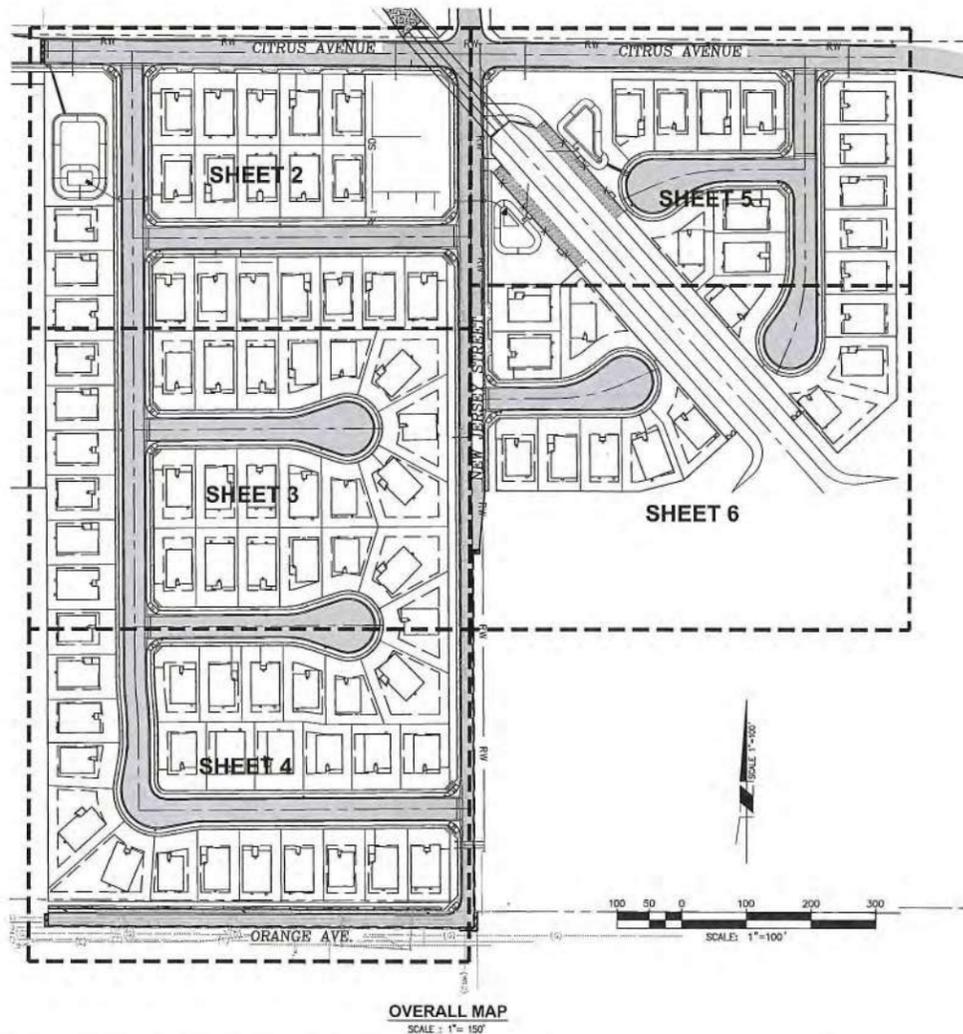
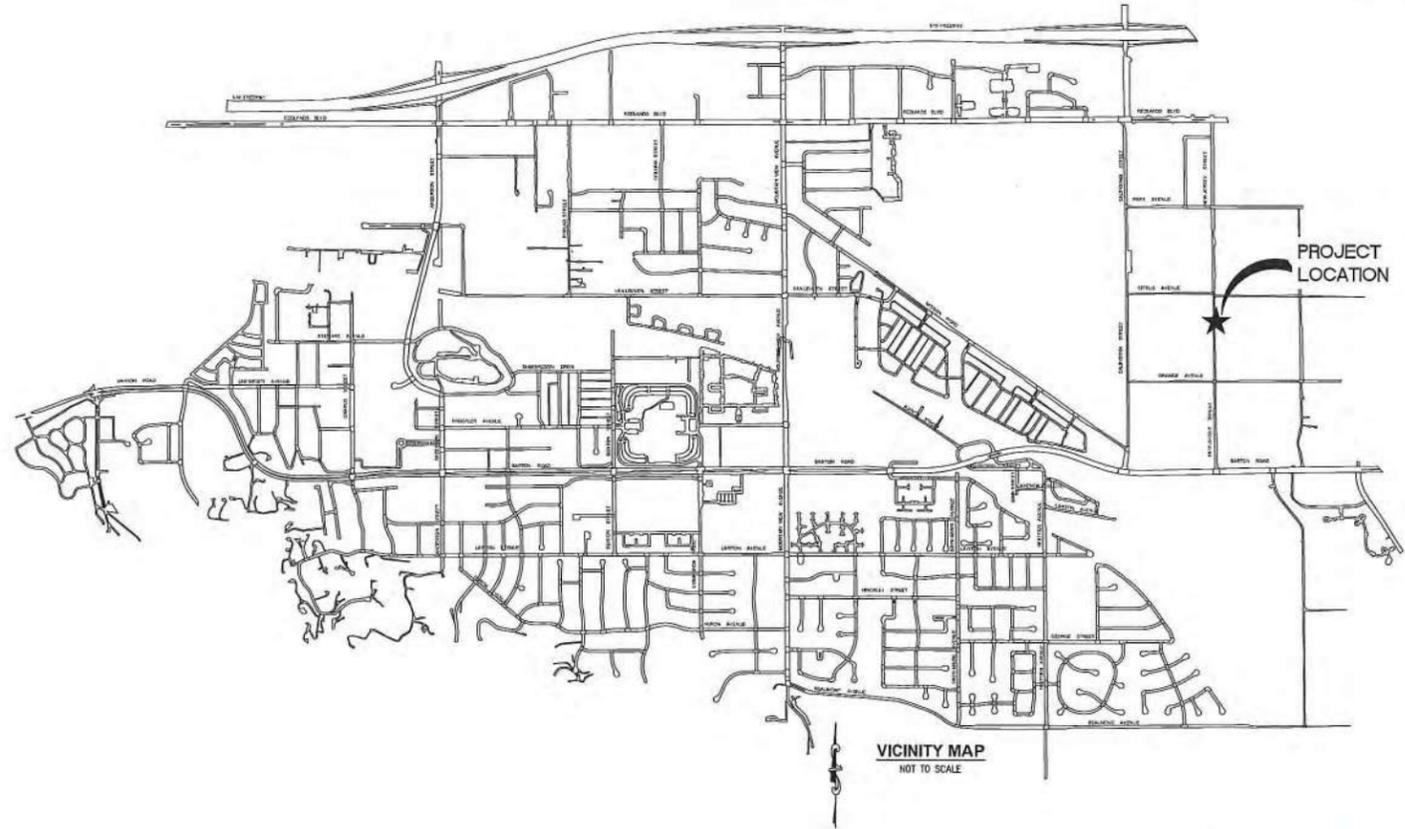


CITY OF LOMA LINDA

SITE PLAN FOR KB HOME - CITRUS GLEN TRACT NO. 19963 PPD 17-163

Environmental Permits Secured for the Morrey Arroyo Channel Construction

401 Certification (Regional Water Quality Control Board) Dated Aug. 25, 2017
 404 Nationwide Permit Verification (US Army Corp of Engineers) Dated Feb. 6, 2018
 1602 Notice to Proceed (California Department of Fish & Wildlife) Dated Sept 28, 2017



LEGEND AND ABBREVIATIONS

	ASPHALT CONCRETE
	CONCRETE SIDEWALK
	PROPERTY LINE
	CENTERLINE
	CURB AND GUTTER
	EDGE OF GRADING
	SAW CUT LIMIT
	PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL
	PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL W/ RETAINING
	PROPOSED MINIMAL 6' VINYL WALL
	PROPOSED MINIMAL 6' CHAIN LINK FENCE
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED SEWER LINE
	EXISTING ELECTRICAL
	EXISTING DOMESTIC WATER
	EXISTING SANITARY SEWER
	EXISTING MANHOLE
	EXISTING POWER POLE
	EXISTING TREE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED RESIDENTIAL DRIVEWAY
	PROPOSED SITE BMPs
	BEGN CURB RETURN
	END CURB RETURN
	TOP OF CURB
	FINISHED SURFACE
	FLOW LINE
	FINISHED GRADE
	RIGHT OF WAY
	EXISTING OVER HEAD LINE
	CURB AND GUTTER
	ASPHALT CONCRETE
	AGGREGATE BASE
	FINISH FLOOR ELEVATION

GENERAL NOTES

ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE LOMA LINDA MUNICIPAL CODE, 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA FIRE CODE (CFC), AND THE 2015 INTERNATIONAL FIRE CODE (IFC) AS ADOPTED AND AMENDED BY THE CITY OF LOMA LINDA AND LEGALLY IN EFFECT AT THE TIME OF ISSUANCE OF BUILDING PERMITS.

PROJECT WILL COMPLY WITH THE LOMA LINDA CONNECTED COMMUNITY PROGRAM (LCCP) AND EACH RESIDENCE WILL BE EQUIPPED WITH CITY'S NEW FIBER-OPTICS INTERFACE AND COPPER CARLING. PLANS FOR THE LOCATION OF THE INFRASTRUCTURE SHALL BE PROVIDED WITH THE PRECISE GRADING PLANS AND REVIEWED AND APPROVED BY THE CITY OF LOMA LINDA PRIOR TO ISSUING GRADING PERMITS. (PLEASE NOTE, OTHER VENDORS AND WRING PLANS CAN OPTIONALLY BE INSTALLED, PROVIDED THE BUILDING MEETS THE MINIMUM CODE REQUIREMENTS. LCCP CAN BE FOUND AT FOLLOWING LINK: [HTTP://WWW.LOMALINDA-CA.GOV/ASP/SITE/LCCP/ABOUTLCCP/INTRODUCTION/INDEX.ASP](http://www.lomalinda-ca.gov/asp/site/lccp/aboutlccp/introduction/index.asp))

LEGAL DESCRIPTION

PARCEL NO. 1:
 THE EAST ONE-HALF OF BLOCK 2, BARTON RANCH, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 19 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY,
 EXCEPTING THEREFROM THE SOUTH 419.50 FEET THEREOF.

PARCEL NO. 2:
 A PORTION OF THE SOUTHEAST ONE-QUARTER OF BLOCK 2, BARTON RANCH, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 19 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF ORANGE AVENUE AND NEW JERSEY STREET; THENCE ALONG THE NORTH LINE OF ORANGE AVENUE WESTERLY 622.60 FEET TO THE WEST LINE OF THE SOUTHEAST ONE-QUARTER OF BLOCK 2; THENCE ALONG SAID WEST LINE NORTHERLY 419.50 FEET; THENCE EASTERLY 622.40 FEET TO THE WEST LINE OF NEW JERSEY STREET; THENCE ALONG SAID WEST LINE OF NEW JERSEY STREET SOUTHERLY, 418.62 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 3:
 THE NORTH ONE-HALF OF THE WEST ONE-HALF OF LOT OF BLOCK 6 OF BARTON RANCH, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 19 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 0292-161-02-0-000, 0292-161-03-0-000 and 0292-163-08-0-000

ASSESSOR'S PARCEL NUMBERS

APN: 0292-161-02-0-000 (AFFECTS PARCEL 1)
 APN: 0292-161-03-0-000 (AFFECTS PARCEL 2)
 APN: 0292-163-08-0-000 (AFFECTS PARCEL 3)

NOTE:

A PERMIT WILL BE OBTAINED FROM SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT FOR IMPROVEMENTS IN THE MORREY ARROYO CHANNEL.

Approved by City of Loma Linda
 Community Development Department
 Signed *Jorena Matamala-Plaza*
 Date 3/7/18 at PC mtg
 Approved with added
 road and grading
 conditions. See COA's

APPLICANT/DEVELOPER

KB HOME
 38310 INLAND VALLEY DR
 WILDOMAR, CA 92504

CIVIL ENGINEER
 MICHAEL BAKER INTERNATIONAL
 3536 CONCORDS SUITE 100
 OAKLAND, CA 94612
 ATTN: ANGEL CESAR, P.E.

SITE INFORMATION

EXISTING ZONING: SINGLE-FAMILY RESIDENTIAL (R-1)
 GENERAL PLAN DESIGNATION: LOW DENSITY RESIDENTIAL

EXISTING BUILDINGS: N/A
 PROPOSED BUILDINGS: 95 SINGLE FAMILY RESIDENTIAL

NET PROPERTY ACREAGE: 49.9 ACRES
 PERCENTAGE OF LOT COVERAGE: N/A
 PERCENTAGE OF LANDSCAPING: TBD

BUILDING OCCUPANCY CODE:
 CONSTRUCTION TYPE:

SHEET INDEX

SHEET TITLE	SHEET NO.
SITE PLAN - TITLE SHEET	1
SITE PLAN - 20 SCALE	2
SITE PLAN - 20 SCALE	3
SITE PLAN - 20 SCALE	4
SITE PLAN - 20 SCALE	5
SITE PLAN - 20 SCALE	6

DESIGNED BY: WS	DRAWN BY: WS	CHECKED BY: AC
DATE: 2018-02-26	N.C.E.: 8722	DATE: BY: REVISIONS:

REVISIONS:	APPROVED:
T. JARR THAIPEER R.C.E. 47807 DIRECTOR OF PUBLIC WORKS CITY ENGINEER	DATE:

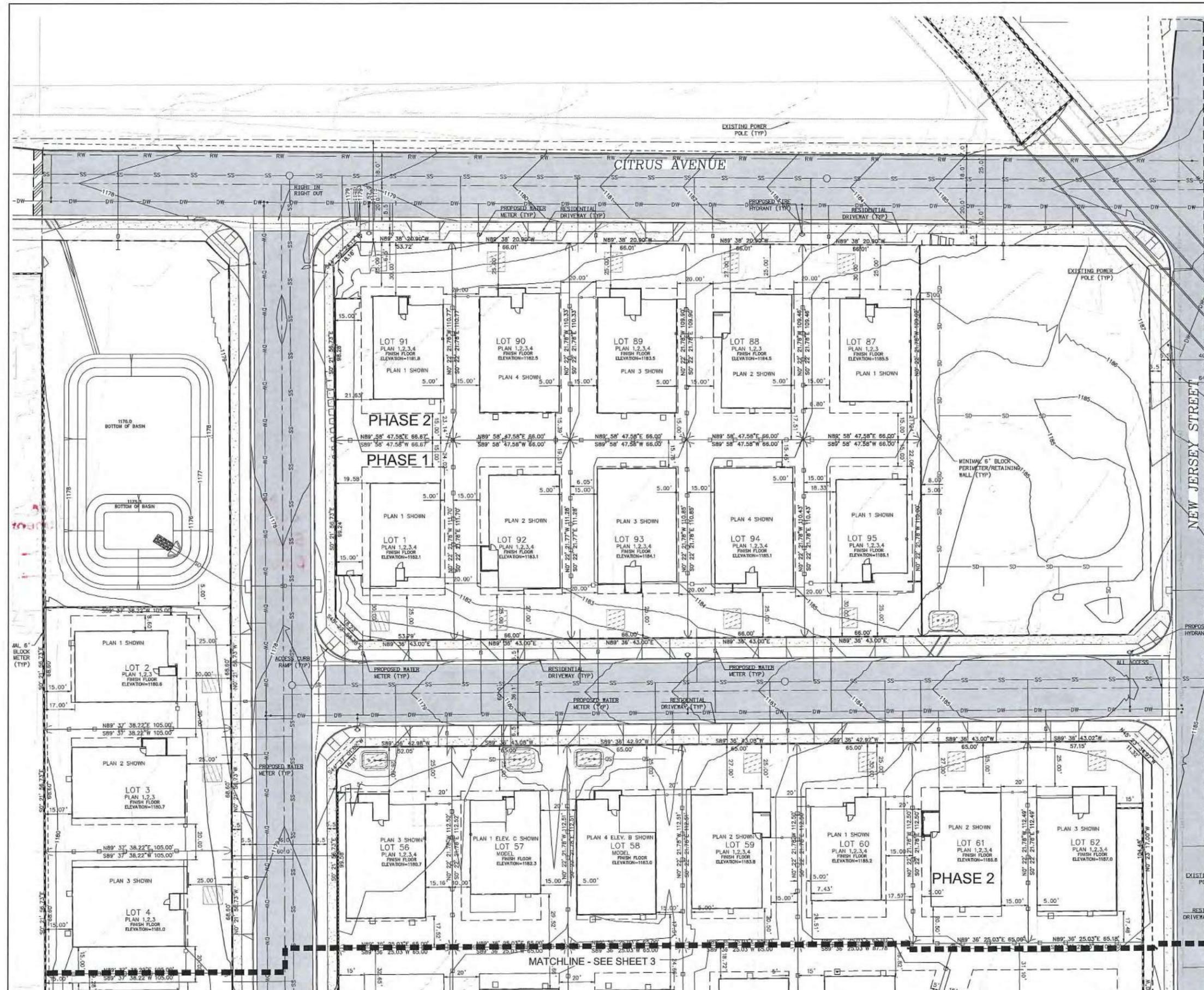
Michael Baker International
 3536 CONCORDS ST., SUITE 100
 OAKLAND, CA 94612

CITY OF LOMA LINDA
 KB HOME - CITRUS GLEN
 SITE PLAN
 SITE PLAN - TITLE SHEET

LEGEND AND ABBREVIATIONS

-  ASPHALT CONCRETE
-  CONCRETE SIDEWALK
-  PROPERTY LINE
-  CENTERLINE
-  CURB AND GUTTER
-  EDGE OF GRADING
-  SAW CUT LIMIT
-  PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL
-  PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL W/ RETAINING
-  PROPOSED MINIMAL 6' VINYL WALL
-  PROPOSED MINIMAL 6' CHAIN LINK FENCE
-  PROPOSED WATER LINE
-  PROPOSED STORM DRAIN
-  PROPOSED SEWER LINE
-  EXISTING ELECTRICAL
-  EXISTING DOMESTIC WATER
-  EXISTING SANITARY SEWER
-  EXISTING MANHOLE
-  EXISTING POWER POLE
-  EXISTING TREE
-  PROPOSED FIRE HYDRANT
-  PROPOSED WATER METER
-  PROPOSED RESIDENTIAL DRIVEWAY
-  PROPOSED SITE BMPs

- BCR BEGIN CURB RETURN
- EGR END CURB RETURN
- TC TOP OF CURB
- FS FINISHED SURFACE
- FL FLOW LINE
- FG FINISHED GRADE
- ROW RIGHT OF WAY
- EX EXISTING
- OW OVER HEAD LINE
- CG CURB AND GUTTER
- AC ASPHALT CONCRETE
- AB AGGREGATE BASE
- FF FINISH FLOOR ELEVATION



DESIGNED BY: YIS	DRAWN BY: AC	CHECKED BY:
DATE: 02/19/2025	R.C.E. 07222	

NO.	DATE	DESCRIPTION
1	02/19/2025	ISSUED FOR PERMIT

APPROVED: T. JARR THOMPSON, R.C.E. 47907, DIRECTOR OF PUBLIC WORKS / CITY ENGINEER

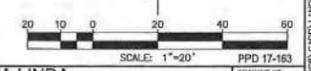
Michael Baker INTERNATIONAL
3536 CONOURS ST., SUITE 100
ONTARIO, CA 91764



