement, or financial inducement. No officer or employee of the City of Loma Linda will receive compensation, directly or indirectly, from Consultant, or from any officer, employee or agent of Consultant, in connection with the award of this Agreement or any work to be conducted as a result of this Agreement. Violation of this Section shall be a material breach of this Agreement entitling the City to any and all remedies at law or in equity.

14. NO BENEFIT TO ARISE TO LOCAL EMPLOYEES

No member, officer, or employee of City, or their designees or agents, and no public official who exercises authority over or responsibilities with respect to the Project during his/her tenure or for one year thereafter, shall have any interest, direct or indirect, in any agreement or sub-agreement, or the proceeds thereof, for work to be performed in connection with the project performed under this Agreement.

15. RELEASE OF INFORMATION/CONFLICTS OF INTEREST

(a) All information gained by Consultant in performance of this Agreement shall be considered confidential and shall not be released by Consultant without City's prior written authorization. Consultant, its officers, employees, agents, or subconsultants, shall not without written authorization from the City Manager or unless requested by the City Attorney, voluntarily provide declarations, letters of support, testimony at depositions, responses to interrogatories, or other information concerning the work performed under this Agreement or relating to any project or property located within the City. Response to a subpoena or court order shall not be considered "voluntary" provided Consultant gives City notice of such court order or subpoena.

(b) Consultant shall promptly notify City should Consultant, its officers, employees, agents or subconsultants be served with any summons, complaint, subpoena, notice of deposition, request for documents, interrogatories, requests for admissions, or other discovery request, court order, or subpoena from any person or party regarding this Agreement and the work performed thereunder or with respect to any project or property

located within the City. City retains the right, but has no obligation, to represent Consultant and/or be present at any deposition, hearing, or similar proceeding. Consultant agrees to cooperate fully with City and to provide the opportunity to review any response to discovery requests provided by Consultant. However, City's right to review any such response does not imply or mean the right by City to control, direct, or rewrite said response.

(c) Consultant covenants that neither he/she nor any office or principal of their firm have any interest in, or shall acquire any interest, directly or indirectly, which will conflict in any manner or degree with the performance of their services hereunder. Consultant further covenants that in the performance of this Agreement, no person having such interest shall be employed by them as an officer, employee, agent or subconsultant. Consultant further covenants that Consultant has not contracted with nor is performing any services, directly or indirectly, with any developer(s) and/or property owner(s) and/or firm(s) and/or partnership(s) owning property in the City or the study area and further covenants and agrees that Consultant and/or its subconsultants shall provide no service or enter into any agreement or agreements with a/any developer(s) and/or property owner(s) and/or firm(s) and/or partnership(s) owning property in the City or the study area prior to the completion of the work under this Agreement.

#### 16. NOTICES

Any notices which either party may desire to give to the other party under this Agreement must be in writing and may be given either by (i) personal service, (ii) delivery by a reputable document delivery service, such as but not limited to, Federal Express, which provides a receipt showing date and time of delivery, or (iii) mailing in the United States Mail, certified mail, postage prepaid, return receipt requested, addressed to the address of the party as set forth below or at any other address as that party may later designate by notice:

To City:

City of Loma Linda  
25541 Barton Road  
Loma Linda, CA 92354

Attention: City Clerk

To Consultant

Dennis Grubb & Associates, LLC  
12523 Limonite Ave  
Suite 440-102  
Mira Loma, CA 91752

17. ASSIGNMENT

The Consultant shall not assign the performance of this Agreement, nor any part thereof, nor any monies due hereunder, without prior written consent of the City.

Consultant's responsible employee may use assistants, under his/her direct supervision, to perform some of the services under this Agreement. Consultant shall provide City fourteen (14) days' notice prior to the departure of the responsible employee from Consultant's employ. Should he leave Consultant's employ, the City shall have the option to immediately terminate this Agreement, within three (3) days of the close of said notice period. Upon termination of this Agreement, Consultant's sole compensation shall be payment for actual services performed up to, and including, the date of termination or as may be otherwise agreed to in writing between the City Council and the Consultant.

18. LICENSES

At all times during the term of this Agreement, Consultant shall have in full force and effect, all licenses required of it by law for the performance of the services described in this Agreement, including a City of Loma Linda business license.

19. GOVERNING LAW

The City and Consultant understand and agree that the laws of the State of California shall govern the rights, obligations, duties, and liabilities of the parties to this Agreement and also govern the interpretation of this Agreement. Any litigation concerning this Agreement shall take place in the municipal, superior, or federal district court with jurisdiction over the City of Loma Linda.

20. ENTIRE AGREEMENT

This Agreement contains the entire understanding between the parties relating to the obligations of the parties described in this Agreement. All prior or contemporaneous agreements, understandings, representations, and statements, oral or written, are merged into this Agreement and shall be of no further force or effect. Each party is entering into this Agreement based solely upon the representations set forth herein and upon each party's own independent investigation of any and all facts such party deems material.

21. CONFIDENTIALITY

Information and materials obtained by the Consultant from City during the performance of this Agreement shall be treated as strictly confidential and shall not be used by the Consultant for any purpose other than the performance of this Agreement.

22. DISCRIMINATION

The Consultant agrees that no person shall be excluded from employment in the performance of this Agreement on grounds of race, creed, color, sex, age, marital status, or place of national origin. In this connection, the Consultant agrees to comply with all County, State and Federal laws relating to equal employment opportunity rights.

23. AUTHORITY TO EXECUTE THIS AGREEMENT

The person or persons executing this Agreement on behalf of Consultant warrants and represents that he/she has the authority to execute this Agreement on behalf of the Consultant and has the authority to bind Consultant to the performance of its obligations hereunder.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed the day and year first below in the CITY OF LOMA LINDA.

\_\_\_\_\_  
*[Date]*

By: \_\_\_\_\_  
*[Consultant]* . *[Title]*

By: \_\_\_\_\_  
*[Signature -City Manager or Designee]* *[Title]*

# **Exhibit A**



## **Dennis Grubb and Associates, LLC**

*Assisting Cities Build Safe Communities*

July 21, 2015

City of Loma Linda  
Fire Department  
Attn: Fire Marshal James Gray  
25541 Barton Road,  
Loma Linda, CA. 92354

**Subject: Loma Linda University Project**

Dear Fire Marshal Gray,

Thank you for providing Dennis Grubb & Associates (DGA) an opportunity to provide a proposal for this exciting project. The full scope of this long-term project (10 years +) is not yet fully defined making it difficult to set an overall project fixed fee for plan check and inspections because of so many variables. Therefore, DGA has established a price for each type of service that may be required. It also includes conditions should the contractors exceed normal plan check and inspection parameters.