- LEGEND AND ABBREVIATIONS**
- ASPHALT CONCRETE
 - CONCRETE SIDEWALK
 - PROPERTY LINE
 - CENTERLINE
 - EDGE OF GRADING
 - SAW CUT LIMIT
 - PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL
 - PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL W/ RETAINING
 - PROPOSED MINIMAL 6' VINYL WALL
 - PROPOSED MINIMAL 6' CHAIN LINK FENCE
 - DW - PROPOSED WATER LINE
 - SD - PROPOSED STORM DRAIN
 - SS - PROPOSED SEWER LINE
 - (E) - EXISTING ELECTRICAL
 - (W) - EXISTING DOMESTIC WATER
 - (S) - EXISTING SANITARY SEWER
 - (M) - EXISTING MANHOLE
 - (P) - EXISTING POWER POLE
 - (T) - EXISTING TREE
 - (FH) - PROPOSED FIRE HYDRANT
 - (WM) - PROPOSED WATER METER
 - (RD) - PROPOSED RESIDENTIAL DRIVEWAY
 - (BMP) - PROPOSED SITE BMP
 - BCR - BEGIN CURB RETURN
 - ECR - END CURB RETURN
 - TOC - TOP OF CURB
 - FS - FINISHED SURFACE
 - FL - FLOW LINE
 - FG - FINISHED GRADE
 - ROW - RIGHT OF WAY
 - EX - EXISTING OVERHEAD LINE
 - C&G - CURB AND GUTTER
 - AC - ASPHALT CONCRETE AGGREGATE BASE
 - FF - FINISH FLOOR ELEVATION

NEW JERSEY STREET

MATCHLINE - SEE SHEET 6



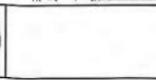
UNDERGROUND SERVICE ALERT	DESIGNED BY: WS	CHECKED BY: AC
811	DATE: 2018-02-28	R.C.E. 87222

DATE	BY	REVISIONS

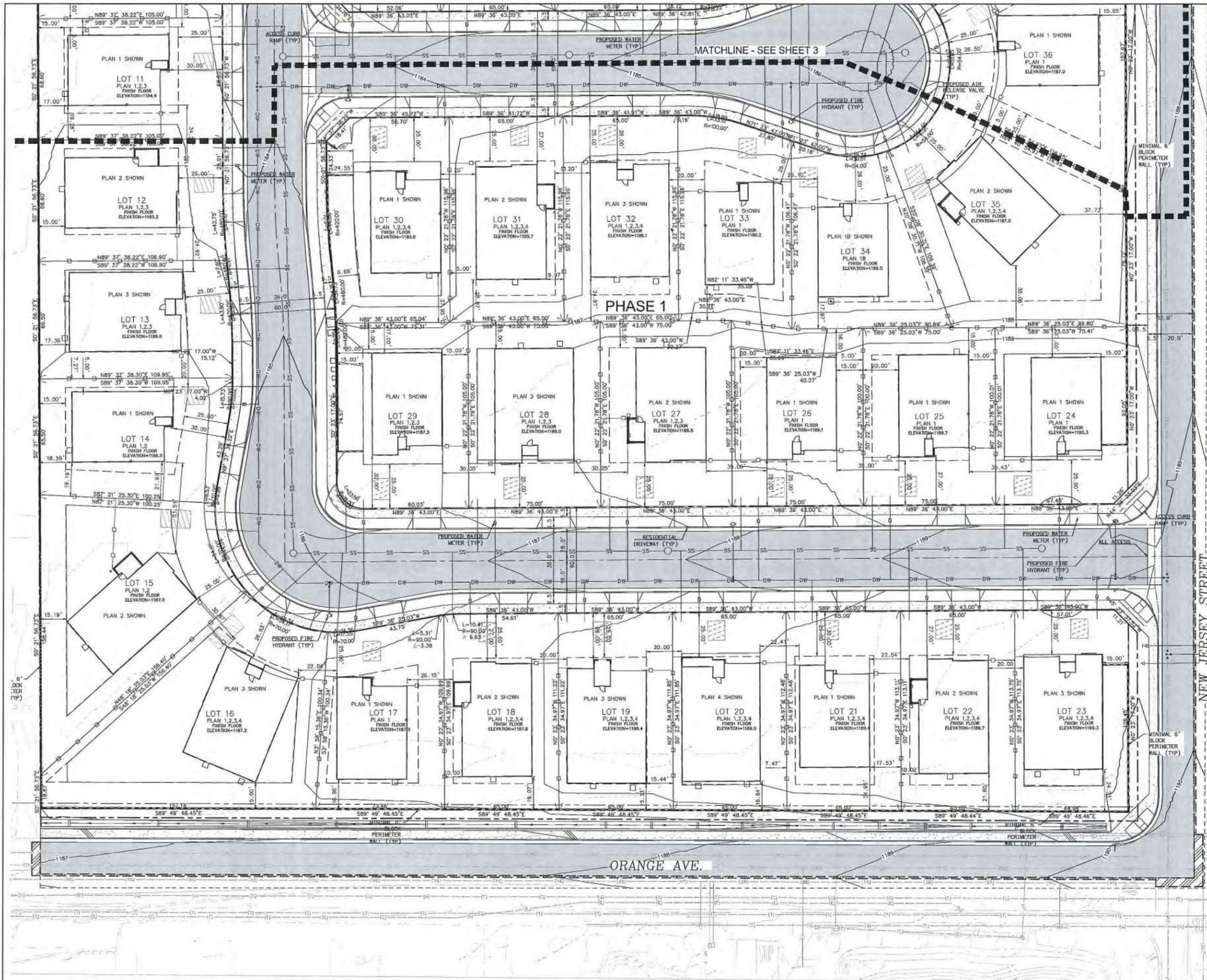
BENCH MARK: CITY OF REDDING BENCHMARK ROD
 1/4\"/>

APPROVED: T. JANE THOMPSON, R.C.E. 47007
 DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

Michael Baker INTERNATIONAL
 3536 CONCORDS ST., SUITE 100
 ONTARIO, CA 91764



CITY OF LOMA LINDA
 KB HOME - CITRUS GLEN
 SITE PLAN
 SITE PLAN - 20 SCALE



LEGEND AND ABBREVIATIONS

	ASPHALT CONCRETE
	CONCRETE SIDEWALK
	PROPERTY LINE
	CENTERLINE
	CURB AND GUTTER
	EDGE OF GRADING
	SAW CUT LIMIT
	PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL
	PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL W/ RETAINING
	PROPOSED MINIMAL 6' VINYL WALL
	PROPOSED MINIMAL 6' CHAIN LINK FENCE
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED SEWER LINE
	EXISTING ELECTRICAL
	EXISTING DOMESTIC WATER
	EXISTING SANITARY SEWER
	EXISTING MANHOLE
	EXISTING POWER POLE
	EXISTING TREE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED RESIDENTIAL DRIVEWAY
	PROPOSED SITE BMPs
	BEGIN CURB RETURN
	END CURB RETURN
	TOP OF CURB
	FINISHED SURFACE
	FLOW LINE
	RIGHT OF WAY
	EXISTING OVER HEAD LINE
	CURB AND GUTTER
	ASPHALT CONCRETE
	AGGREGATE BASE
	FINISH FLOOR ELEVATION

UNDERGROUND SERVICE ALERT
 811
 TWO WORKING DAYS BEFORE YOU DIG

DESIGNED BY: WS
 CHECKED BY: AC
 PLANS PREPARED UNDER THE SUPERVISION OF
 ANDRE CEBAR
 DATE: 2018-02-28 R.C.E. 87222

DATE	BY	REVISIONS

BOUNDARY: CITY OF RENO'S BENCHMARK R46
 5898 8th ST (10th) SOUTH END OF RENOVAL BY PHASE 1
 10th STREET NEAR INTERSECTION RENOVAL STREET AND
 11th STREET
 SCALE: 1" = 40'

APPROVED:
 T. JARV THAIPEAR R.C.E. 47907
 DIRECTOR OF PUBLIC WORKS CITY ENGINEER

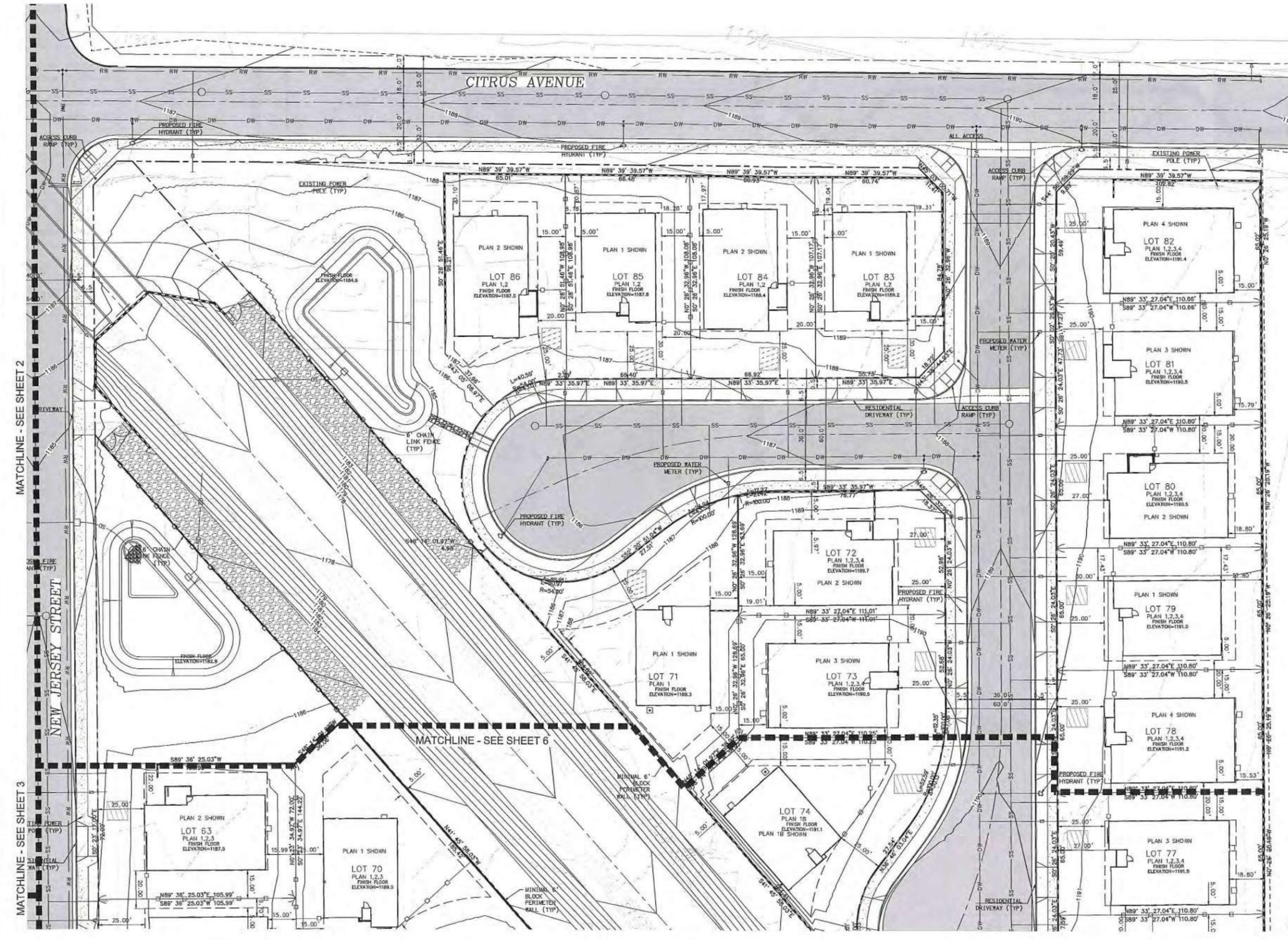
Michael Baker
 INTERNATIONAL
 3338 CONCOLURS ST., SUITE 100
 ONTARIO, GA 31764

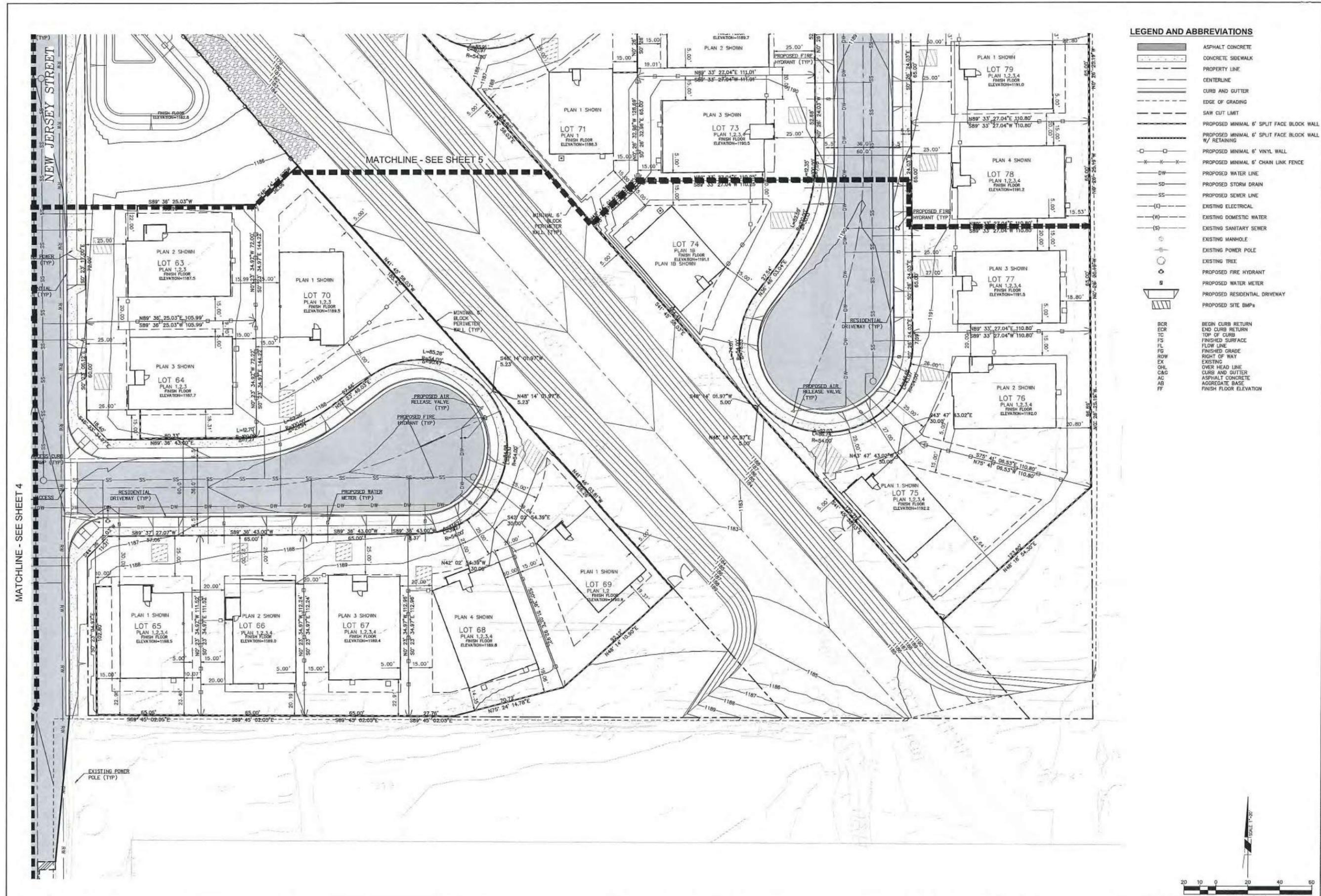
CITY OF LOMA LINDA
 KB HOME - CITRUS GLEN
 SITE PLAN
 SITE PLAN - 20 SCALE

SCALE: 1"=20'
 PPD 17-163
 SHEET NO. 4 OF 6

LEGEND AND ABBREVIATIONS

-  ASPHALT CONCRETE
-  CONCRETE SIDEWALK
-  PROPERTY LINE
-  CENTERLINE
-  CURB AND GUTTER
-  EDGE OF GRADING
-  SAW CUT LIMIT
-  PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL W/ RETAINING
-  PROPOSED MINIMAL 6' VINYL WALL
-  PROPOSED MINIMAL 6' CHAIN LINK FENCE
-  DW
-  SD
-  SS
-  (E)
-  (W)
-  (S)
-  M
-  P
-  T
-  FH
-  WM
-  RD
-  BMP
-  BCR
-  ECR
-  TC
-  FS
-  FL
-  FG
-  ROW
-  EX
-  OHL
-  C&G
-  AC
-  AB
-  FF

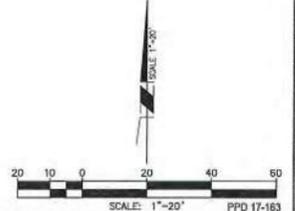




- LEGEND AND ABBREVIATIONS**
- ASPHALT CONCRETE
 - CONCRETE SIDEWALK
 - PROPERTY LINE
 - CENTERLINE
 - CURB AND GUTTER
 - EDGE OF GRADING
 - SAW CUT LIMIT
 - PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL
 - PROPOSED MINIMAL 6' SPLIT FACE BLOCK WALL W/ RETAINING
 - PROPOSED MINIMAL 6' VINYL WALL
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 - BEGIN CURB RETURN
 - END CURB RETURN
 - TOP OF CURB
 - FINISHED SURFACE
 - FLOW LINE
 - FINISHED GRADE
 - RIGHT OF WAY
 - EXISTING
 - OVER HEAD LINE
 - CURB AND GUTTER
 - ASPHALT CONCRETE
 - AGGREGATE BASE
 - FINISH FLOOR ELEVATION

MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 5





PLAN 4
'A' Italianate

PLAN 3
'B' Bungalow

PLAN 2A
'C' Prairie

PLAN 2
'A' Italianate

STREET SCENE 1

CITRUS GLEN
TRACT NO. 19963

Approved by City of Loma Linda
Community Development Department
Signed *Lorena Madamita-Planning*
Date *3/7/18* at PC mtg



KB HOME Southern California/Inland Empire
36310 Inland Valley Drive
Wildomar, CA 92595

Revised February 27, 2018



PLAN 4
'B' Bungalow

PLAN 2A
'A' Italianate

PLAN 1
'C' Prairie

PLAN 2
'B' Bungalow

STREET SCENE 2

CITRUS GLEN
TRACT NO. 19963



KB HOME Southern California/Inland Empire
36310 Inland Valley Drive
Wildomar, CA 92595

Revised February 27, 2018



PLAN 2
'C' Prairie

PLAN 1
'B' Bungalow

PLAN 4
'C' Prairie

PLAN 3
'A' Italianate

STREET SCENE 3

CITRUS GLEN
TRACT NO. 19963



KB HOME Southern California/Inland Empire
36310 Inland Valley Drive
Wildomar, CA 92595

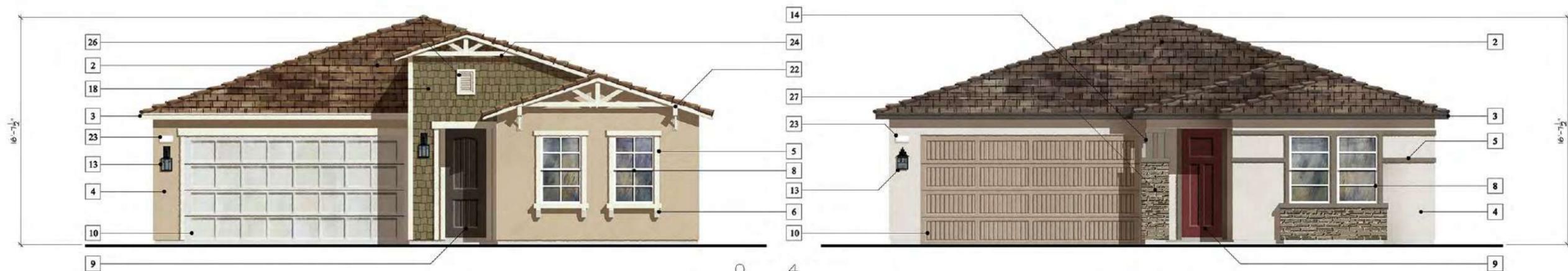
Revised February 27, 2018

ELEVATION LEGEND

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL SECTIONAL GARAGE DOOR
- 11 DECORATIVE FOAM SHUTTERS
- 12 FIBER CEMENT SIDING WITH VERTICAL BATTENS AT 16" O.C., U.N.O.
- 13 COACH LIGHTS
- 14 WOOD POST
- 15 DECORATIVE CERAMIC TILE SURROUND
- 16 STONE VENEER
- 17 FIBER CEMENT TRIM
- 18 FIBER CEMENT SHAKE SIDING
- 19 FIBER CEMENT LAP SIDING
- 20 DECORATIVE EXPOSED RAFTER TAILS
- 21 WROUGHT IRON PORCH RAIL
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 ILLUMINATED ADDRESS SIGN
- 24 GABLE END DETAIL
- 25 RECESSED GABLE END DETAIL
- 26 DECORATIVE GABLE END VENT
- 27 BRICK VENEER



Elevation 'A' (Italianate)



Elevation 'B' (Bungalow)

Elevation 'C' (Prairie)

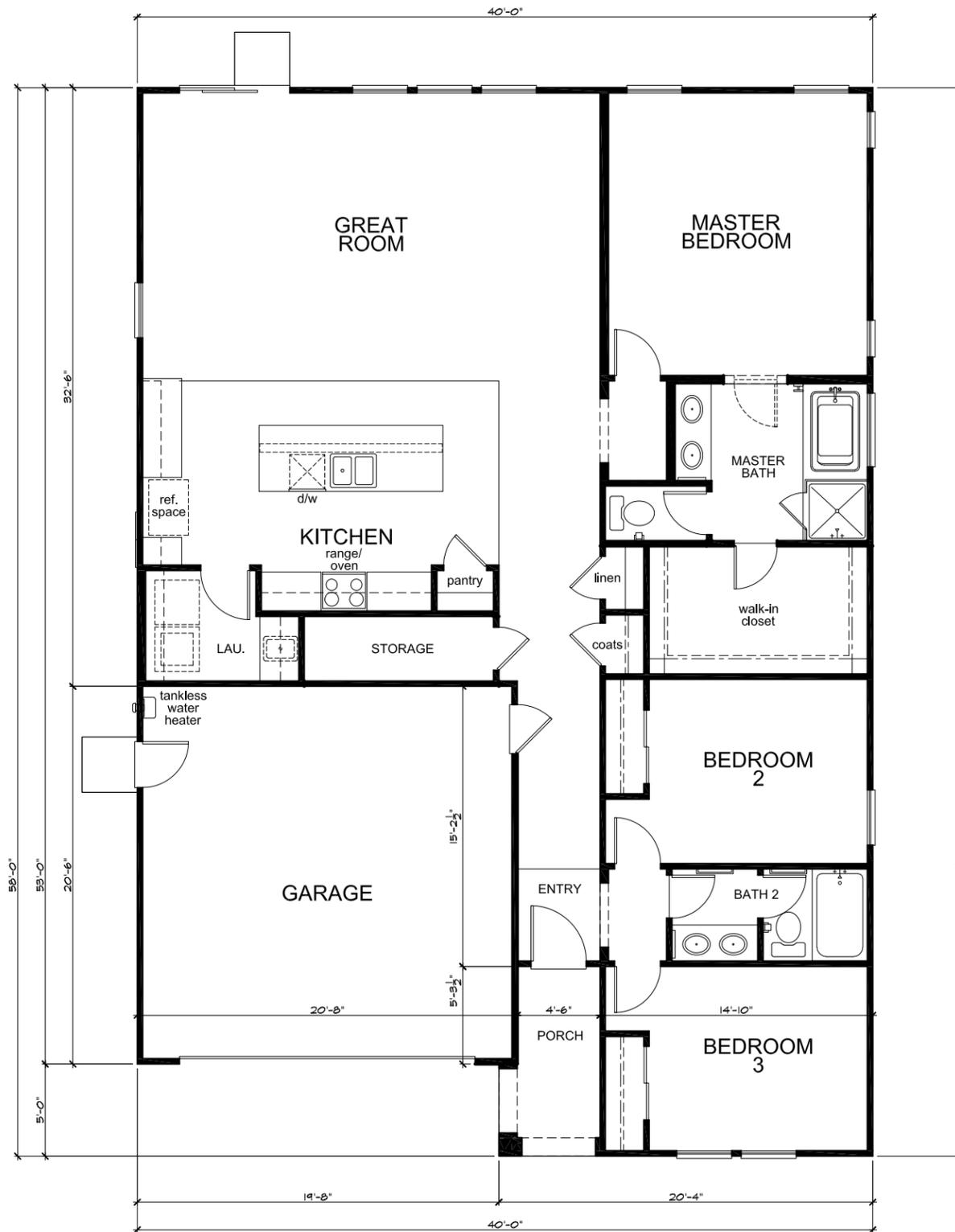


KB Home Southern California/Inland Empire
 36310 Inland Valley Drive
 Wildomar, CA 92595
 (951) 691-5300
 CITY OF LOMA LINDA

CITRUS GLEN
 TRACT NO. 19963

PLAN No. : 140.1751
 JOB No. : 350690
 STORY: 1-Story
 REV: February 22, 2018

PLAN 1



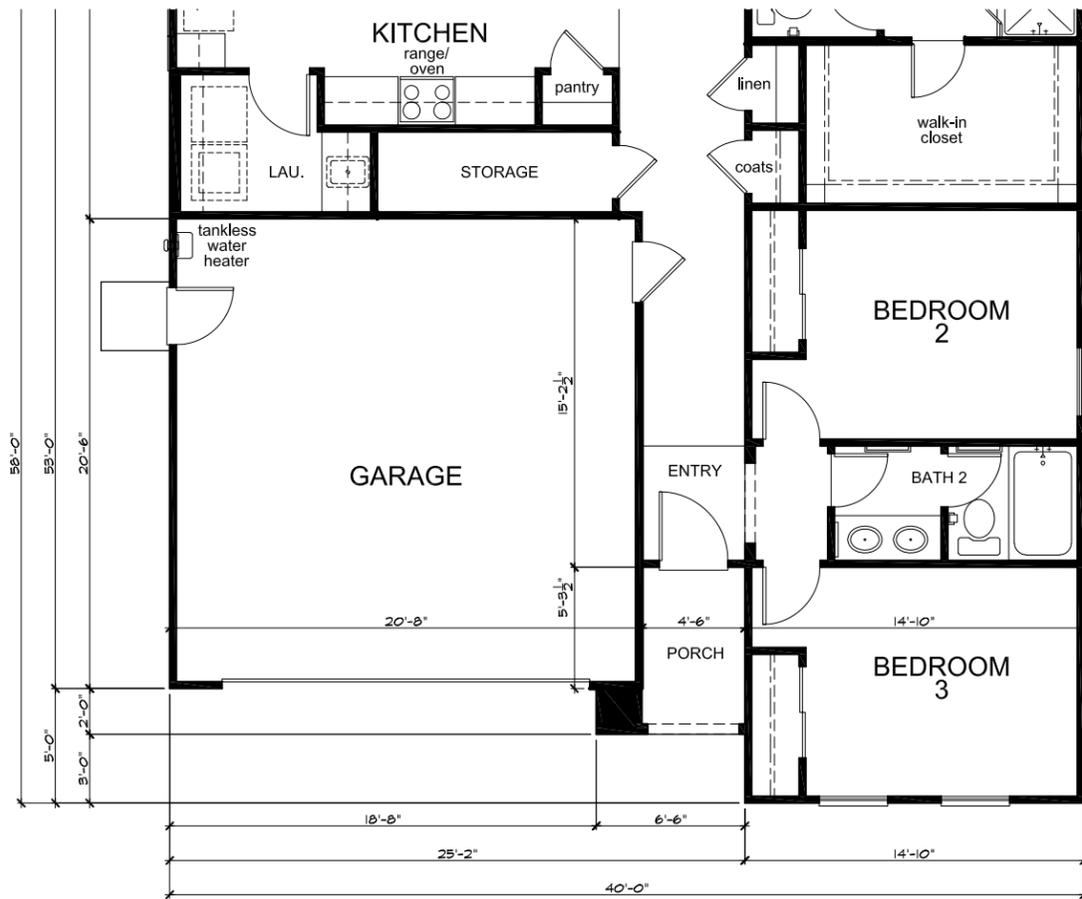
Floor Plan '1A'

SQUARE FOOTAGE			
PLAN 140.1751			
FIRST FLOOR AREA	1751		SQ. FT.
TOTAL AREA	1751		SQ. FT.
GARAGE AREA	419		SQ. FT.
PORCH AREA			
	ELEVATION 'A'	51	SQ. FT.
	ELEVATION 'B'	33	SQ. FT.
	ELEVATION 'C'	36	SQ. FT.
OPTIONS:			
COVERED PATIO	110		SQ. FT.
ENLARGED COVERED PATIO	255		SQ. FT.



PLAN 1

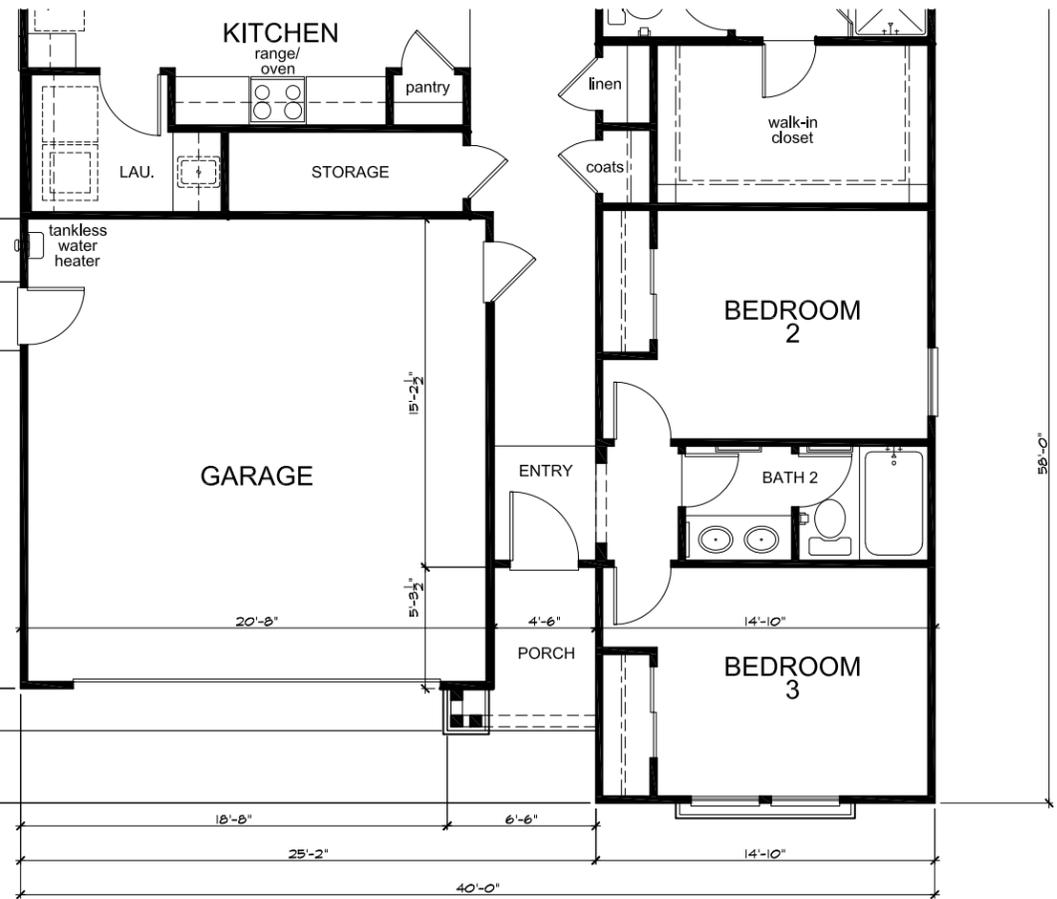




Floor Plan 'B'

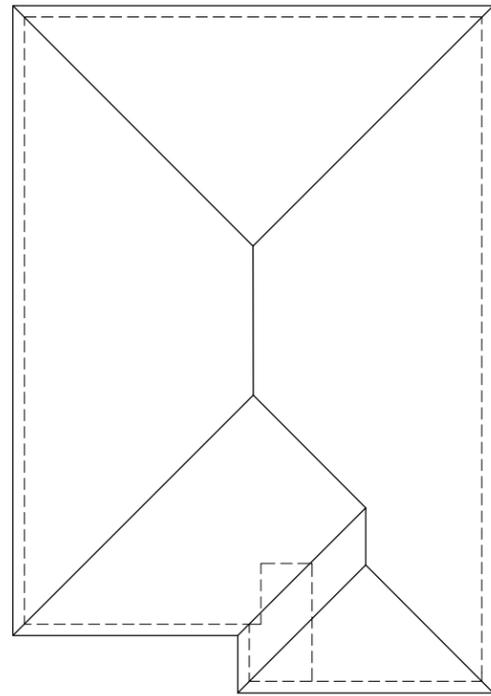


CITRUS GLEN
TRACT NO. 19963

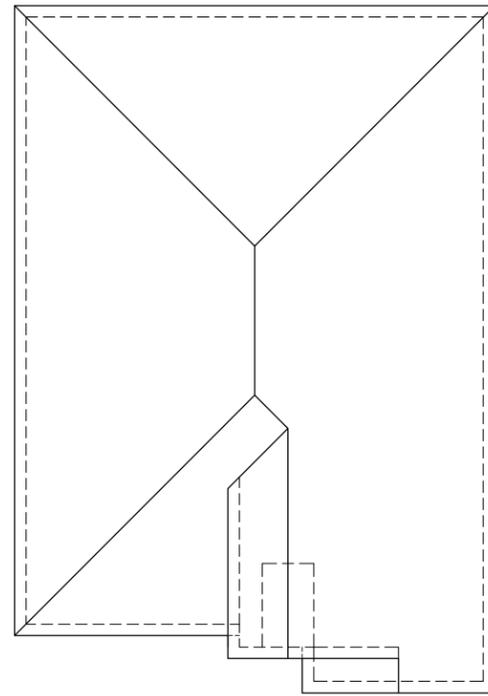


Floor Plan 'C'

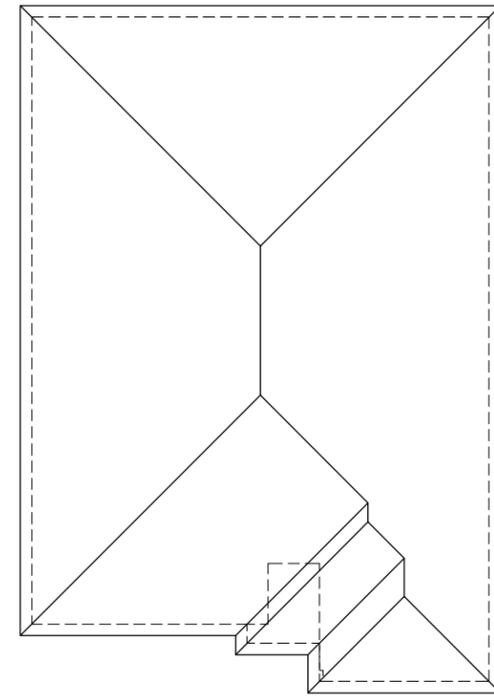




'A' Italianate
4:12

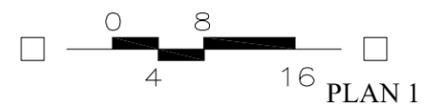


'B' Bungalow
4:12



'C' Prairie
4:12

Roof Plans



PLAN 1





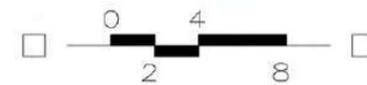
Left Elevation 'A' (Italianate)



Front Elevation 'A' (Italianate)



Right Elevation 'A' (Italianate)



Rear Elevation 'A' (Italianate)

PLAN 1



KB Home Southern California/Inland Empire
 36310 Inland Valley Drive
 Wildomar, CA 92595
 (951) 691-5300
 CITY OF LOMA LINDA

CITRUS GLEN
 TRACT NO. 19963

PLAN No. : 140.1751
 JOB No. : 350690
 STORY: 1-Story
 REV: February 22, 2018



Left Elevation 'B' (Bungalow)



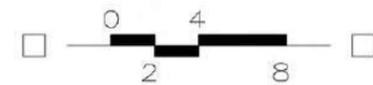
Front Elevation 'B' (Bungalow)



Right Elevation 'B' (Bungalow)



Rear Elevation 'B' (Bungalow)





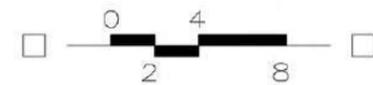
Left Elevation 'C' (Prairie)



Front Elevation 'C' (Prairie)



Right Elevation 'C' (Prairie)



Rear Elevation 'C' (Prairie)

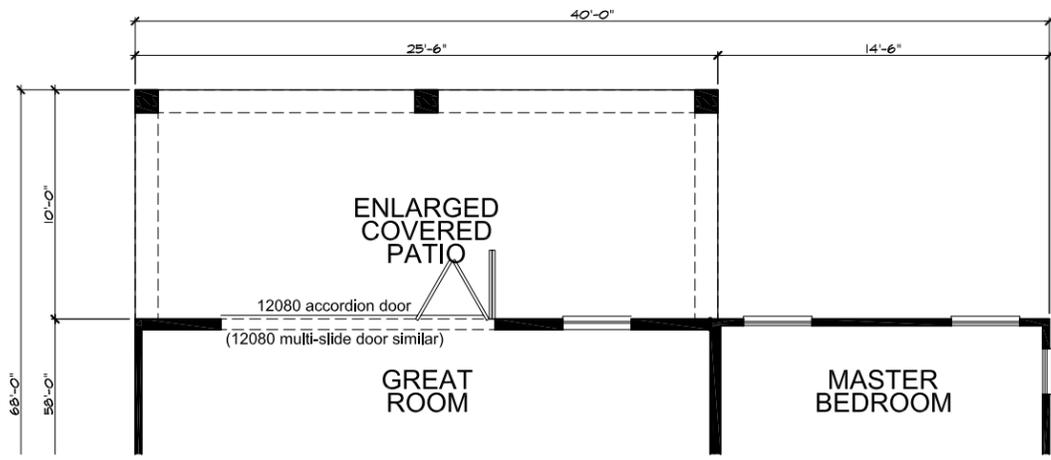
PLAN 1



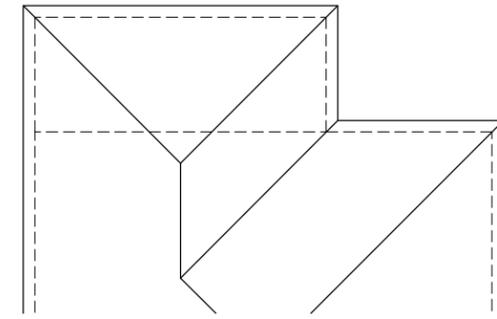
KB Home Southern California/Inland Empire
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CITRUS GLEN
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PLAN No. : 140.1751
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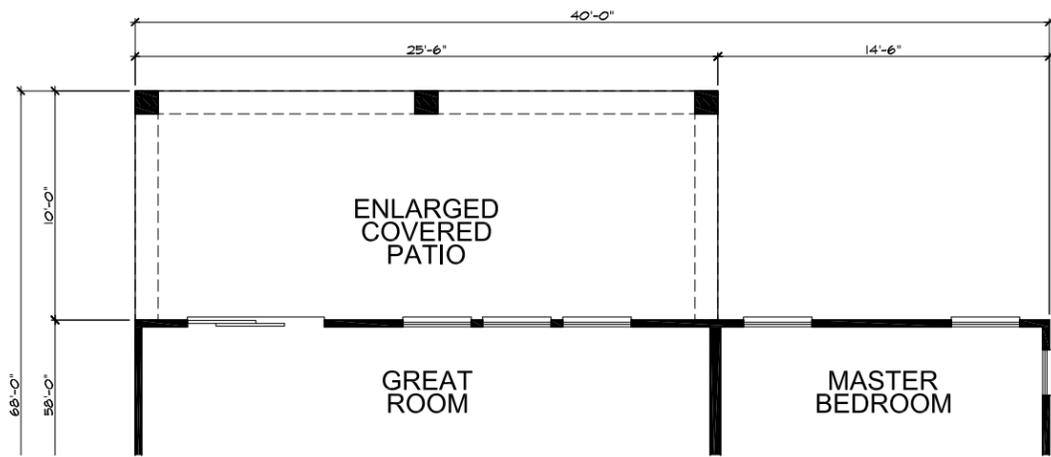