DGA fees are proposed for the following areas which includes both plan check and inspections:

- |  |       |
|--|-------|
| • Site/Fire Department Access (per phase)      | \$430 |
| • Underground Fire-line Service                | \$605 |
| • Architectural (per building)                 | \$770 |
| • Fire Sprinklers (per riser)                  | \$690 |
| • Fire Sprinklers Additional Riser (same bldg) | \$250 |
| • Standpipe System                             | \$250 |
| • Fire Alarm System                            | \$560 |
| • Fire Pump                                    | \$695 |

### PRICE CONDITIONS

#### PLAN CHECK

- Plan check fee includes the first submittal and one additional submittal if needed for each plan type. Any additional plan reviews beyond that would be charged at \$200.00 per submittal.
- Revision made to approved plans \$200.00 per revision

12523 Limonite Ave., Ste 440-102, Mira Loma, CA 91752  
(951) 218-5482 \* fax (951)681-6860

**INSPECTIONS:**

The price includes up to the follow number of inspections per plan type:

- Site/Fire Department Access – 2 (pre-construction, final)
- Underground Fire-line Service – 3 (pre-thrust block, hydro, flush)
- Architectural – 1 (final)
- Fire Sprinklers – 2 (rough & final)
- Standpipe System - 1
- Fire Alarm System – 2 (device inspection, battery ringout/final)

Should partial inspections, or additional inspections be required due to inspection failure, a charged of \$90 per hour with a two-hour minimum that includes 1 hour drive time will apply.

Inspection requests require a minimum of 72-hour notification prior to requested inspection.

Expiration of inspections shall be in accordance with 2013 California Fire Code Section 105.3.1

Once the first plan check is completed the fee associated with that plan type would be due. The fee will cover both the plan and inspections for that plan type as specified above.

This proposal is for a long-term project. The fees specified herein will be adjusted annually on July 1<sup>st</sup>. The adjustment will be based on the previous 12-month rate of inflation. DGA fee will be rounded to the nearest whole number. The new rate will apply to only those plans that have not yet been submitted.

I look forward to working with Loma Linda Fire Department on this exciting project. Should you have any questions, or need additional information you can contact me directly at (951) 218-5482.

Sincerely,



Dennis J. Grubb,  
President



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
John Lenart, Councilman  
Ovidiu Popescu, Councilman

COUNCIL AGENDA: July 28, 2015

TO: City Council

FROM: T. Jarb Thaipejr, City Manager/Public Works Director *T.J.T.*

SUBJECT: Appropriate \$10,100 and Award Contract to Prepare a User Fee Study

Approved/Continued/Denied By City Council Date _____
--

## **RECOMMENDATION:**

It is recommended that the City Council approve appropriations from General Fund Reserves of \$10,100 into Account No. 01-1940-1830. Then, it is recommended that the City Council award a contract in an amount not to exceed \$20,000 to Revenue & Cost Specialists of Fullerton, CA to prepare the fee study and approve a contingency amount of \$2,000.00 ( $\pm 10\%$ ).

## **BACKGROUND:**

Several new developments are under construction or processing through the entitlement phase. The proponents of these projects are concerned with the funding of City services being able to cover the level of service desired. The last fee study was conducted in 2003 and adopted in 2004. City governments are tasked to provide certain services for the public. State law allows for compensation to cover the cost for providing those services. Basically, the law requires that the fees not exceed the estimated reasonable cost for providing service. A reasonable relationship or nexus must exist between the service and cost or fees imposed. In order to establish a nexus between cost and fees, an extensive analysis needs to be conducted.

## **ANALYSIS:**

A similar type of study, the Development Impact Fee Calculation and Nexus Study, was prepared by Revenue & Cost Specialists (RSC) in 2013/14. RSC provided an excellent, supportable and professional product. As this study is similar we contacted RSC for a quote. Considering the nature and cost for similar work, this appears to be a very favorable proposal.

## **FINANCIAL IMPACT:**

Appropriate \$10,100 from General Fund Reserves into Account No. 01-1940-1830 then funding will be available in Account No. 01-1940-1830 – \$17,600 and Account No. 05-3500-1820 - \$1,200.



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
Ovidiu Popescu, Councilman  
John Lenart, Councilman

COUNCIL AGENDA: July 28, 2015  
TO: City Council  
FROM: T. Jarb Thaipejr, City Manager *T. J. T.*  
SUBJECT: Surplus Vehicles, Equipment, and Miscellaneous Items

Approved/Continued/Denied By City Council Date _____
--

## **RECOMMENDATION**

It is recommended that the City Council declare the attached list of vehicles, equipment and miscellaneous items surplus and authorize the items be appropriately disposed and the remaining items auctioned off as surplus.

## **BACKGROUND**

The attached list of vehicles, equipment and miscellaneous items are no longer used in the normal operations of the Public Works, Information Technology and/or Fire Departments. These items have become a maintenance liability rather than an asset due to the limited useful life and present worth of each item.

## **ANALYSIS**

Staff has researched and found a vendor, US Auctions, who will provide the auction service at no cost to the City. The vendor provides the auction site, advertising, equipment pick up, documentation and sales. US Auctions, which provides this service for government agencies, utility companies and others, is paid through a buyer's fee.

## **FINANCIAL IMPACT**

Income from auctioned items not determined at this time.

Attachment: Proposed Surplus List

I:\Public Works Admin\Staff Reports\2015 Surplus Equipment.doc

## EQUIPMENT DISPOSITION FORM

(This form is to be completed upon the disposition of fixed assets, with the exception of equipment for surplus)

Date of Disposition April 12, 2015	
Department INFORMATION SYSTEMS	Division

Justification for Disposition: Equipment is nonfunctional and or obsolete
Authorized Signature

Item #	Asset Tag #	Serial #	Description
1	02046	0032259367	Gateway desktop Profile 4
2	02047	0032259365	Gateway desktop Profile 4
3	02059	0028191907	Gateway desktop Profile4
4	02061	0028732069	Gateway desktop Profile 4
5	02234	F7PNW91	DCTR Dell Desktop
6	02306	D3C4VC1	DCTR DELL DESKTOP
7	02330	83T6QF1	DCTR Dell desktop
8	02071	1099485186	Gateway desktop Profile 5
9	02065	0029642521	Profile 4
10	02074	10994485185	Profile 5
11	02227	5jcc391	DCTR DELL DESKTOP
12	02279	CNF6270NG0	Presario V2000
13	02237	CNF6030LFK	Presario V2000
14	02238	CNF6081377	Presario V2000
15	02282	CNF6270N82	Presario V2000
16	02277	CNF6270NDH	Presario V2000
17	02278	CNF6270NJ8	Presario V2000
18	02147	0034123535	Profile 4
19	02236	W86160RNU2N	iMac 2006
20	02235	W86161LJU2N	iMac 2006
21	02066	0029294025	Gateway desktop
22	02075	1099485161	Gateway desktop
23	02077	HP5NS11	Dell desktop
24	02144	0034044051	Gateway desktop
25	02145	0034044045	Gateway desktop
26	02152	0034044050	Gateway desktop
27	02162	0003492152	Dell desktop
28	02181	2ZJTY71	Dell desktop
29	02182	BSBWY71	Dell desktop
30	02186	82BY981	Dell desktop
31	02190	7SBWY71	Dell desktop

32	02216	DJ3S981	Dell desktop
33	02217	3YJTY71	Dell desktop
34	02225	99VH391	Dell desktop

<b>Check One:</b> <input type="checkbox"/> Sold (Please attach supporting documentation.) <input type="checkbox"/> Lost (Please include complete description of circumstances surrounding loss.) <input type="checkbox"/> Donated to outside organization (Please attach supporting documentation.) <input type="checkbox"/> Traded In (Please attach supporting documentation.) <input type="checkbox"/> Reassigned for use as source of parts <input type="checkbox"/> Stolen (Please attach police report or complete description of circumstances.) <input type="checkbox"/> Destroyed (Please include complete description of circumstances.) <input type="checkbox"/> Other, Please explain <b>will recycle</b>
---