Floor Plan

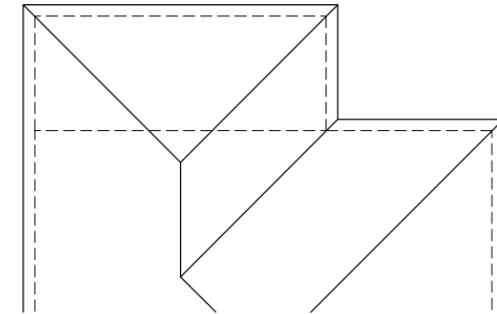


Roof Plan

Enlarged Covered Patio w/ Accordion Door

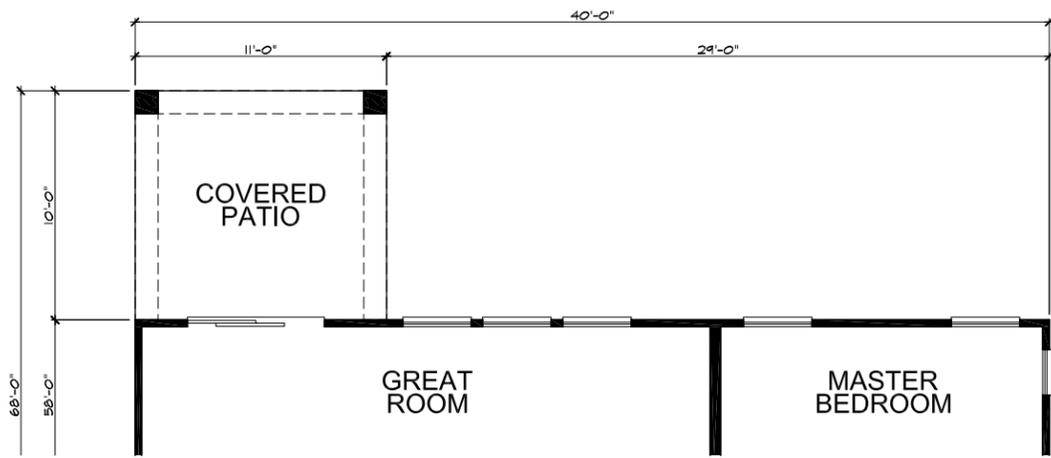


Floor Plan

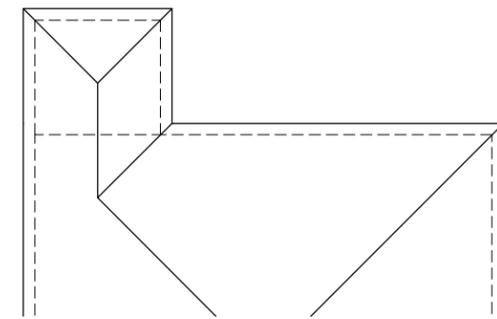


Roof Plan

Enlarged Covered Patio

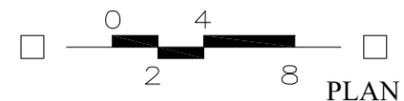


Floor Plan



Roof Plan

Covered Patio





Partial Right Elevation



Rear Elevation
Enlarged Covered Patio w/ Accordion Door



Partial Left Elevation



Partial Right Elevation



Rear Elevation
Enlarged Covered Patio



Partial Left Elevation



Partial Right Elevation



Rear Elevation
Covered Patio



Partial Left Elevation

ELEVATION LEGEND

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL SECTIONAL GARAGE DOOR
- 11 DECORATIVE FOAM SHUTTERS
- 12 FIBER CEMENT SIDING WITH VERTICAL BATTENS AT 16" O.C., U.N.O.
- 13 COACH LIGHTS
- 14 WOOD POST
- 15 DECORATIVE CERAMIC TILE SURROUND
- 16 STONE VENEER
- 17 FIBER CEMENT TRIM
- 18 FIBER CEMENT SHAKE SIDING
- 19 FIBER CEMENT LAP SIDING
- 20 DECORATIVE EXPOSED RAFTER TAILS
- 21 WROUGHT IRON PORCH RAIL
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 ILLUMINATED ADDRESS SIGN
- 24 GABLE END DETAIL
- 25 RECESSED GABLE END DETAIL
- 26 DECORATIVE GABLE END VENT
- 27 BRICK VENEER



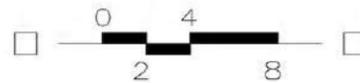
Elevation 'A' (Italianate)



Elevation 'B' (Bungalow)



Elevation 'C' (Prairie)



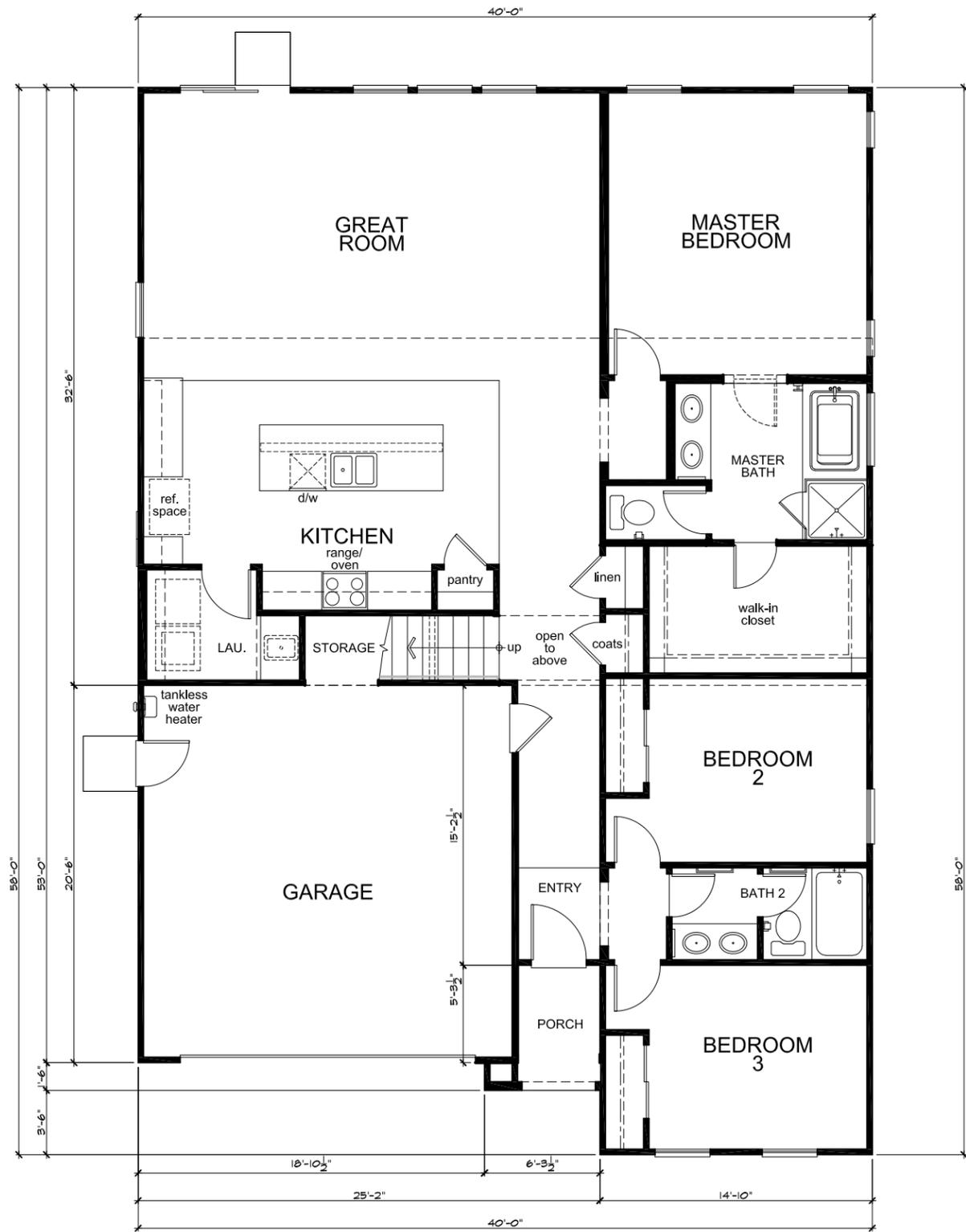
PLAN 1X



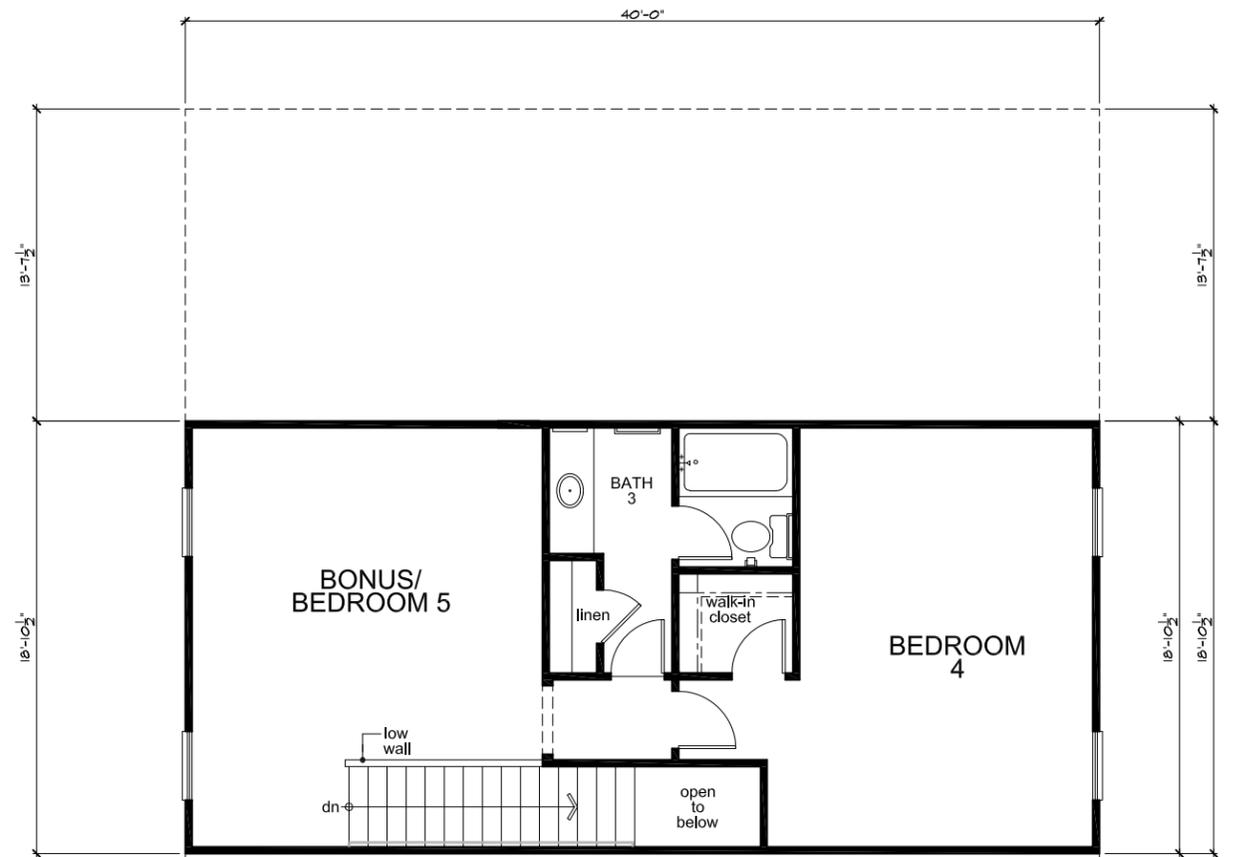
KB Home Southern California/Inland Empire
 36310 Inland Valley Drive
 Wildomar, CA 92595
 (951) 691-5300
 CITY OF LOMA LINDA

CITRUS GLEN
 OPTIONAL SECOND FLOOR (POP-TOP)

PLAN No. : 240.2435
 JOB No. : 350690
 STORY: 2-Story
 REV: February 22, 2018



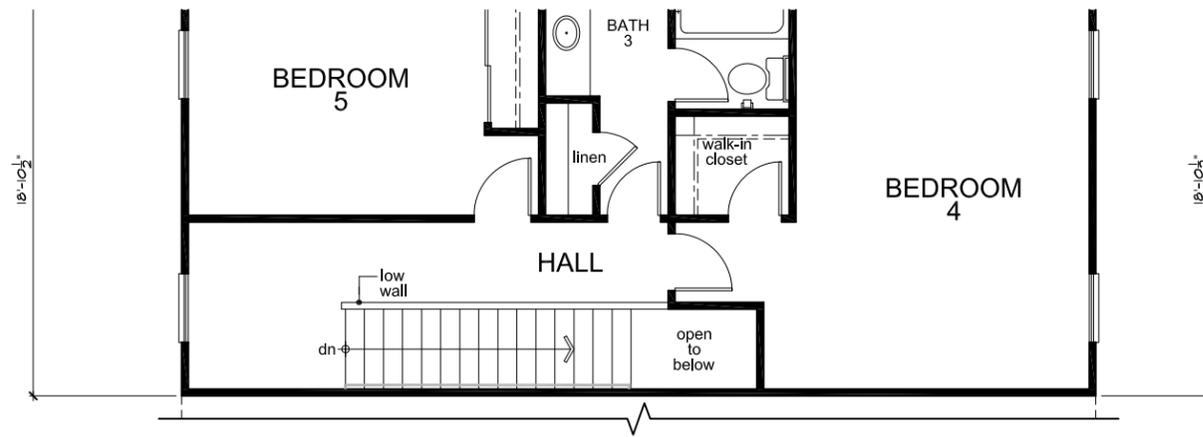
First Floor Plan 'A'



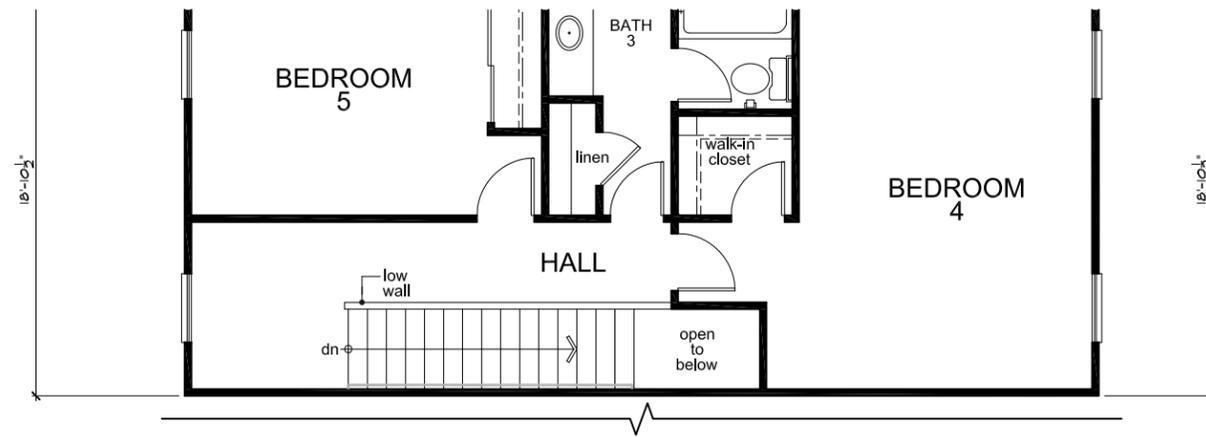
Second Floor Plan 'A'

SQUARE FOOTAGE		
PLAN 240.2435		
FIRST FLOOR AREA	1751	SQ. FT.
SECOND FLOOR AREA	684	SQ. FT.
TOTAL AREA	2435	SQ. FT.
GARAGE AREA	419	SQ. FT.
PORCH AREA	51	SQ. FT.
	ELEVATION "A"	51
	ELEVATION "B"	83
	ELEVATION "C"	96
OPTIONS:		
COVERED PATIO	110	SQ. FT.
ENLARGED COVERED PATIO	255	SQ. FT.

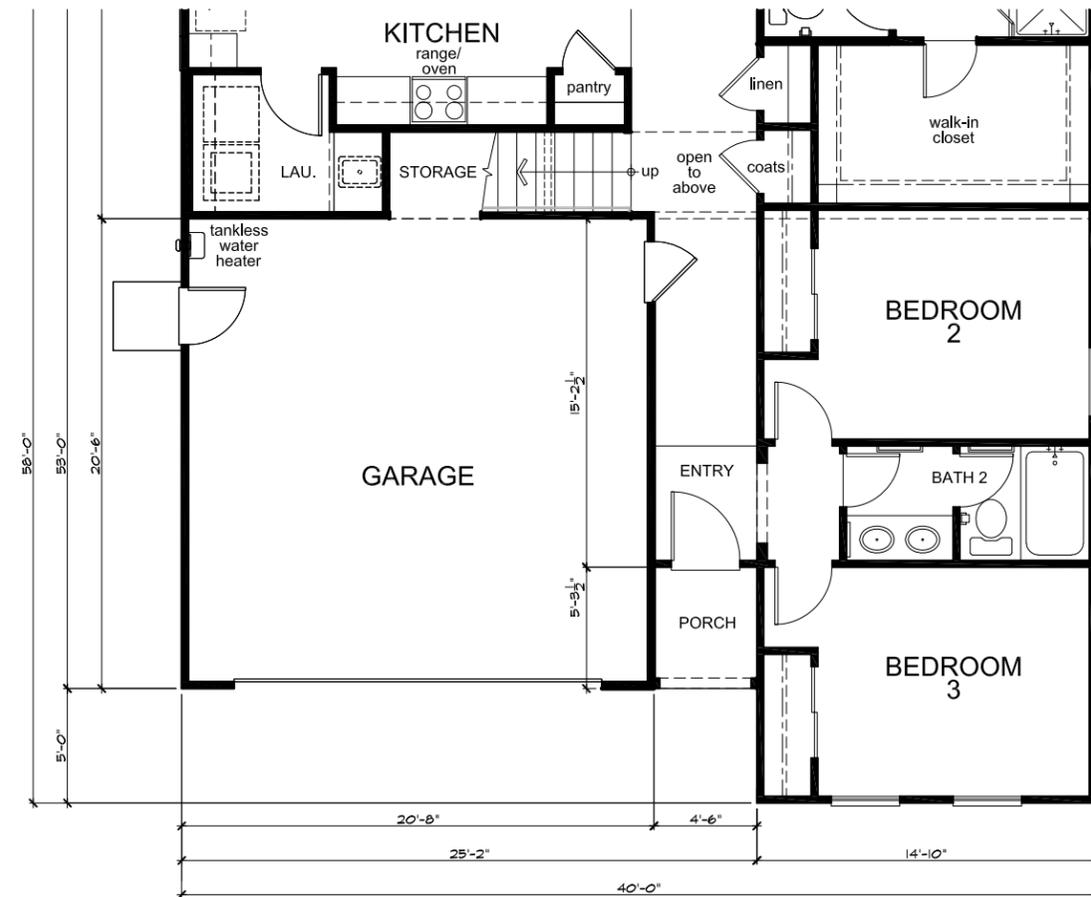




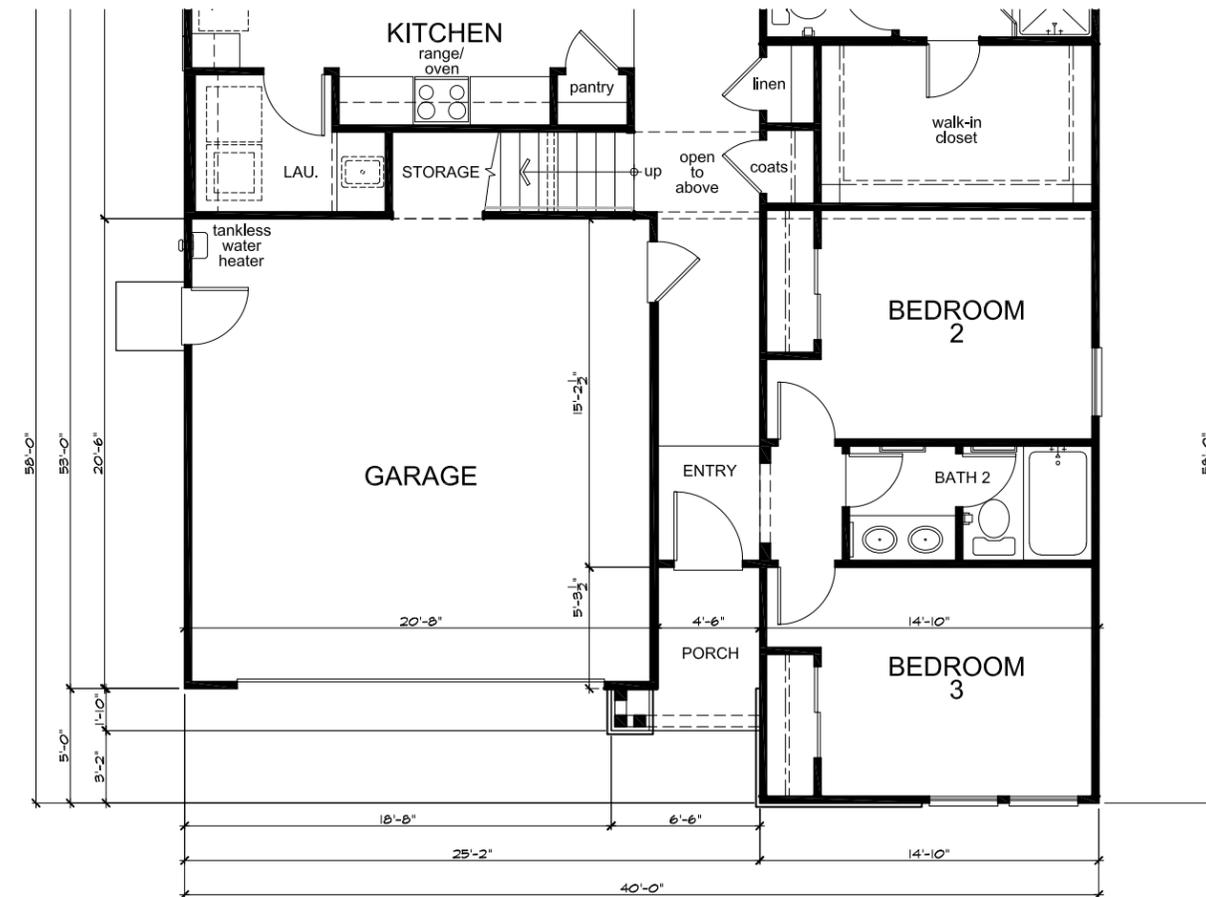
Second Floor Plan 'B'



Second Floor Plan 'C'

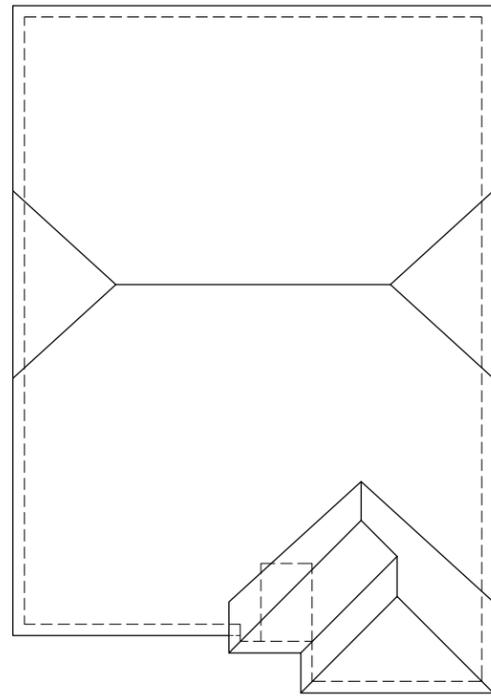


First Floor Plan 'B'

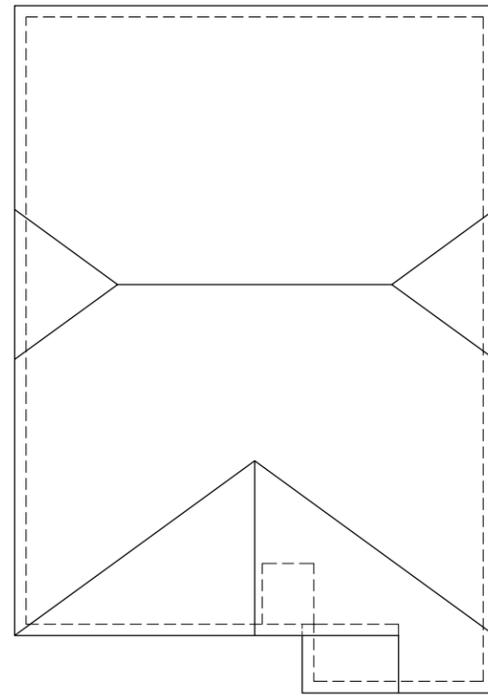


First Floor Plan 'C'

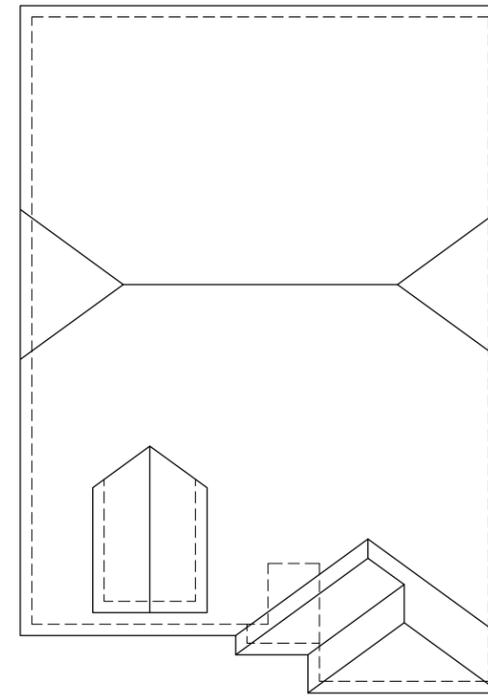




'A' Italianate
5:12 / 5.5:12

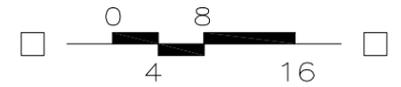


'B' Bungalow
4:12 / 5.5:12



'C' Prairie
4:12 / 5.5:12

Roof Plans



PLAN 1X





Left Elevation 'A' (Italianate)



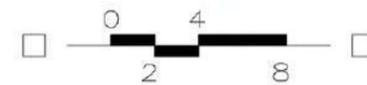
Front Elevation 'A' (Italianate)



Right Elevation 'A' (Italianate)



Rear Elevation 'A' (Italianate)





Left Elevation 'B' (Bungalow)



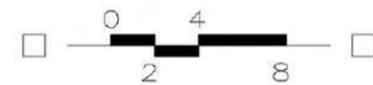
Front Elevation 'B' (Bungalow)



Right Elevation 'B' (Bungalow)



Rear Elevation 'B' (Bungalow)





Left Elevation 'C' (Prairie)



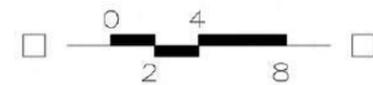
Front Elevation 'C' (Prairie)

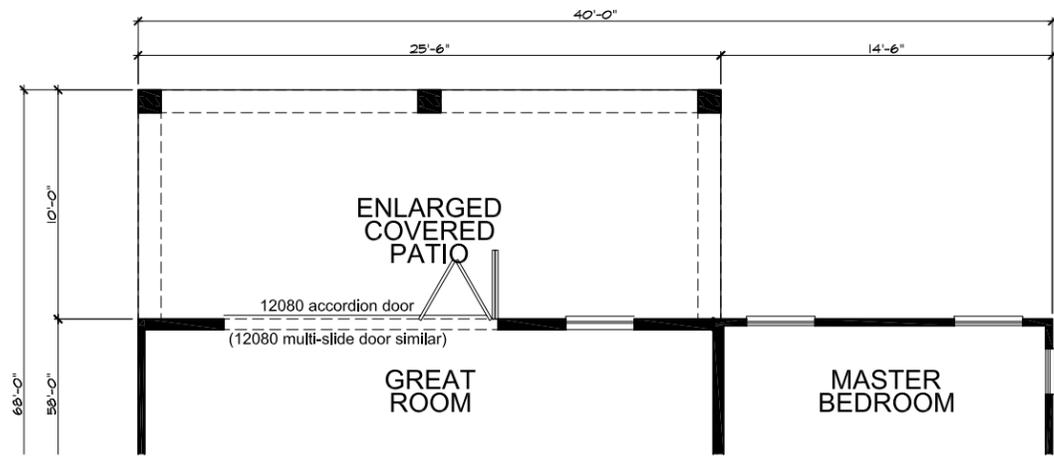


Right Elevation 'C' (Prairie)

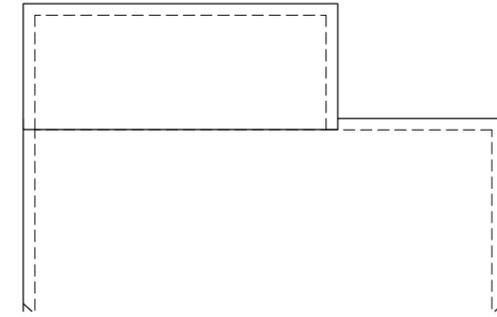


Rear Elevation 'C' (Prairie)



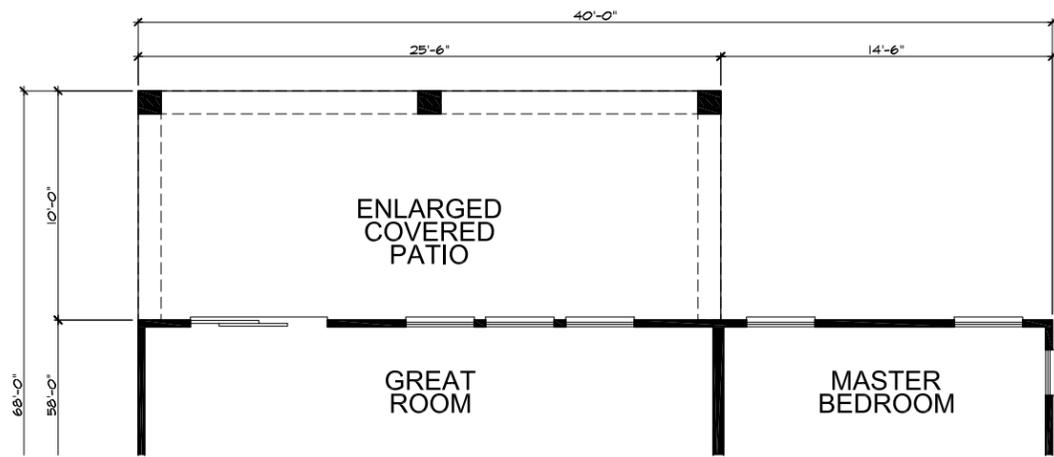


Floor Plan

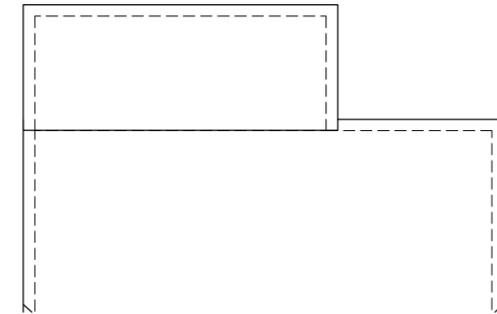


Roof Plan

Enlarged Covered Patio w/ Accordion Door

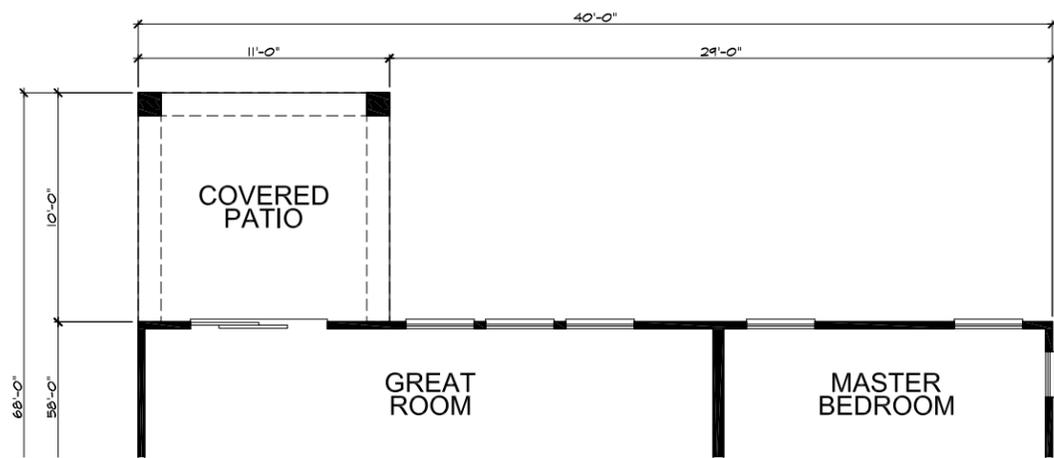


Floor Plan

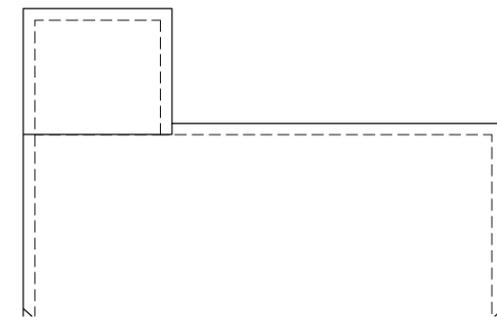


Roof Plan

Enlarged Covered Patio

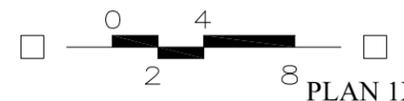


Floor Plan



Roof Plan

Covered Patio





Partial Right Elevation



Rear Elevation

Enlarged Covered Patio w/ Accordion Door



Partial Left Elevation



Partial Right Elevation



Rear Elevation

Enlarged Covered Patio



Partial Left Elevation



Partial Right Elevation



Rear Elevation

Covered Patio



Partial Left Elevation

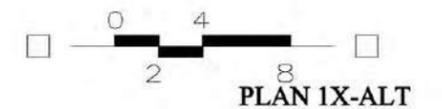
PLAN IX

ELEVATION LEGEND

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL SECTIONAL GARAGE DOOR
- 11 DECORATIVE FOAM SHUTTERS
- 12 FIBER CEMENT SIDING WITH VERTICAL BATTENS AT 16" O.C., U.N.O.
- 13 COACH LIGHTS
- 14 WOOD POST
- 15 DECORATIVE CERAMIC TILE SURROUND
- 16 STONE VENEER
- 17 FIBER CEMENT TRIM
- 18 FIBER CEMENT SHAKE SIDING
- 19 FIBER CEMENT LAP SIDING
- 20 DECORATIVE EXPOSED RAFTER TAILS
- 21 WROUGHT IRON PORCH RAIL
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 ILLUMINATED ADDRESS SIGN
- 24 GABLE END DETAIL
- 25 RECESSED GABLE END DETAIL
- 26 DECORATIVE GABLE END VENT
- 27 BRICK VENEER



Elevation 'B' (Bungalow)



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CITRUS GLEN
 TRACT NO. 19963

PLAN No. : 240.2321
 JOB No. : 350690
 STORY: 2-Story
 REV: February 22, 2018



Left Elevation 'B' (Bungalow)



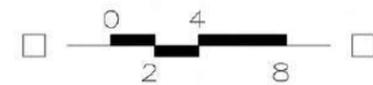
Front Elevation 'B' (Bungalow)



Right Elevation 'B' (Bungalow)



Rear Elevation 'B' (Bungalow)



ELEVATION LEGEND

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
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- 11 DECORATIVE FOAM SHUTTERS
- 12 FIBER CEMENT SIDING WITH VERTICAL BATTENS AT 16" O.C., U.N.O.
- 13 COACH LIGHTS
- 14 WOOD POST
- 15 DECORATIVE CERAMIC TILE SURROUND
- 16 STONE VENEER
- 17 FIBER CEMENT TRIM
- 18 FIBER CEMENT SHAKE SIDING
- 19 FIBER CEMENT LAP SIDING
- 20 DECORATIVE EXPOSED RAFTER TAILS
- 21 WROUGHT IRON PORCH RAIL
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 ILLUMINATED ADDRESS SIGN
- 24 GABLE END DETAIL
- 25 RECESSED GABLE END DETAIL
- 26 DECORATIVE GABLE END VENT
- 27 BRICK VENEER



Elevation 'A' (Italianate)



Elevation 'B' (Bungalow)

Elevation 'C' (Prairie)