Distribution: Original - Finance; Copy - Relinquishing Department

12/03

ASSET DISPOSITION FORM

(This form to be completed upon the disposition of capital assets, with the exception of exception of equip. for surplus)

Sold for: \_\_\_\_\_

\$0.00

by means of:

- Public Auction
- Sealed Bid
- Selling for Scrap
- Negotiated Sale

(X) box


Proceeds Returned to Fund: \_\_\_\_\_

Traded for: \_\_\_\_\_ (Other Asset)

Vendor Name: \_\_\_\_\_

Traded for: \_\_\_\_\_ (Other Dept. Asset)

Department: \_\_\_\_\_

Transferred: \_\_\_\_\_ (Asset)

Department: \_\_\_\_\_

## EQUIPMENT DISPOSITION FORM

(This form is to be completed upon the disposition of fixed assets, with the exception of equipment for surplus)

Date of Disposition June 30, 2015	
Department INFORMATION SYSTEMS	Division

Justification for Disposition: Equipment is nonfunctional and or obsolete
Authorized Signature

Item #	Asset Tag #	Serial #	Description
1	none	DP02300534	View Sonic Computer Monitor
2	none	SM91904731	HP Monitor
3	none	26E042901550	View Sonic Computer Monitor
4	none	804013600959	View Sonic Computer Monitor
5	none	NU17026DC0188	Gateway Computer Monitor
6	none	26E042300809	View Sonic Computer Monitor
7	none	26E042901551	View Sonic Computer Monitor
8	none	M154H9135649	Gateway Computer Monitor
9	none	CN0HC31771618-55M-AAXM	Dell Computer Monitor
10	none	CN0HC31771618-55M-AAFV	Dell Computer Monitor
11	none	CN8912W121	HP Desktop printer
12	none	CN37E110WT	HP Desktop printer

Check One:
<input type="checkbox"/> Sold (Please attach supporting documentation.)
<input type="checkbox"/> Lost (Please include complete description of circumstances surrounding loss.)
<input type="checkbox"/> Donated to outside organization (Please attach supporting documentation.)
<input type="checkbox"/> Traded In (Please attach supporting documentation.)
<input type="checkbox"/> Reassigned for use as source of parts
<input type="checkbox"/> Stolen (Please attach police report or complete description of circumstances.)
<input type="checkbox"/> Destroyed (Please include complete description of circumstances.)
<input type="checkbox"/> Other, Please explain <b>will recycle</b>

ASSET DISPOSITION FORM

(This form to be completed upon the disposition of capital assets, with the exception of exception of equip. for surplus)

Sold for: \_\_\_\_\_

\$0.00

by means of:

- Public Auction
- Sealed Bid
- Selling for Scrap
- Negotiated Sale

(X) box


Proceeds Returned to Fund: \_\_\_\_\_

Traded for: \_\_\_\_\_ (Other Asset)

Vendor Name: \_\_\_\_\_

Traded for: \_\_\_\_\_ (Other Dept. Asset)

Department: \_\_\_\_\_

Transferred: \_\_\_\_\_ (Asset)

Department: \_\_\_\_\_

## EQUIPMENT DISPOSITION FORM

(This form is to be completed upon the disposition of fixed assets, with the exception of equipment for surplus)

Date of Disposition July 13, 2015	
Department INFORMATION SYSTEMS	Division _____

Justification for Disposition: Equipment is nonfunctional and or obsolete
Authorized Signature

Item #	Asset Tag #	Serial #	Description
1	01874	AK8JPN34093M5	Sony Laptop PG-861A
2	02309	UT153A01	Dell Inspiron Laptop
3	03135	44313605K	Toshiba Laptop
4	01777	0015217790	Gateway Desktop TBR
5	01780	0015217777	Gateway Desktop TBR
6	01796	0015217434	Gateway Desktop TBR
7	01782	0015217783	Gateway Desktop TBR
8	01838	0017574563	Gateway Desktop TBR
9	01761	0015217786	Gateway Desktop TBR
10	01789	0015217798	Gateway Desktop TBR
11	01799	0015217433	Gateway Desktop TBR
12	02073	1099485164	Gateway Profile 5
13	02407	CNU8191N79	Laptop Compaq 6515b
14	03133	CN-0D4571	Dell Latitude D610 LT
15	02045	0032259368	Gateway Profile 4
16	02472	77rkkm1	Dell Optiplex380
17	02304	JR4KRC1	Dell Optiplex 745
18	03212	PB5A8C3AATG05 0/USE06346VA	EVA6000 Disk Enclosure

Check One:
<input type="checkbox"/> Sold (Please attach supporting documentation.)
<input type="checkbox"/> Lost (Please include complete description of circumstances surrounding loss.)
<input type="checkbox"/> Donated to outside organization (Please attach supporting documentation.)
<input type="checkbox"/> Traded In (Please attach supporting documentation.)
<input type="checkbox"/> Reassigned for use as source of parts
<input type="checkbox"/> Stolen (Please attach police report or complete description of circumstances.)
<input type="checkbox"/> Destroyed (Please include complete description of circumstances.)
<input type="checkbox"/> Other, Please explain <b>will recycle</b>

ASSET DISPOSITION FORM

(This form to be completed upon the disposition of capital assets, with the exception of exception of equip. for surplus)

Sold for: \_\_\_\_\_

\$0.00

by means of:

- Public Auction
- Sealed Bid
- Selling for Scrap
- Negotiated Sale

(X) box


Proceeds Returned to Fund: \_\_\_\_\_

Traded for: \_\_\_\_\_ (Other Asset)

Vendor Name: \_\_\_\_\_

Traded for: \_\_\_\_\_ (Other Dept. Asset)

Department: \_\_\_\_\_

Transferred: \_\_\_\_\_ (Asset)

Department: \_\_\_\_\_

### EQUIPMENT DISPOSITION FORM

(This form is to be completed upon the disposition of fixed assets, with the exception of equipment for surplus)

Date of Disposition July 23, 2015

Department INFORMATION SYSTEMS | Division

Justification for Disposition: Equipment is nonfunctional and or obsolete

Authorized Signature 

Item #	Asset Tag #	Serial #	Description
1	N/A	DK6AC31012	HP DesignJet 4500

Check One:

Sold (Please attach supporting documentation.)

Lost (Please include complete description of circumstances surrounding loss.)

Donated to outside organization (Please attach supporting documentation.)

Traded In (Please attach supporting documentation.)

Reassigned for use as source of parts

Stolen (Please attach police report or complete description of circumstances.)

Destroyed (Please include complete description of circumstances.)

Other, Please explain **will recycle**

ASSET DISPOSITION FORM

(This form to be completed upon the disposition of capital assets, with the exception of exception of equip. for surplus)

Sold for: \_\_\_\_\_

\$0.00

by means of:

- Public Auction
- Sealed Bid
- Selling for Scrap
- Negotiated Sale

(X) box


Proceeds Returned to Fund: \_\_\_\_\_

Traded for: \_\_\_\_\_ (Other Asset)

Vendor Name: \_\_\_\_\_

Traded for: \_\_\_\_\_ (Other Dept. Asset)

Department: \_\_\_\_\_

Transferred: \_\_\_\_\_ (Asset)

Department: \_\_\_\_\_

## EQUIPMENT DISPOSITION FORM

(This form is to be completed upon the disposition of fixed assets, with the exception of equipment for surplus)

Date of Disposition <u>7/29/15</u>	
Department <u>Fire</u>	Division _____

Justification for Disposition: <u>All items are either broken or antiquated technology</u>
Authorized Signature 

Item #	Asset Tag #	Serial #	Description
1	01160	B1HB00311	Panasonic VHS Video Recorder Model #AG-450
2	02370	A0-224C	Solaris LX MSA Portable Gas Detector
3	02376	A0-2236	Solaris LX MSA Portable Gas Detector
4	02371	A0-2235	Solaris LX MSA Portable Gas Detector
5	01712	820790	Life Cycle Aerobic Machine
6	01559		Life Step 9500HR
7			Light Bar
8	0476		Pragmatics, Inc Life Light Gas Detector Model #657
9		990641750	Elkay Drinking Fountain (original when Dept was built)
10	01436	LA00104905	Westinghouse RT194LCW1
11	00969	266344241	IBM Typewriter

Check One:	
<input type="checkbox"/>	Sold (Please attach supporting documentation.)
<input type="checkbox"/>	Lost (Please include complete description of circumstances surrounding loss.)
<input type="checkbox"/>	Donated to outside organization (Please attach supporting documentation.)
<input type="checkbox"/>	Traded In (Please attach supporting documentation.)
<input type="checkbox"/>	Reassigned for use as source of parts
<input type="checkbox"/>	Stolen (Please attach police report or complete description of circumstances.)
<input type="checkbox"/>	Destroyed (Please include complete description of circumstances.)
<input checked="" type="checkbox"/>	Other, Please explain to be put in electronic waste recycling, upon approval

Distribution: Original - Finance; Copy - Relinquishing Department

## EQUIPMENT DISPOSITION FORM

(This form is to be completed upon the disposition of fixed assets, with the exception of equipment for surplus)

Date of Disposition _____	
Department <u>Fire</u>	Division _____

Justification for Disposition: Item had hole in tank. Unit donated to Bisbee, AZ Fire Dept.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Authorized Signature *J. Bender*

Item #	Asset Tag #	Serial #	Description
1			Air-Kwik Compressed Air Foam System, Model #AK-25
2			
3			
4			
5			
6			
7			
8			
9			
10			

Check One:

Sold (Please attach supporting documentation.)

Lost (Please include complete description of circumstances surrounding loss.)

Donated to outside organization (Please attach supporting documentation.)

Traded In (Please attach supporting documentation.)

Reassigned for use as source of parts

Stolen (Please attach police report or complete description of circumstances.)

Destroyed (Please include complete description of circumstances.)

Other, Please explain \_\_\_\_\_

Surplus List- July 2015

	Model Year	Make/Model	Description	Serial Number	City ID	Asset #	Dept.
1		Turf Bat Wing	Woods Mower	629504		01734	
2		Gearmore	Brush Mower	100205537		01833	
3		Dietz	Arrow Board	500017	E-148		
4		Flex-O-Lite	Arrow Board				
5		Crafco EZ Door	Crack Filler	9040841EP	E-355	01507	
6		Sullair	Generator	7943		01231	
7		Unian	Generator	J840730194	E-196		
8	1967	Federal	Generator	67-0182			
9		John Deere	Front Bucket Attach	W00540X021417			
10	1996	Kelco	Sandblaster	15105	E154		
11	1989	Ford F-700	Dump Truck	1FDNK74POLVA21448	D1493	01271	
12	1981	Ford	Sewer Van	1FTJE38Z6BHB06404	SW581	01263	
13		Ford Tractor	Tractor/Gannon	C566012	E-371		
14		Brush Bandit	Wood Chipper	13501	E-269		
15		Crafco 200	Pavement Cutter	994067	E-275	01925	
16	1993	Ford F-250	Signs Truck	1FTHF25HXRLA04094	51039	01545	
17		John Deere	72"Mower 1445	TC1472X010515	E-661	02125	
18		Bow Mag	Compactor	90AX46841	E-217		
19		Smith 160	Compressor	160A3315	E-123		
20		Yellow Trailer		329376			
21	1999	Corohi EM43	Wheel Balancer	9090555	E-283	01880	
22		Porto-o-Potty	Trailer	947007			
23		Honda	Lawn Mower	MZAN-6048999	E-394		
24		Yard Machine	Tiller	980812YA	E-240		
25		Walker	Mower	D-407040	E-330		
26	1989	Chevy Truck	C2500	1GBGC24K5KE174508	SW-583		
27		JCB	Tractor	14BN2019/34360917	E-130		
28	1991	Ford Ranger	Pick Up Truck	1FTCR10U4MUE14604	PD627		

	Model Year	Make/Model	Description	Serial Number	City ID	Asset #	Dept.
29	1984	F-600	Service Truck	1FDM60H3FVAD0020	D1817	00089	Water
30		Speedaire	Sand Blaster		E-323		
31		Power Pruner	Gas Powered Pruner	11-011752	E-332		
32	1998	Ford F-250	Distribution Truck	1FTRF27L9WKC14242	D-1823		
33		Wheeler RFX	Valve Exercise Machine	9800	E-190		
34		Home Lite	Chop Saw				
35	1999	Viper GT	A/C Machine	H396546	E-296	01831	
36		Sun \$1\$905	Engine Analyzer	9739A0812		01730	
37		Echo SRM265	Weed Whip	65811006001	E-713		
38		Echo SRM265	Weed Whip	65811006290	E-714		
39		Power Trim 150	Edger	274459	E-327		
40		Mo. Wisconsin MXC 17	Vibrating Plate	A6912			
41		Vibco GR1600H	Rolling Vibrator	200035	E-315		
42		Briggs 5HP	Engine 5HP		V1536	01536	
43		Briggs	Engine 5HP			00023	
44		Viper AF3400	Coolant Machine	H562682		01908	
45							
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56							



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
John Lenart, Councilman  
Ovidiu Popescu, Councilman

COUNCIL AGENDA: July 28, 2015

TO: City Council

FROM: Konrad Bolowich, Assistant City Manager

SUBJECT: Agreement with CompuCom for Microsoft software licensing

Approved/Continued/Denied  
By City Council  
Date \_\_\_\_\_

## RECOMMENDATION

It is recommended that the City Council approve the three year licensing agreement with CompuCom for Microsoft .

## BACKGROUND

All computers and servers are required to operate of current licenses or risk penalties associated with software piracy. The City operates just under one hundred computers running Windows, and Office, as well as twenty four servers and several other iterations of Microsoft software.

## ANALYSIS

The City is part of a governmental agency purchasing group through CompuCom and has received a three year renewal for \$78,904.26 from Microsoft via CompuCom.

## ENVIRONMENTAL

There is no environmental impact

## FINANCIAL IMPACT

Funds will be allocated from each department on an annual basis following the current IT cost allocation schedule.