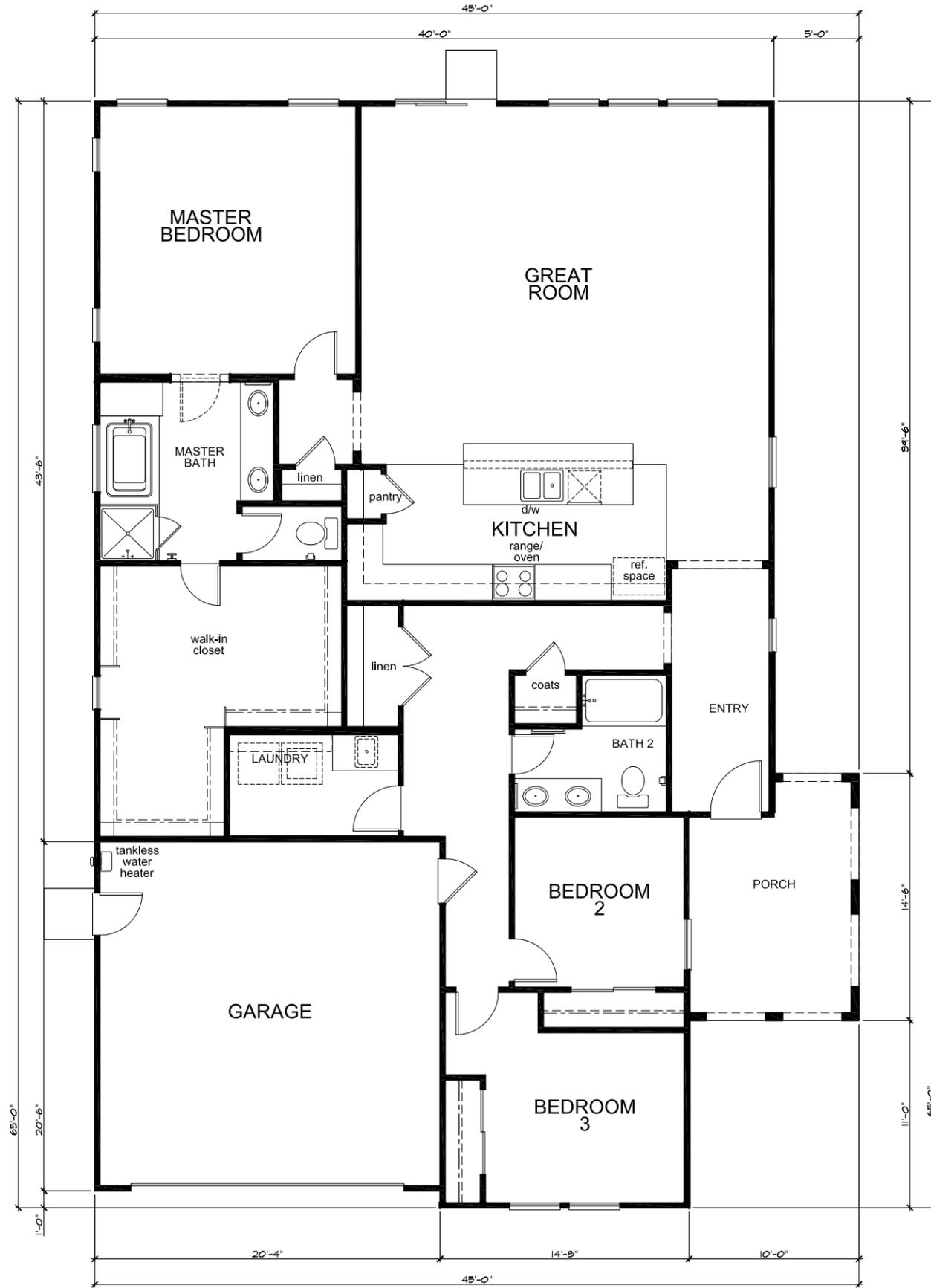
PLAN 2



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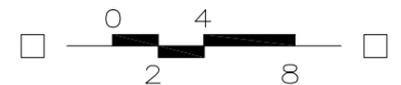
CITRUS GLEN
 TRACT NO. 19963

PLAN No. : 140.2084
 JOB No. : 350690
 STORY: 1-Story
 REV: February 22, 2018



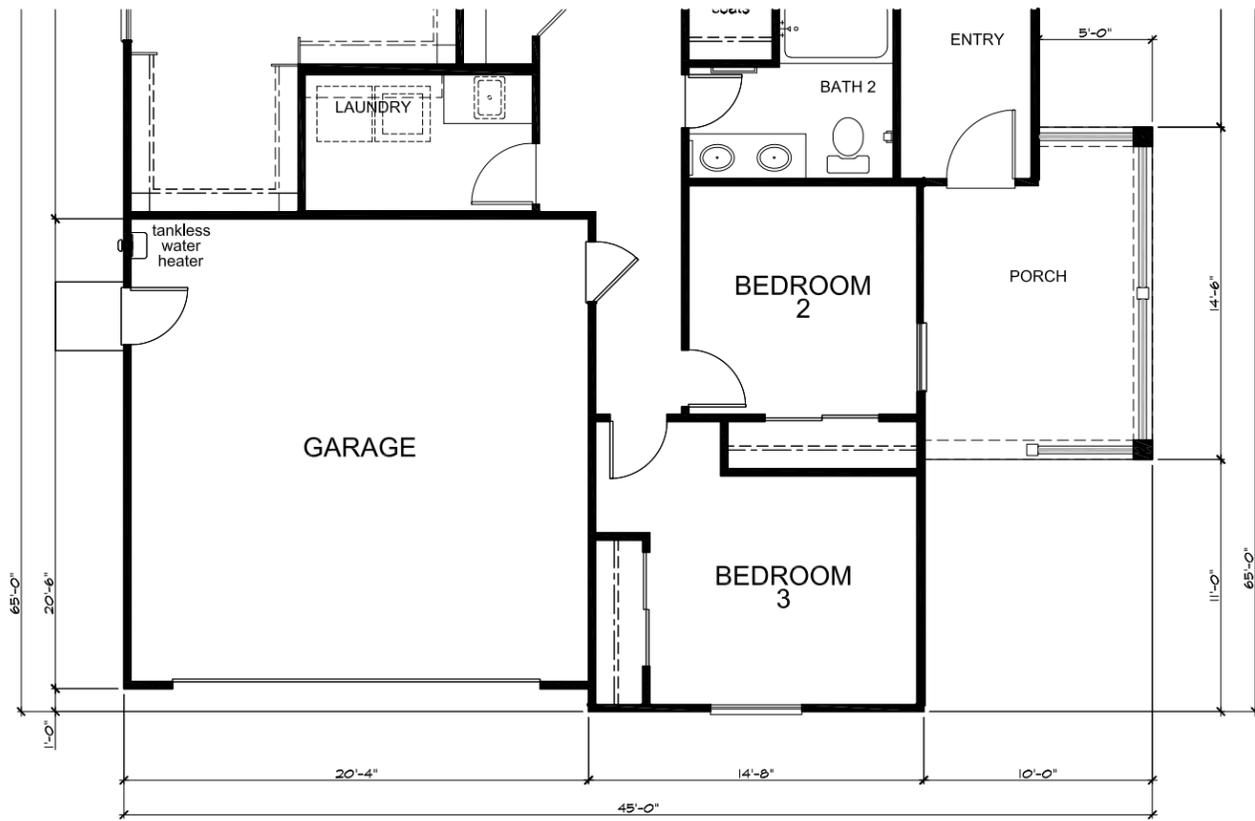
Floor Plan 'A'

SQUARE FOOTAGE			
PLAN 140.2048			
FIRST FLOOR AREA	2048	SG. FT.	
TOTAL AREA	2048	SG. FT.	
GARAGE AREA	417	SG. FT.	
PORCH AREA			
	ELEVATION 'A'	132	SG. FT.
	ELEVATION 'B'	132	SG. FT.
	ELEVATION 'C'	132	SG. FT.
OPTIONS:			
COVERED PATIO	120	SG. FT.	
ENLARGED COVERED PATIO	250	SG. FT.	

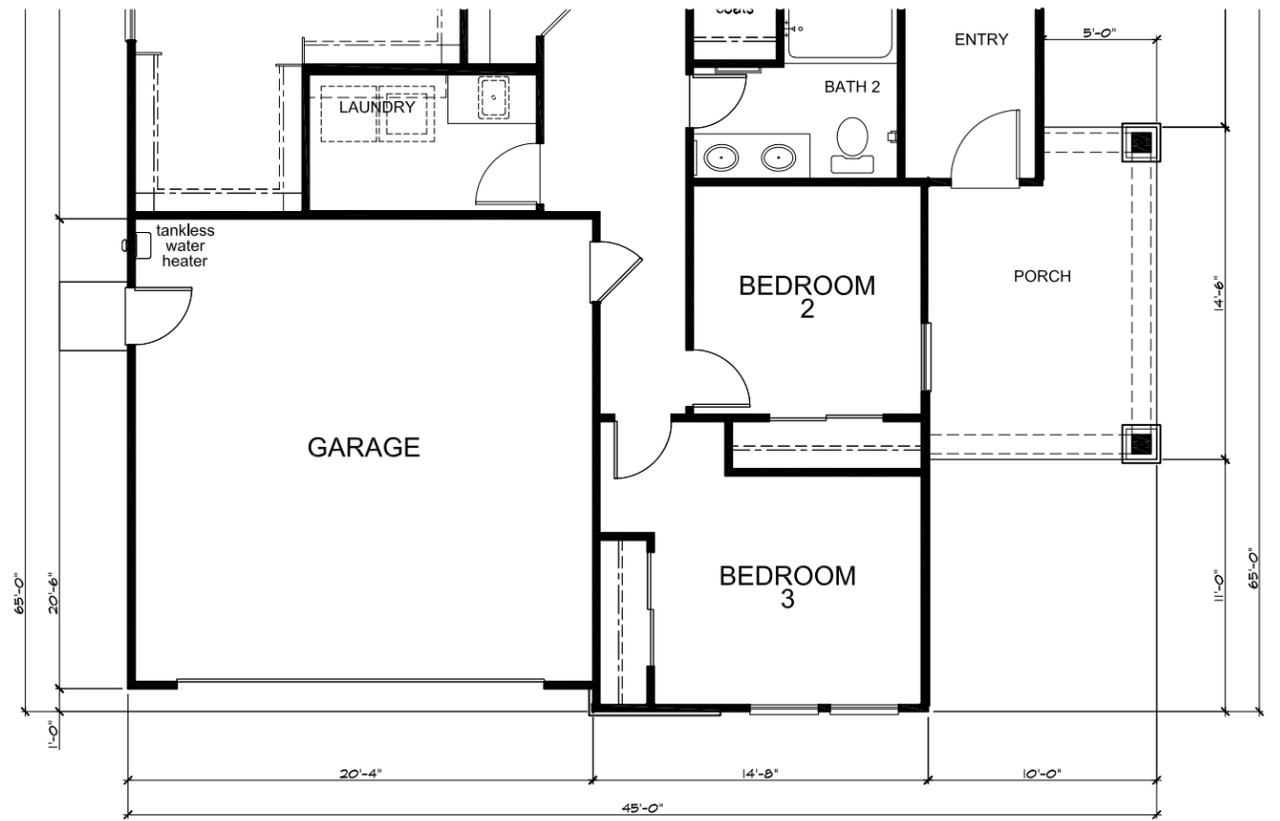


PLAN 2



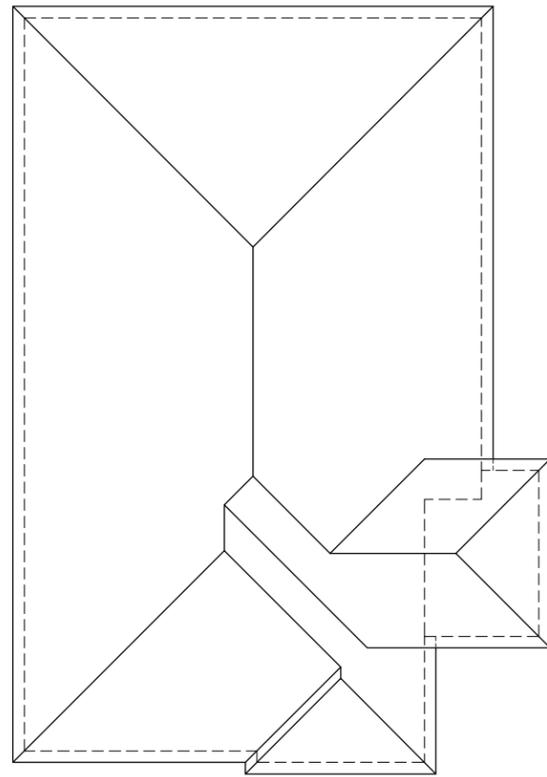


Floor Plan 'B'

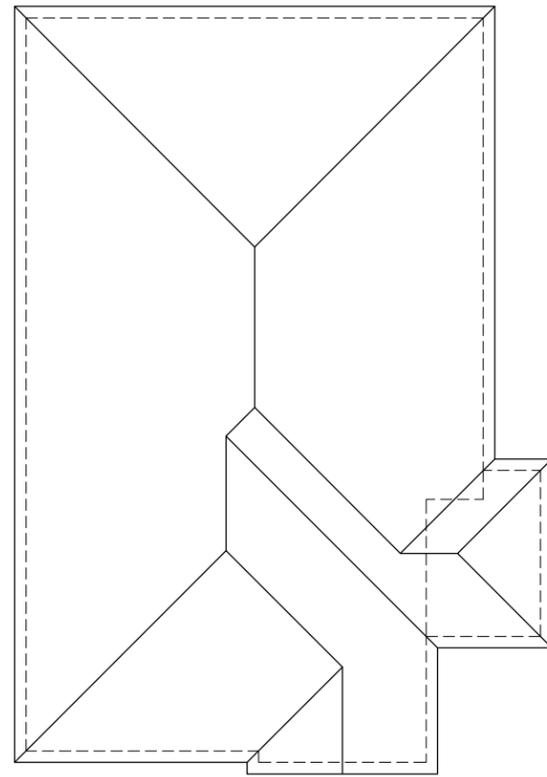


Floor Plan 'C'

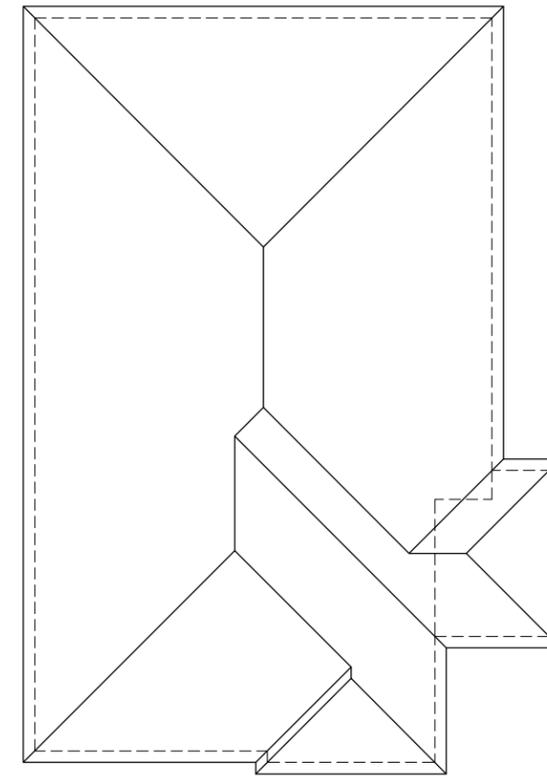




'A' Italianate
4:12

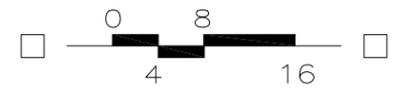


'B' Bungalow
4:12



'C' Prairie
4:12

Roof Plans





Left Elevation 'A' (Italianate)



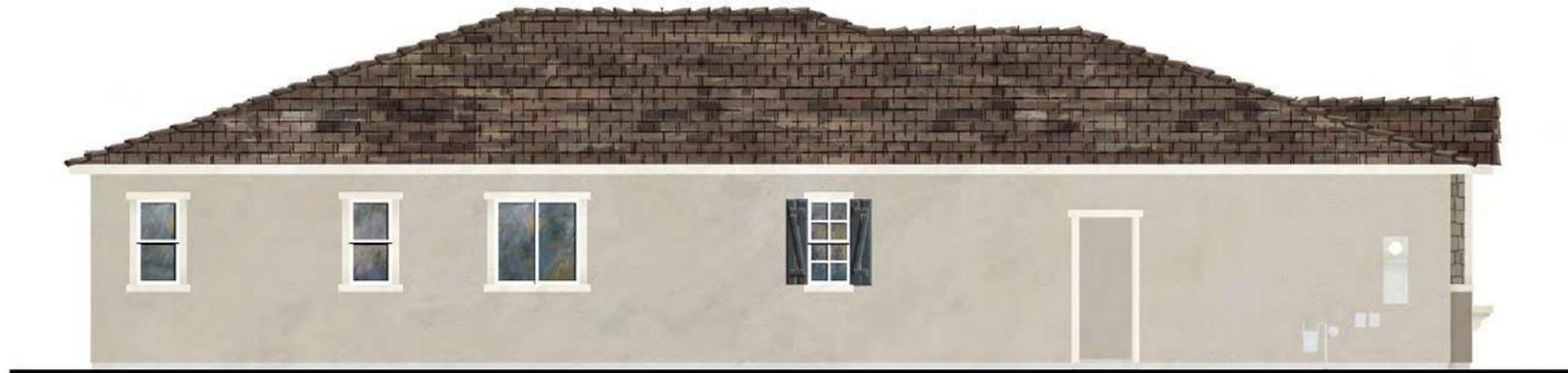
Front Elevation 'A' (Italianate)



Right Elevation 'A' (Italianate)



Rear Elevation 'A' (Italianate)



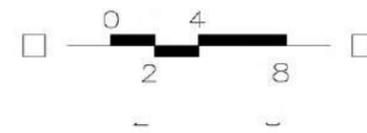
Left Elevation 'B' (Bungalow)



Front Elevation 'B' (Bungalow)



Right Elevation 'B' (Bungalow)



Rear Elevation 'B' (Bungalow)





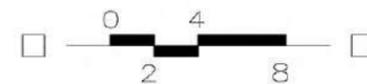
Left Elevation 'C' (Prairie)



Front Elevation 'C' (Prairie)

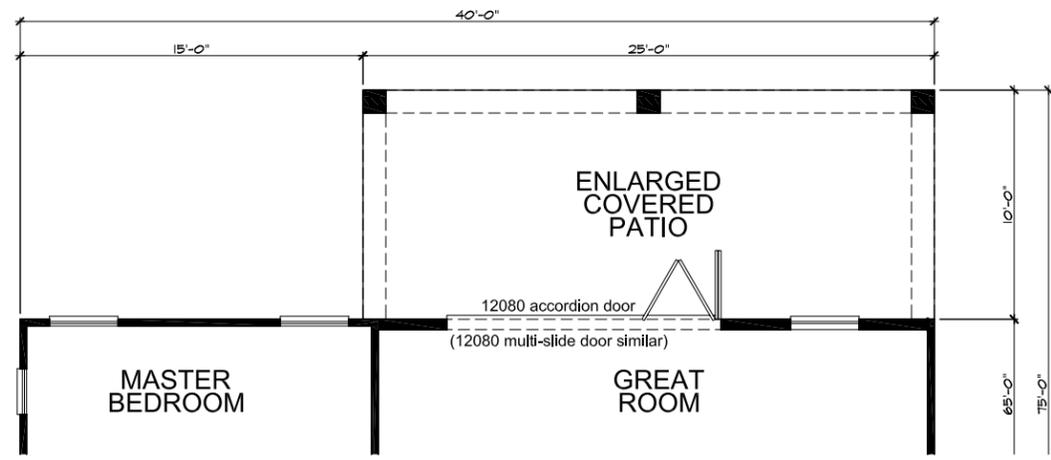


Right Elevation 'C' (Prairie)



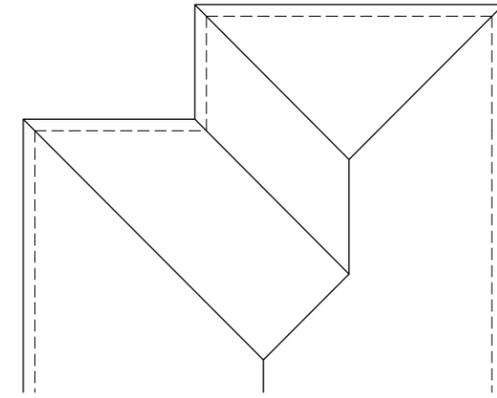
Rear Elevation 'C' (Prairie)