# City of Loma Linda Official Report

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Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ovidiu Popescu, Councilman  
Ronald Dailey, Councilman  
John Lenart, Councilman

**COUNCIL AGENDA:** July 28, 2015

**TO:** City Council

**VIA:** T. Jarb Thaipejr, City Manager

**FROM:** Pamela Byrnes-O'Camb, City Clerk

**SUBJECT:** Committee Appointments

- a. Budget Committee
- b. Planning Commission

Approved/Continued/Denied By City Council Date _____
--

## **Budget Committee**

<b>Number of Members:</b>	<b>Seven</b>
<b>Term:</b>	<b>Four Years</b>
<b>FPPC Filing:</b>	<b>Not Required</b>
<b>Chairman:</b>	<b>Jay Gallant</b>
<b>Meeting Schedule:</b>	<b>As needed Basis. Frequent during the months of May and June</b>
<b>Committee Members:</b>	<b>Jay Gallant (Appointed May 1996) Mary Lynn Cook (Appointed March 1997) Kevin Fischer (Appointed June 2014) Gary Nelson (Appointed June 2011) Kurt Swigart (Appointed January 2003) Verne Miller (Appointed September 2011)</b>
<b>Vacancies:</b>	<b>One</b>
<b>Applications on File:</b>	<b>One</b>
<b>Comments:</b>	<b>A vacancy occurred when Mr. Hewes indicated he could not complete another four-year term. On June 23, City Council declared a vacancy and directed the Clerk to advertise. A special vacancy notice was posted in the three public posting places as well as on the City's Website and message board.</b>
<b>Recommendation:</b>	<b>Appoint one (1) member to the Budget Committee for a four-year term to expire 6/30/2019.</b>



CITY OF LOMA LINDA  
APPLICATION FOR APPOINTMENT  
TO

BUDGET COMMITTEE

The City Council is now accepting applications for appointment to the above named Committee of persons who have a keen interest in serving their City in this way and who are willing to take the time to do effective committee work.

Applications are to be submitted to the City Clerk, City of Loma Linda, 25541 Barton Road, Loma Linda, CA 92354 no later than 5:00 p.m., Monday, July 20, 2015. Resumes are encouraged. You may be asked to appear for an interview by the City Council.

Name JIM WALLING Date 7/21/15

Address 1725 SCOTTSDALE RD. BEAUMONT, CA 92223  
Phone 909-437-3194

Email: jwalling1541@gmail.com Cell Phone: 909-437-3194

Occupation RETIRED BANKER

Employer N/A

Business Address \_\_\_\_\_ Phone \_\_\_\_\_

Education \_\_\_\_\_

Committees I Have Served On In The Past:

TRAILS DEVELOPMENT COMMITTEE - CITY OF LOMA LINDA

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Special Interests Or Qualifications That Would Help Me Be Effective In Serving On This Committee Are:

BACKGROUND IN BANKING, FINANCE & ACCOUNTING 40+ YEARS

## **Planning Commission**

<b>Number of Members:</b>	Five
<b>Term:</b>	Three Years
<b>FPPC Filing:</b>	Required
<b>Chairman:</b>	John Nichols (Appointed July 2008)
<b>Meeting Schedule:</b>	First and Third Wednesday of each month
<b>Other Members:</b>	John Nichols (Appointed July 2008) Jay Nelson (Appointed June 2014) Nikan Khatibi (Appointed July 2012) Ryan Gallant (Appointed November 2013)
<b>Vacancies:</b>	One
<b>Applications on File:</b>	Two
<b>Comments:</b>	<p>Planning Commissioners must maintain a status of resident elector of the City. A vacancy occurred when Mrs. Palmieri declined consideration for another term.</p> <p>On June 23, City Council declared a vacancy and directed the Clerk to advertise. A special vacancy notice was posted in the three public posting places as well as on the City's Website and message board.</p> <p>Two applications have been received: Scott Stockdale and Doree Morgan. Should Mrs. Morgan be appointed, a vacancy would occur on the Parks, Recreation &amp; Beautification Committee.</p>
<b>Recommendation:</b>	Appoint one (1) member to a three-year term to expire June 30, 2018.

**ANSWERS TO QUESTIONS ARE REQUIRED. PLEASE USE NO MORE THAN FOUR TYPED OR HANDWRITTEN PAGES FOR ALL OF YOUR ANSWERS.**

1. Please describe your interest and background in planning and development.
2. What do you see as your role within city government if appointed to the Planning Commission?
3. Looking ten years into the future, what is your vision of Loma Linda?
4. Provide an example of how you would resolve a situation where your personal viewpoint toward development is in conflict with the overall best interest of the City.
5. The design and architecture of a proposed development may not suit your personal taste and the type of development or land use may be contrary to your lifestyle views or opinions. How would you review the project objectively?
6. What local city(ies) do you admire and believe Loma Linda should emulate and why? What steps should Loma Linda take to become more like these cities?
7. What abilities do you feel you have that would allow you to work as a member of the Planning Commission team, even though you may not always agree with other Commissioners on important development issues?

**CANDIDATES MAY BE INVITED FOR AN ORAL INTERVIEW BEFORE THE CITY COUNCIL.**



RECEIVED

CITY OF LOMA LINDA  
APPLICATION  
APPOINTMENT TO PLANNING COMMISSION

JUN 15 2015  
City of Loma Linda  
Comm. Dev. Dept.

ALL APPLICANTS MUST BE RESIDENTS AND REGISTERED VOTERS WITHIN THE CITY OF LOMA LINDA  
PLANNING COMMISSIONERS ARE REQUIRED TO FILE A STATEMENT OF ECONOMIC INTERESTS  
PURSUANT TO THE POLITICAL REFORM ACT OF 1974

Applications must be returned by 5:00 p.m. Monday, June 15, 2015	City Clerk's Office 25541 Barton Road Loma Linda, CA 92354
--	--

Name: SCOTT STOCKDALE Home Phone: 909-815-8123

Home Address: 25851 Sunrise Way Years resided at address: 10+

Have you lived at any other address in Loma Linda:  Yes  No

If yes, give previous address: 24968 Lawton Ave. Also on Maniposa St.

Employer: SELF, UNIVERSITY REALTY INC.

Employer Address: 1156 ANDERSON ST. Employer Phone: 909-796-0156

Occupation: BUSINESSMAN How Long: SINCE 1985

Education (Highest Grade Completed): 16. BA Business Admin CSUSB

Licenses or special certificates held: BRE Brokers License

Name, location of Colleges/Universities Attended	Major	Degree	Last Year Attended
<u>CAL STATE U SAN BERNARDINO</u>	<u>BUS. ADMIN</u>	<u>BA</u>	<u>1985</u>

Have you ever been convicted of any crime or violation of any law or statute other than minor traffic violations?

Yes \_\_\_\_\_ No  (If yes, please attach a separate sheet of explanation.)

Prior or Current Civic Experience (Include Membership in Professional, charitable or community organizations)	Office Held (if any)	Dates of Membership
<u>MEMBER, LOMA LINDA CHAMBER OF COMMERCE</u>	<u>President</u>	<u>Many years</u>

I declare under penalty or perjury that all statements in this application and the attached responses are true and complete to the best of my knowledge and belief.

Scott Stockdale  
Signature of Applicant



# UNIVERSITY REALTY INC

11156 ANDERSON STREET LOMA LINDA CA 92354

909.796.0156 - FAX 909.796.5105

## Answers to Planning Commission Application

- 1) Recently I've seen how city government interacts with and impacts businesses, institutions, and development. As a local businessman and Realtor, I have a personal interest as remaining parcels and projects are proposed for our city. My exposure to planning and development has been limited to 'over-the-counter' experiences while exploring different developments' potential.
- 2) To represent our community's best interest and provide my real estate experience point of view.
- 3) In 10 years, most of Loma Linda's remaining vacant land will have been developed. My goal is to have that happen in a way that will benefit our community and the businesses and developments that make it possible.
- 4) My personal opinions are subordinate to what is in the best interest of the city. However, I must point out that my motivations are already aligned with what is in the best interest of the City.
- 5) As a member of the planning commission, I would be a part of a process that already has an established framework, (General Plan, zoning, etc.) If I disagree with a type of development or land use that is legal under current law, then I would remain objective and follow the existing rules.
- 6) Redlands – but Loma Linda is not Redlands. Loma Linda is a unique town and doesn't need to 'copy' any other. We need to focus on making the best of our city - maintaining and improving our infrastructure, and bettering the quality of life for our citizens.
- 7) I am challenged with local real estate issues during the course of my work as a business owner, Realtor, property manager, and real estate investor/developer. I am a 'team player', and my experiences will provide a positive 'real-world' perspective to the planning commission, and be a benefit to the community.

Scott Stockdale

University Realty Inc. is Licensed by the California Bureau of Real Estate #0794147  
Scott Stockdale is Licensed by the California Bureau of Real Estate #01045439



City of Loma Linda

CITY OF LOMA LINDA APPLICATION

JUL 08 2015

APPOINTMENT TO PLANNING COMMISSION

City Clerk

ALL APPLICANTS MUST BE RESIDENTS AND REGISTERED VOTERS WITHIN THE CITY OF LOMA LINDA PLANNING COMMISSIONERS ARE REQUIRED TO FILE A STATEMENT OF ECONOMIC INTERESTS PURSUANT TO THE POLITICAL REFORM ACT OF 1974

Table with 2 columns: Applications must be returned by 5:00 p.m. Monday, July 20, 2015; City Clerk's Office 25541 Barton Road Loma Linda, CA 92354

Name: Doree Morgan Home Phone: 909-796-0418

Email: doree\_morgan@yahoo.com Cell Phone: 909-913-7468

Home Address: 26092 Bancroft St. Loma Linda, CA 92354 Years resided at address: 28

Have you lived at any other address in Loma Linda: X Yes No

If yes, give previous address: Rosarita Dr. San Mateo Dr., Loma Linda, CA

Employer: Kaiser Permanente

Employer Address: 17296 Glover Ave Fontana, CA 92337 Employer Phone: 909-609-3000

Occupation: Supervisor, Health Education Dept. How Long: 27 years

Education (Highest Grade Completed): Master's degree

Licenses or special certificates held: MPH, RDN, CDE, Notary Public

Table with 4 columns: Name, location of Colleges/Universities Attended; Major; Degree; Last Year Attended. Rows include Loma Linda Univ, School of Public Health and Pacific Union College.

Have you ever been convicted of any crime or violation of any law or statute other than minor traffic violations?

Yes No X (If yes, please attach a separate sheet of explanation.)

Table with 3 columns: Prior or Current Civic Experience (Include Membership in Professional, charitable or community organizations); Office Held (if any); Dates of Membership. Rows include Loma Linda Parks + Recreation Committee, American Assoc. Diabetes Educators, SELU-UHW + NUHW, and Inland District Dietetic Assoc.

I declare under penalty or perjury that all statements in this application and the attached responses are true and complete to the best of my knowledge and belief.

Doree Morgan Signature of Applicant

**1. Please describe your interest and background in planning and development.** I am a graduate of Loma Linda University and have resided in Loma Linda since 1976 (39 years.) I enjoy living in this community and consequently have participated in the city's Park and Recreation committee to help balance park use with the need to mitigate risk to local residents and law enforcement. I am applying to the Planning Commission to help continue the constructive planning that others have done before me and provide two-way communication between city planning and recreation.

**2. What do you see your role within city government if appointed to the Planning Commission?** My role would be to act as a consultant and advisor to the city council regarding growth, development and beautification of the City. I would network with residents and appropriate community agencies for constructive feedback and support.

**3. Looking ten years into the future, what is your vision of Loma Linda?** Increased commerce with additional business tax revenue, water-wise landscaping, reasonable residential access to park space, preferably no building in the Loma Linda Hills.

**4. Provide an example of how you would resolve a situation where your personal viewpoint toward development is in conflict with the overall best interest of the City.** I would actively participate in discussions with applicable individuals and groups and explore their perspectives. I will support a development if it is objectively within the best interest of the city, even if it counters my perspective.

**5. The design and architecture of a proposed development may not suit your personal taste and the type of development or land use may be contrary to your lifestyle views or opinions. How would you review the project objectively?** Consider the needs, desires and limitations of the city and its residents, the appropriateness of the proposed location, the opportunity for business tax revenue, proposed water usage versus water availability,

**6. What local city(ies) do you admire and believe Loma Linda should emulate and why? What steps should Loma Linda take to become more like these cities?** The cities of Redlands and Riverside: The architecture in the downtown areas are quaint and/or reflect the California Mission era bringing a fun sense of nostalgia and something uniquely interesting compared to surrounding communities. Their commercial properties bring helpful business tax revenue to the cities. Future commercial developments in Loma Linda may emulate designs found in Redlands or Riverside.

I would like to see new developments designed to minimize water use and heat in homes during the summer months, regardless of their orientation in the lot or on the street.

**7. What abilities do you feel you have that would allow you to work as a member of the Planning Commission team, even though you may not always agree with other Commissioners on important development issues?**

Years of experience in the workforce as a communicator, team builder, program planner, networker, facilitator and leader. I'm a team player and understand the rewards and challenges of a diverse team with varied perspectives. I have decades of experience working with individuals and groups. As a union steward I was able to negotiate and renegotiate conflicting viewpoints between multiple parties. As a manager, I successfully lead a quality and access improvement team composed of 4 different union representatives



# City of Loma Linda Official Report

Rhodes Rigsby, Mayor  
Phillip Dupper, Mayor pro tempore  
Ronald Dailey, Councilman  
Ovidiu Popescu, Councilman  
John Lenart, Councilman

COUNCIL AGENDA: July 28, 2015  
TO: City Council  
FROM: T. Jarb Thaipejr, City Manager T.J.T.  
SUBJECT: Council Bill #R-2015-30 - Adopt Measure I Five-Year Capital Improvement Plan

Approved/Continued/Denied By City Council Date _____
--

## **RECOMMENDATION**

It is recommended that the City Council adopt Council Bill #R-2015-30, approving the City's Measure I Five-Year Capital Improvement Plan.

## **BACKGROUND**

Cities in San Bernardino County are required to adopt a Five-Year Capital Improvement Plan (CIP) for Measure I projects. Measure I revenues are generated by the County-wide transportation ½ percent sales tax program which is administered by the San Bernardino Associated Governments (SANBAG).