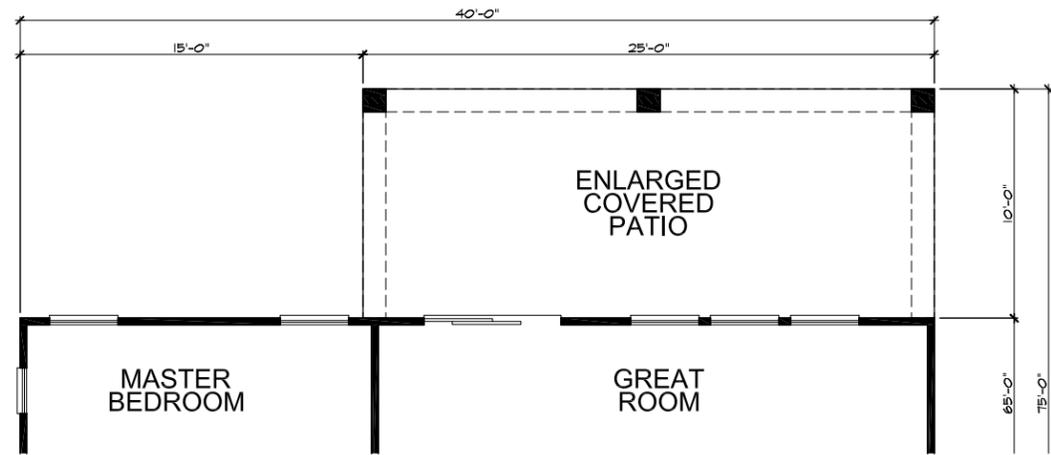


Floor Plan

Enlarged Covered Patio w/ Accordion Door

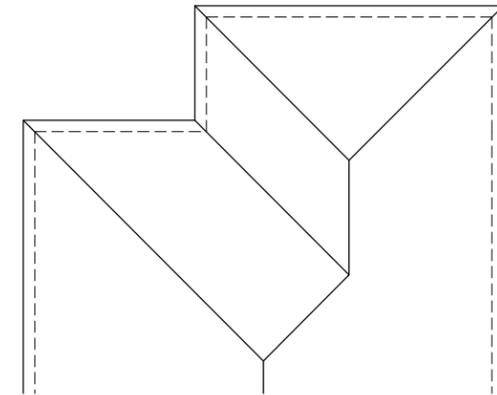


Roof Plan

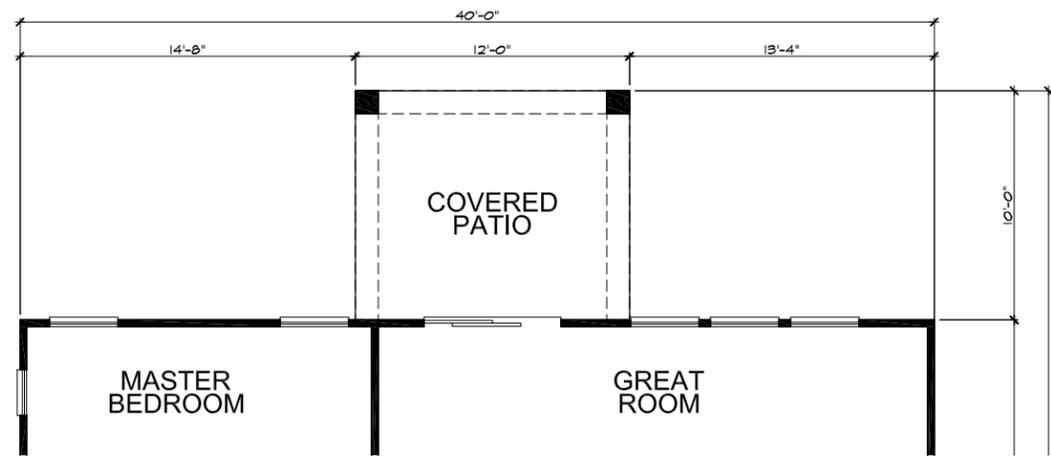


Floor Plan

Enlarged Covered Patio

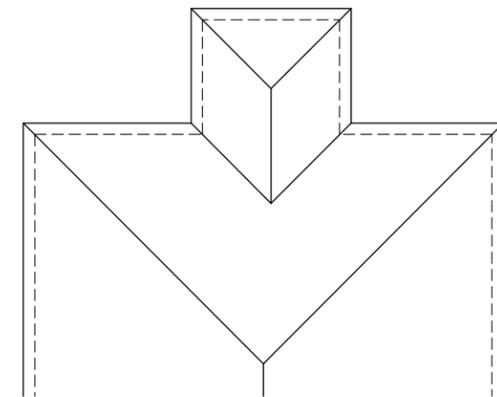


Roof Plan



Floor Plan

Covered Patio



Roof Plan



Partial Right Elevation



Rear Elevation
Enlarged Covered Patio w/ Accordion Door



Partial Left Elevation



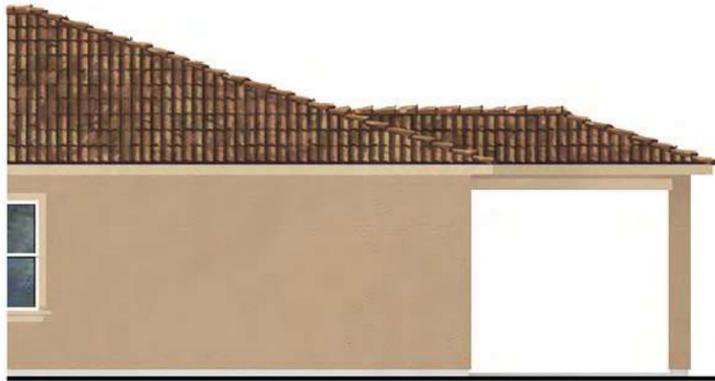
Partial Right Elevation



Rear Elevation
Enlarged Covered Patio



Partial Left Elevation



Partial Right Elevation



Rear Elevation
Covered Patio



Partial Left Elevation

ELEVATION LEGEND

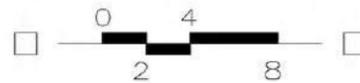
- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL SECTIONAL GARAGE DOOR
- 11 DECORATIVE FOAM SHUTTERS
- 12 FIBER CEMENT SIDING WITH VERTICAL BATTENS AT 16" O.C., U.N.O.
- 13 COACH LIGHTS
- 14 WOOD POST
- 15 DECORATIVE CERAMIC TILE SURROUND
- 16 STONE VENEER
- 17 FIBER CEMENT TRIM
- 18 FIBER CEMENT SHAKE SIDING
- 19 FIBER CEMENT LAP SIDING
- 20 DECORATIVE EXPOSED RAFTER TAILS
- 21 WROUGHT IRON PORCH RAIL
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 ILLUMINATED ADDRESS SIGN
- 24 GABLE END DETAIL
- 25 RECESSED GABLE END DETAIL
- 26 DECORATIVE GABLE END VENT
- 27 BRICK VENEER



Elevation 'A' (Italianate)



Elevation 'B' (Bungalow)



Elevation 'C' (Prairie)

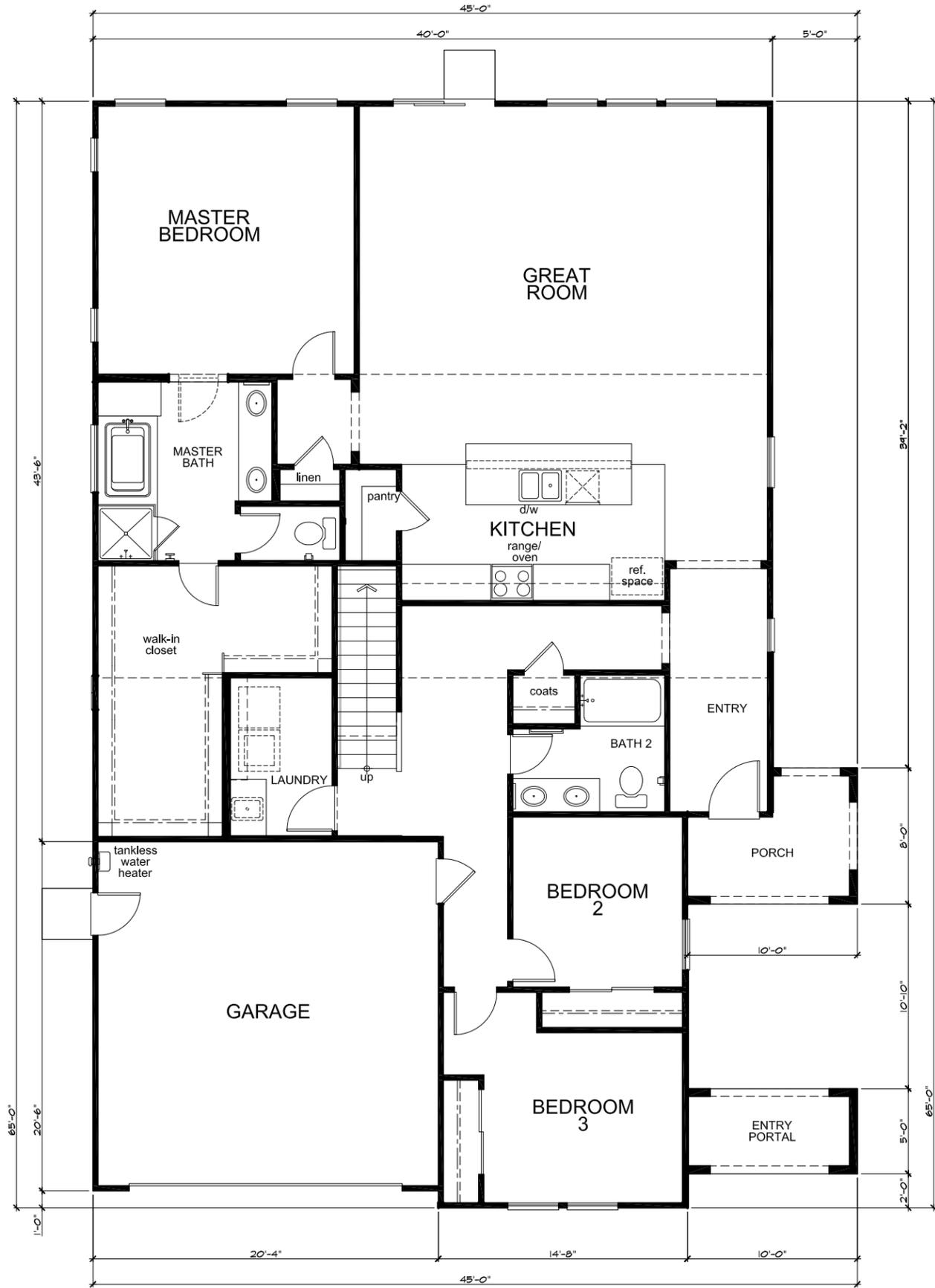
PLAN 2X



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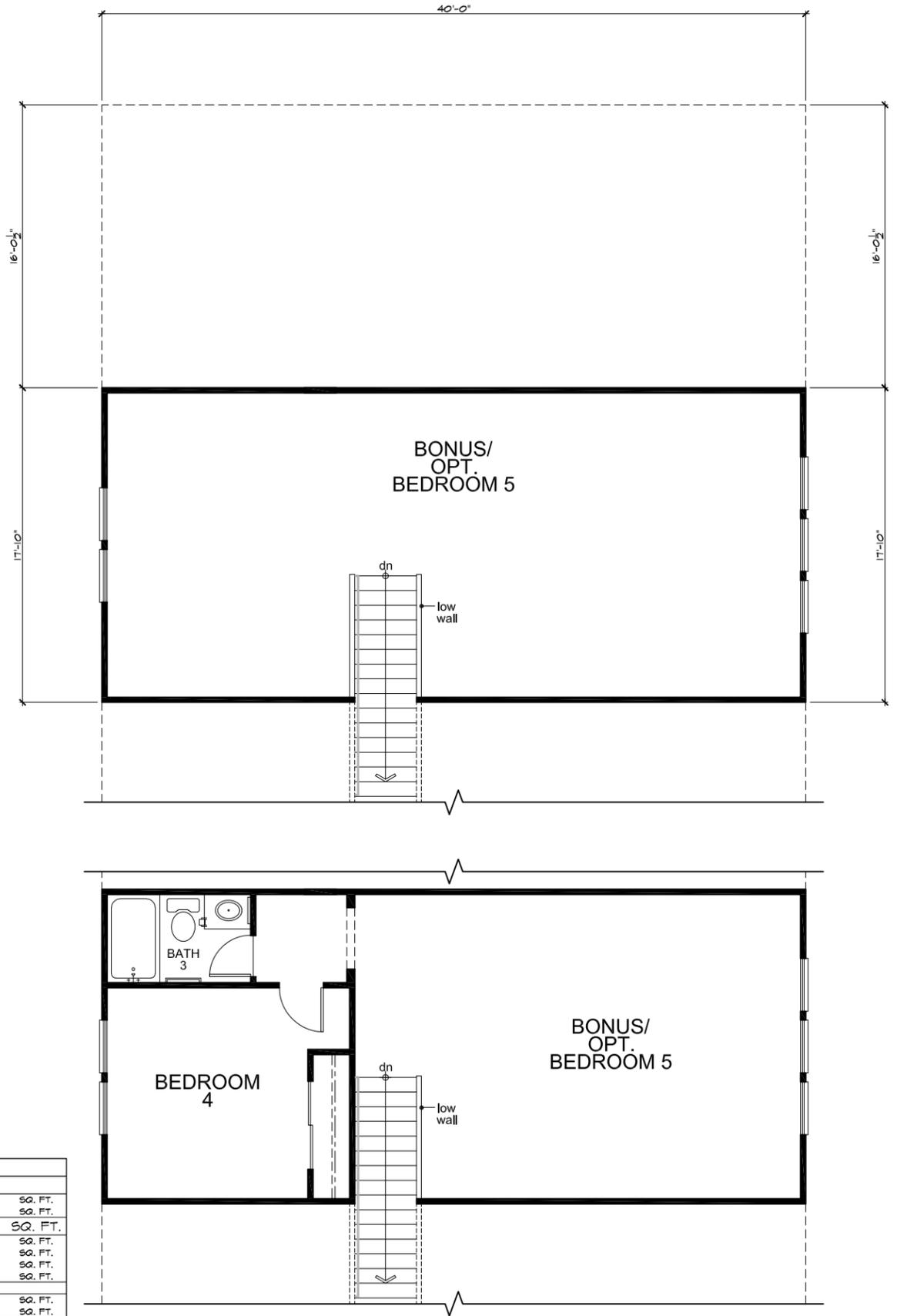
CITRUS GLEN
 TRACT NO. 19963

PLAN No. : 240.2733
 JOB No. : 350690
 STORY: 2-Story
 REV: February 22, 2018



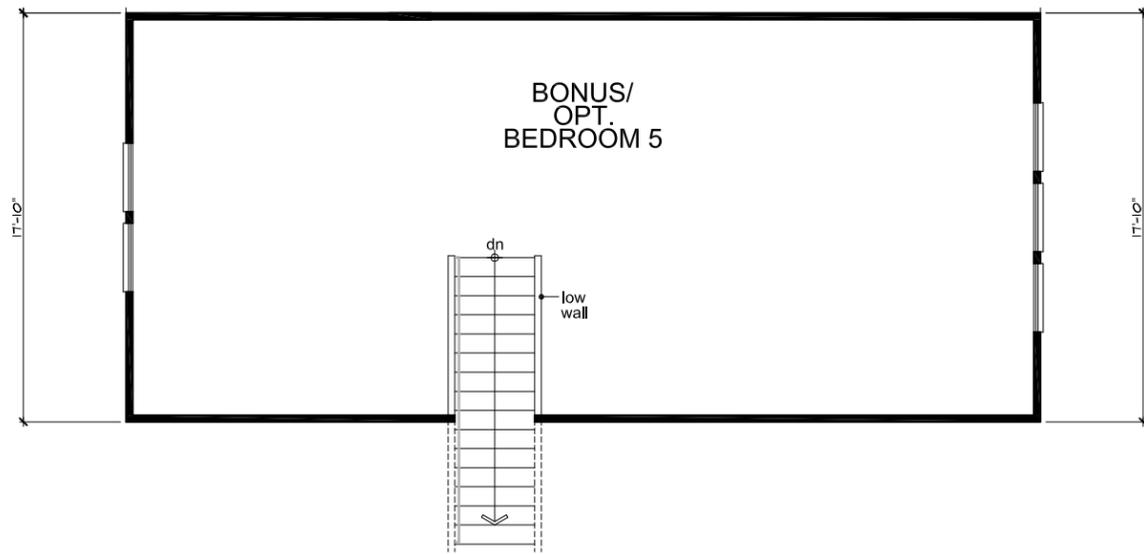
First Floor Plan 'A'

SQUARE FOOTAGE PLAN 240.2733		
FIRST FLOOR AREA	2048	SQ. FT.
SECOND FLOOR AREA	685	SQ. FT.
TOTAL AREA	2733	SQ. FT.
GARAGE AREA	417	SQ. FT.
PORCH AREA	ELEVATION 'A'	132 SQ. FT.
	ELEVATION 'B'	132 SQ. FT.
	ELEVATION 'C'	132 SQ. FT.
OPTIONS:		
COVERED PATIO	120	SQ. FT.
ENLARGED COVERED PATIO	250	SQ. FT.