## **ANALYSIS**

The City Council approved the 5-Year CIP as part of the annual budget proposal at the June 9, 2015 meeting. The CIP list includes street improvement projects. The proposed Measure I 5-Year CIP is in compliance with the City's approved 5-Year CIP. City Council may change the Measure I Plan at any time to re-prioritize projects. Please refer to Attachment B, which lists proposed projects for the five-year period from FY 2015-20. As noted in the attachment, the expenditure over the 5 year period is estimated to be 2,299,294. However, Measure I revenue estimate, as provided by SANBAG, is \$2,160,684 over the same period. The difference of \$138,610 will be covered by the existing carryover of Measure I funding.

## **FINANCIAL IMPACT**

There is no fiscal impact as projects are not required to be constructed. This plan allows for consideration of funding opportunities.

Attachments A - Resolution  
B - Measure I Five-Year Plan 2015-20  
C - Expenditure Strategy

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA,  
STATE OF CALIFORNIA, ADOPTING THE MEASURE I FIVE YEAR  
CAPITAL IMPROVEMENT PROGRAM

WHEREAS, San Bernardino County voters approved passage of Measure I in November 2004, authorizing the San Bernardino County Transportation Authority, to impose a one-half of one percent retail transactions and use tax applicable in the incorporated and unincorporated territory of the County of San Bernardino, and

WHEREAS, revenue from the tax can only be used for transportation improvement and traffic management programs authorized in the Expenditure Plans set forth in Ordinance No.04-1 of the Authority, and

WHEREAS, the Strategic Plan requires each local jurisdiction applying for revenue from the Local Streets Program to annually adopt and update a Five-Year Capital Improvement Program, and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Loma Linda, State of California that the Measure I Five Year Capital Improvement Program, attached to this resolution as Exhibit A, is hereby adopted.

PASSED AND ADOPTED this 28th day of July 2015, by the following vote:

AYES:

NOES:

ABSENT:

---

Rhodes Rigsby, Mayor

Attest:

---

Pamela Byrnes-O'Camb, City Clerk

Please do not change, alter or modify this template. Use plus signs along left side of worksheet to add rows rather than manually inserting rows to ensure formulas are carried through.

**MEASURE I LOCAL STREET PASS-THROUGH FUNDS FIVE YEAR CAPITAL IMPROVEMENT PLAN**

<b>PLAN PERIOD:</b>	2015/2016 to 2019/2020												
<b>AGENCY NAME:</b>	City of Loma Linda		FY2015/2016	FY 2016/2017	FY 2017/2018	FY 2018/2019	FY2019/2020	<b>Total Available</b> (Carryover plus estimate)					
<b>CARRYOVER BALANCE:</b>	\$212,100.00	<b>MEASURE I ESTIMATE:</b>	\$364,979.00	\$375,928.00	\$388,146.00	\$401,731.00	\$417,800.00	\$2,160,684.00					

Named Projects:	Estimated Total Project Cost	Nexus Project?		FY2015/2016		FY 2016/2017		FY 2017/2018		FY 2018/2019		FY2019/2020		Total Local Street Measure I Programmed
		Public Share (%)	DIF Share (%)	Carryover Funds	Current Estimate									
Lawton Avenue - Mountain View Avenue to Whittier Avenue; Whittier Avenue - Beaumont Avenue to UPRR Crossing; Bryn Mawr Avenue - Lawton Avenue to Beaumont Avenue;														\$0.00
Hinckley Street - Mountain View Avenue to Bryn Mawr Avenue; Mountain View Avenue - Avenue to Beaumont Avenue; Lozano Place; Largo Court; Bryn Mawr Avenue - Redlands Boulevard to Mission Zanja Creek Channel; Tract 11516 - Pavement Rehabilitation	\$ 353,266.00			\$ 353,266.00										\$353,266.00
Tract 9438; Tracts 10131 through 10137; Tract 13705; Tract 13943; Tract 16650; Tract 13635; Tract 16730; Tract 13887; Tract 12294; Tract 15422; Tract 13449; Tract 16382; Tract 12458; Tract 16089; First Street - Pavement Rehabilitation	\$ 364,803.00					\$ 364,803.00								\$364,803.00
Tract 14544; Tract 14552; Tract 15071; Tract 14545; Tract 16323; Tract 16341; Tract 16730; Tract 16259 - Pavement Rehabilitation	\$ 376,545.00							\$ 376,545.00						\$376,545.00
Tract 3099; Tract 5811; Tract 4109; Tract 6669; Tract 6913; Tract 7027; Tract 6983; Tract 6541; Tract 7419; Tract 8629; Tract 9004; Tract 10075; Tract 8517; Tract 9103; Tract 9277; 9276; Tract 9292; Tract 15700; Tract 9389; Tract 9152; Anderson Street - Barton Road to Lawton Avenue; Benton Street - Barton Road to Lawton Avenue; Huron Way - Pavement Rehabilitation	\$ 387,980.00									\$ 387,980.00				\$387,980.00
Tract 9871; Tract 9871-1; Tract 9871-2; Tract 10695; Tract 9299; Tract 3558; Tract 8585; Tract 12881 Rosewood Drive; Spade Drive; Sun Avenue; Business Center Drive; Commerce Street; Corporate Drive; Enterprise Drive; Industrial Court; Tract 12609; Tract 12475; Tract 12610; Tract 10992-1; Tract 15917; Lane street; State Street; Mead Street; Mead Court; Mead Lane; Mead Way; Cottonwood Street; Elm Street; Tract 6455; Tract 3000; Tract 6777; Tract 6781; Tract 7057 - Pavement Rehabilitation	\$ 391,700.00											\$ 391,700.00		\$391,700.00
<b>Named Projects Total:</b>	<b>\$ 1,874,294.00</b>			<b>\$ -</b>	<b>\$ 353,266.00</b>	<b>\$ -</b>	<b>\$ 364,803.00</b>	<b>\$ -</b>	<b>\$ 376,545.00</b>	<b>\$ -</b>	<b>\$ 387,980.00</b>	<b>\$ -</b>	<b>\$ 391,700.00</b>	<b>\$1,874,294.00</b>
<b>Total Carryover + Estimate:</b>	<b>\$ 1,874,294</b>			<b>\$353,266.00</b>		<b>\$364,803.00</b>		<b>\$376,545.00</b>		<b>\$387,980.00</b>		<b>\$391,700.00</b>		<b>\$1,874,294.00</b>
<b>(%) Named Projects:</b>				<b>97%</b>		<b>97%</b>		<b>97%</b>		<b>97%</b>		<b>94%</b>		

Categorical Projects Total *:														
Sidewalk corrective measures - Citywide				\$ 60,000.00		\$ 60,000.00		\$ 60,000.00		\$ 60,000.00		\$ 60,000.00		\$300,000.00
Striping and Signage Maintenance - Citywide				\$ 25,000.00		\$ 25,000.00		\$ 25,000.00		\$ 25,000.00		\$ 25,000.00		\$125,000.00
														\$0.00
														\$0.00
														\$0.00
														\$0.00
														\$0.00
<b>Categorical Projects Total:</b>	<b>\$ -</b>			<b>\$ 85,000.00</b>		<b>\$425,000.00</b>								
<b>(%) Categorical Projects (cannot exceed 50%):</b>				<b>23%</b>		<b>23%</b>		<b>22%</b>		<b>21%</b>		<b>20%</b>		

(\* = Carryover funds may not be used on Categorical Projects.

**In Accordance with Measure I Strategic Plan Policy 40003:**

1. If Measure I allocated to project is ≥ \$100,000, then list individually in Named Projects section.
2. There is a 50% limit on total categorical projects.
3. There is a 150% constraint on total planned expenditures to Measure I estimated revenue.
4. Expenditures of Measure I Local Street funds must be detailed in the Five Year Capital Improvement Plan and adopted by resolution of the governing body.
5. Revised Capital Improvement Plans are due to SANBAG by the end of the fiscal year along with the resolution.

Total Programmed:	\$ 2,299,294.00
Total Carryover Programmed:	\$ -
Total Estimated Programmed:	\$ 2,299,294.00
Check:	\$ 2,299,294.00
150% of Estimated Measure I plus carryover:	\$ 3,241,026.00
Does programing amount exceed 150% limit:	No

<b>RESOLUTION NUMBER:</b>	
<b>RESOLUTION APPROVAL DATE:</b>	
<b>CONTACT PERSON &amp; TITLE:</b>	T. Jarb Thaipejr, City Manager/Director of Public Works
<b>CONTACT PHONE:</b>	(909) 799-2811
<b>CONTACT EMAIL:</b>	tthaipejr@lomalinda-ca.gov



**MEASURE I CAPITAL IMPROVEMENT PLAN  
EXPENDITURE STRATEGY  
2015-2020**

The City of Loma Linda is intent upon efficiently maintaining our existing roadway system. The streets in Loma Linda are constructed of asphalt concrete (AC). These streets are in various stages of their life expectancy. A typical AC street improvement has a life expectancy of 15-20 years. Through proper pavement management, this can be extended by as much as 20 years. Our strategy is to utilize a combination of slurry seal method, grind and overlay the top 0.1' and pulverize existing AC for base and repave for rehabilitation. This pavement management program has shown to be effective in delaying the eventual complete reconstruction, including subgrade, of a roadway segment.

Measure I funding is critical to this effort. We have dedicated the majority of funding to maintenance activities as described above along with the adjacent sidewalk, curb and gutter and access ramp maintenance. A portion of funding is earmarked for addressing increased capacity demand along certain segments that have experienced growth. New roadway segments may be considered in the future and will be addressed with CIP planning at that time.



1400 K Street, Suite 400 • Sacramento, California 95814  
Phone: 916.658.8200 Fax: 916.658.8240  
[www.cacities.org](http://www.cacities.org)

**Council Action Advised by July 31, 2015**

May 29, 2015

**TO: Mayors, City Managers and City Clerks**

**RE: DESIGNATION OF VOTING DELEGATES AND ALTERNATES  
League of California Cities Annual Conference – September 30 – October 2, San Jose**

The League's 2015 Annual Conference is scheduled for September 30 – October 2 in San Jose. An important part of the Annual Conference is the Annual Business Meeting (*at the General Assembly*), scheduled for noon on Friday, October 2, at the San Jose Convention Center. At this meeting, the League membership considers and takes action on resolutions that establish League policy.

In order to vote at the Annual Business Meeting, your city council must designate a voting delegate. Your city may also appoint up to two alternate voting delegates, one of whom may vote in the event that the designated voting delegate is unable to serve in that capacity.

**Please complete the attached Voting Delegate form and return it to the League's office no later than Friday, September 18, 2015. This will allow us time to establish voting delegate/alternate records prior to the conference.**

Please note the following procedures that are intended to ensure the integrity of the voting process at the Annual Business Meeting.

- **Action by Council Required.** Consistent with League bylaws, a city's voting delegate and up to two alternates must be designated by the city council. When completing the attached Voting Delegate form, please attach either a copy of the council resolution that reflects the council action taken, or have your city clerk or mayor sign the form affirming that the names provided are those selected by the city council. Please note that designating the voting delegate and alternates must be done by city council action and cannot be accomplished by individual action of the mayor or city manager alone.
- **Conference Registration Required.** The voting delegate and alternates must be registered to attend the conference. They need not register for the entire conference; they may register for Friday only. To register for the conference, please go to our website: [www.cacities.org](http://www.cacities.org). In order to cast a vote, at least one voter must be present at the

-over-

**CC AGENDA ITEM 17**

Business Meeting and in possession of the voting delegate card. Voting delegates and alternates need to pick up their conference badges before signing in and picking up the voting delegate card at the Voting Delegate Desk. This will enable them to receive the special sticker on their name badges that will admit them into the voting area during the Business Meeting.

- **Transferring Voting Card to Non-Designated Individuals Not Allowed.** The voting delegate card may be transferred freely between the voting delegate and alternates, but *only* between the voting delegate and alternates. If the voting delegate and alternates find themselves unable to attend the Business Meeting, they may *not* transfer the voting card to another city official.
- **Seating Protocol during General Assembly.** At the Business Meeting, individuals with the voting card will sit in a separate area. Admission to this area will be limited to those individuals with a special sticker on their name badge identifying them as a voting delegate or alternate. If the voting delegate and alternates wish to sit together, they must sign in at the Voting Delegate Desk and obtain the special sticker on their badges.

The Voting Delegate Desk, located in the conference registration area of the San Jose Convention Center, will be open at the following times: Wednesday, September 30, 8:00 a.m. – 6:00 p.m.; Thursday, October 1, 7:00 a.m. – 4:00 p.m.; and Friday, October 2, 7:30–10:00 a.m. The Voting Delegate Desk will also be open at the Business Meeting on Friday, but will be closed during roll calls and voting.

The voting procedures that will be used at the conference are attached to this memo. Please share these procedures and this memo with your council and especially with the individuals that your council designates as your city's voting delegate and alternates.

Once again, thank you for completing the voting delegate and alternate form and returning it to the League office by Friday, September 18. If you have questions, please call Kayla Gibson at (916) 658-8247.

**Attachments:**

- 2015 Annual Conference Voting Procedures
- Voting Delegate/Alternate Form

## **Annual Conference Voting Procedures 2015 Annual Conference**

1. **One City One Vote.** Each member city has a right to cast one vote on matters pertaining to League policy.
2. **Designating a City Voting Representative.** Prior to the Annual Conference, each city council may designate a voting delegate and up to two alternates; these individuals are identified on the Voting Delegate Form provided to the League Credentials Committee.
3. **Registering with the Credentials Committee.** The voting delegate, or alternates, may pick up the city's voting card at the Voting Delegate Desk in the conference registration area. Voting delegates and alternates must sign in at the Voting Delegate Desk. Here they will receive a special sticker on their name badge and thus be admitted to the voting area at the Business Meeting.
4. **Signing Initiated Resolution Petitions.** Only those individuals who are voting delegates (or alternates), and who have picked up their city's voting card by providing a signature to the Credentials Committee at the Voting Delegate Desk, may sign petitions to initiate a resolution.
5. **Voting.** To cast the city's vote, a city official must have in his or her possession the city's voting card and be registered with the Credentials Committee. The voting card may be transferred freely between the voting delegate and alternates, but may not be transferred to another city official who is neither a voting delegate or alternate.
6. **Voting Area at Business Meeting.** At the Business Meeting, individuals with a voting card will sit in a designated area. Admission will be limited to those individuals with a special sticker on their name badge identifying them as a voting delegate or alternate.
7. **Resolving Disputes.** In case of dispute, the Credentials Committee will determine the validity of signatures on petitioned resolutions and the right of a city official to vote at the Business Meeting.