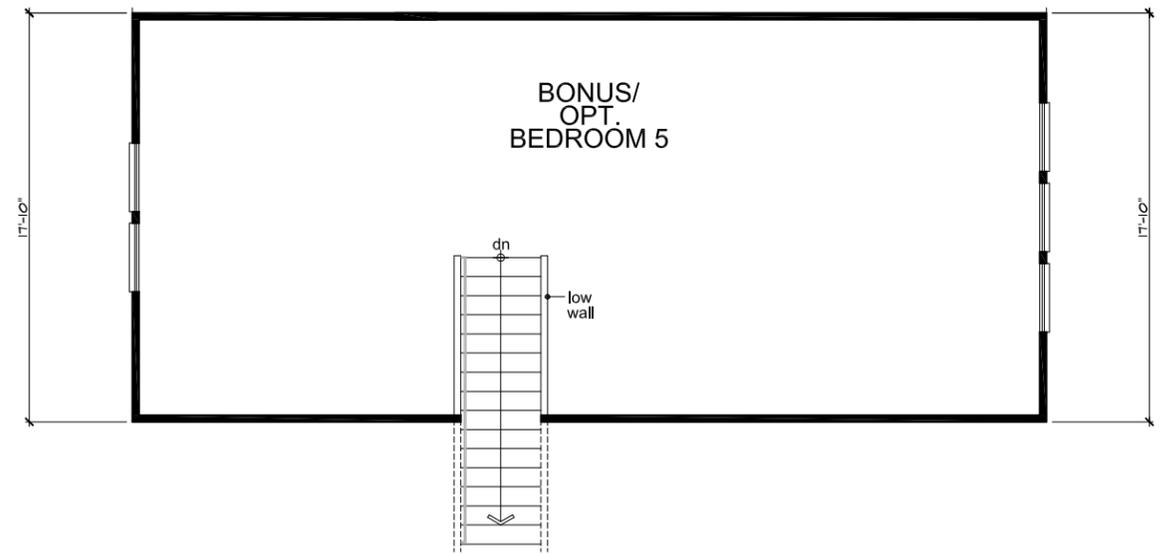


Second Floor Plan 'A'

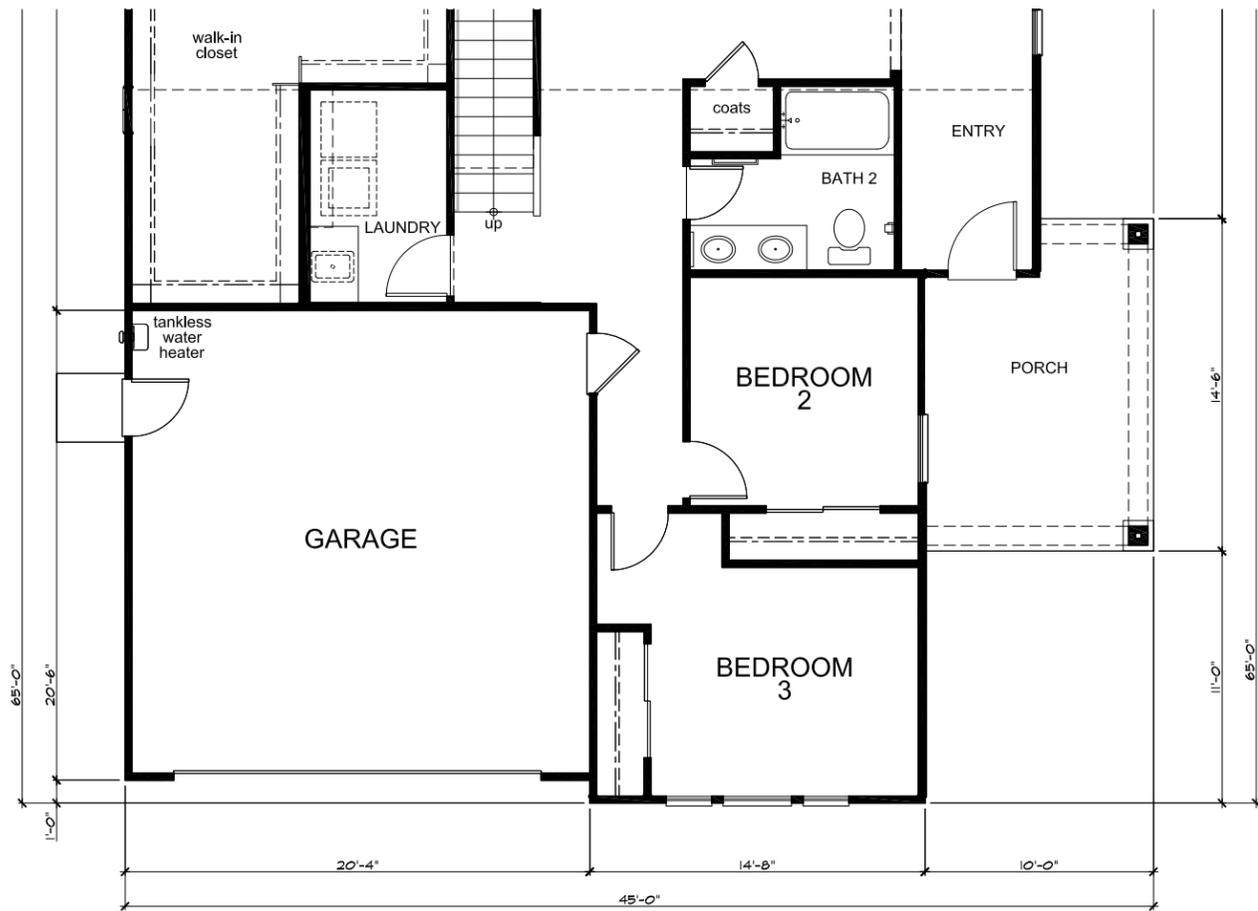




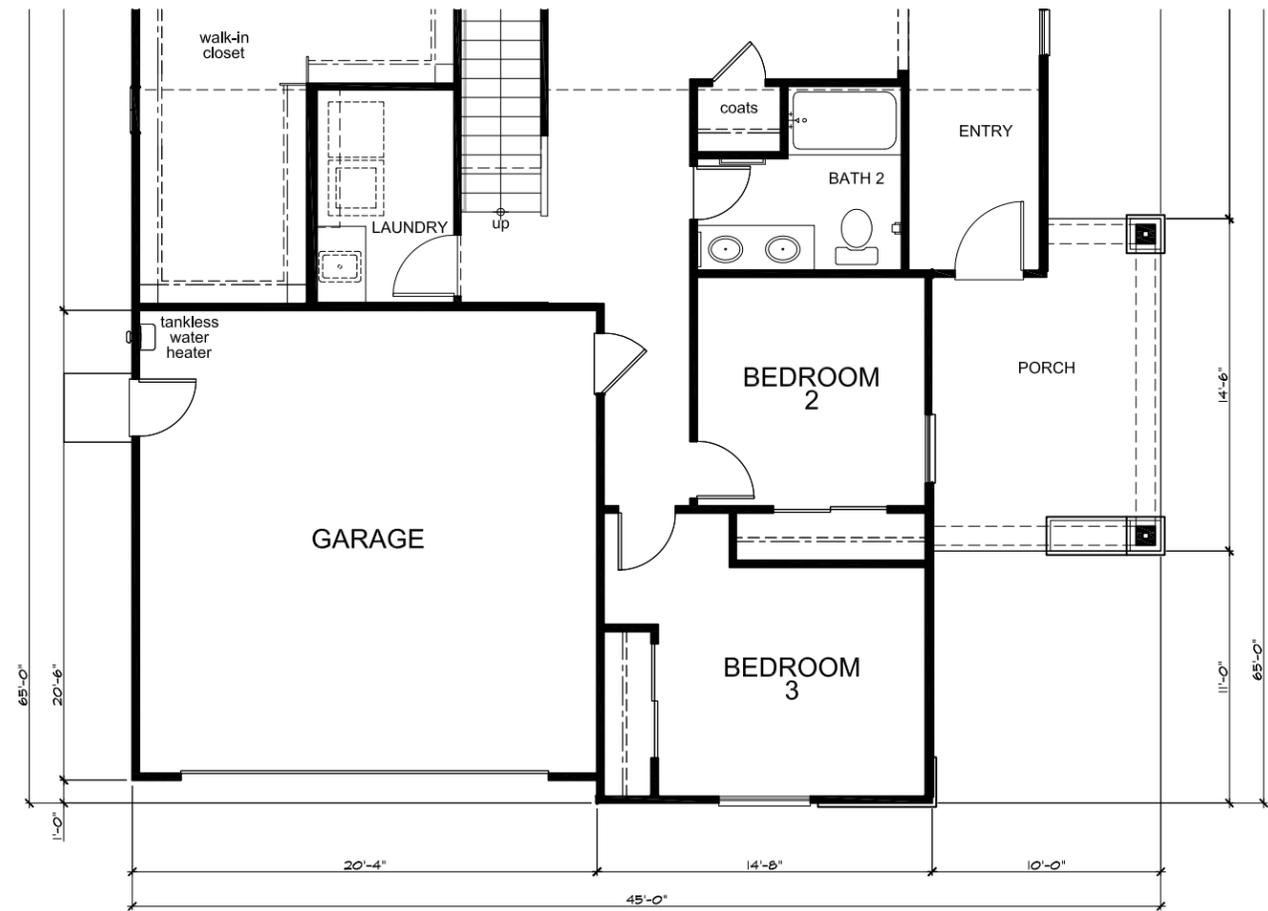
Second Floor Plan 'B'



Second Floor Plan 'C'

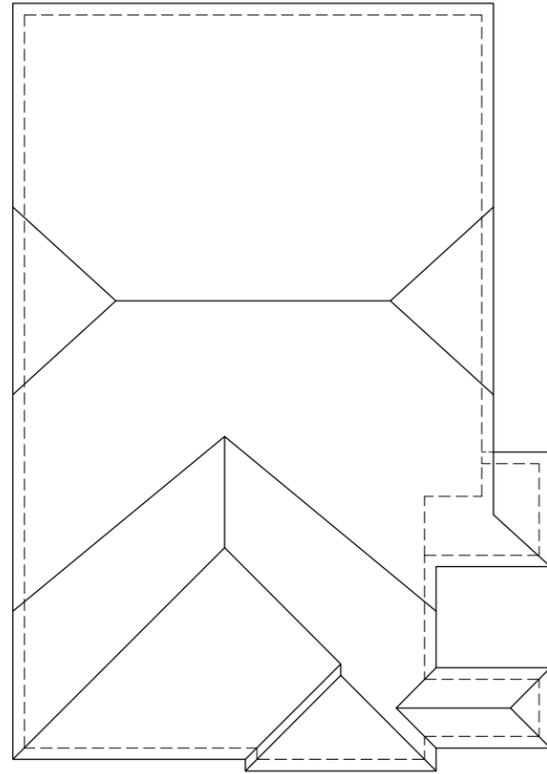


First Floor Plan 'B'

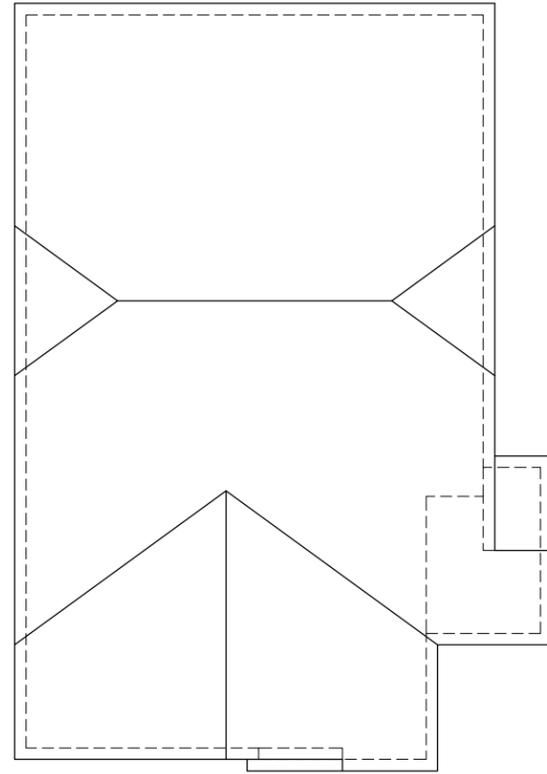


First Floor Plan 'C'

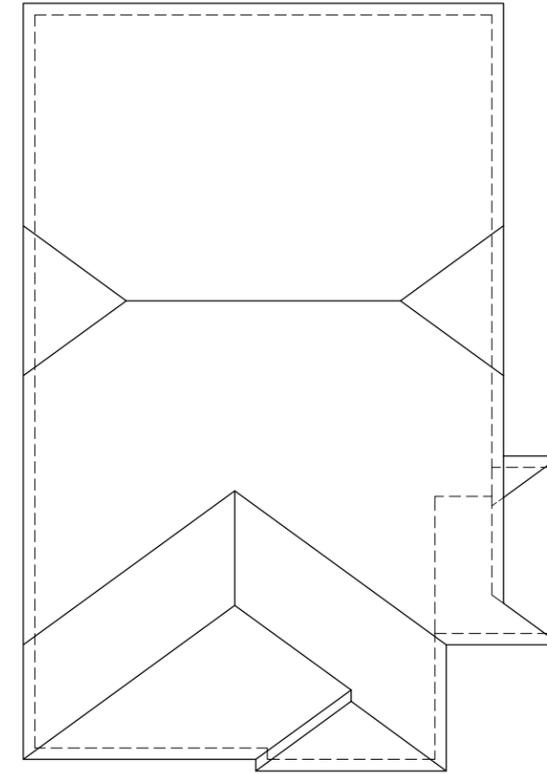




'A' Italianate
5:12 / 5.5:12

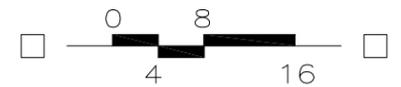


'B' Bungalow
4:12 / 5.5:12



'C' Prairie
4:12 / 5.5:12

Roof Plans



PLAN 2X





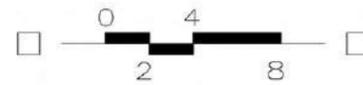
Left Elevation 'A' (Italianate)



Front Elevation 'A' (Italianate)



Right Elevation 'A' (Italianate)



Rear Elevation 'A' (Italianate)

PLAN 2X



KB Home Southern California/Inland Empire
 36310 Inland Valley Drive
 Wildomar, CA 92595
 (951) 691-5300
 CITY OF LOMA LINDA

CITRUS GLEN
 TRACT NO. 19963

PLAN No. : 240.2733
 JOB No. : 350690
 STORY: 2-Story
 REV: February 22, 2018



Left Elevation 'B' (Bungalow)



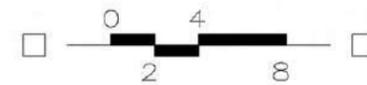
Front Elevation 'B' (Bungalow)



Right Elevation 'B' (Bungalow)



Rear Elevation 'B' (Bungalow)





Left Elevation 'C' (Prairie)



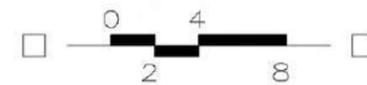
Front Elevation 'C' (Prairie)

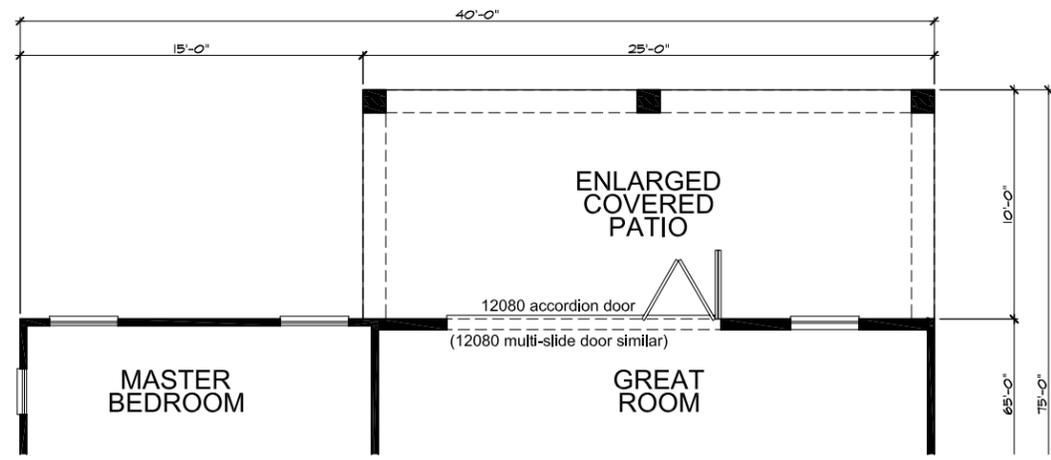


Right Elevation 'C' (Prairie)



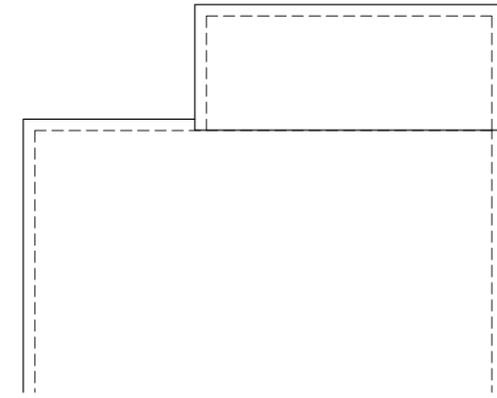
Rear Elevation 'C' (Prairie)



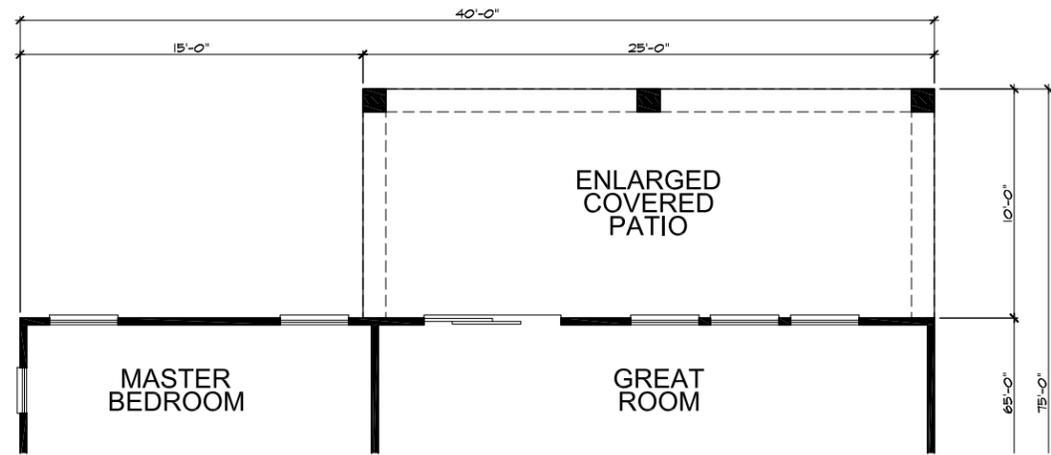


Floor Plan

Enlarged Covered Patio w/ Accordion Door

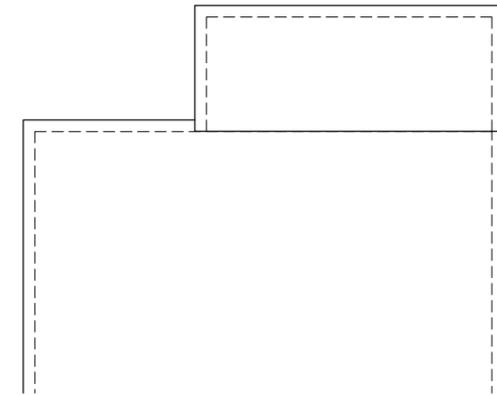


Roof Plan

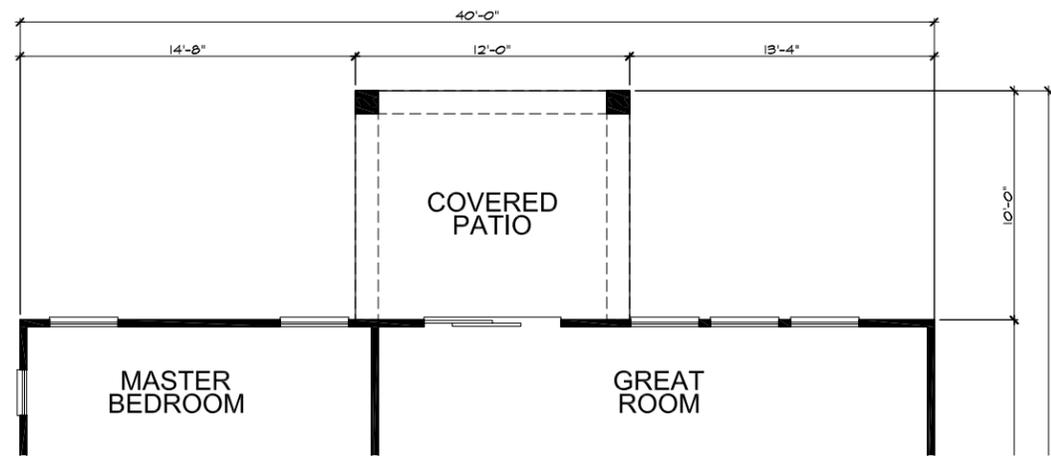


Floor Plan

Enlarged Covered Patio

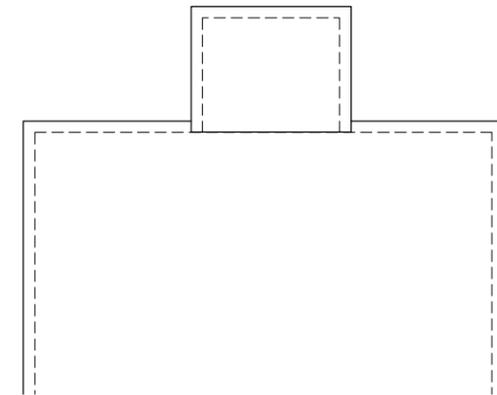


Roof Plan



Floor Plan

Covered Patio

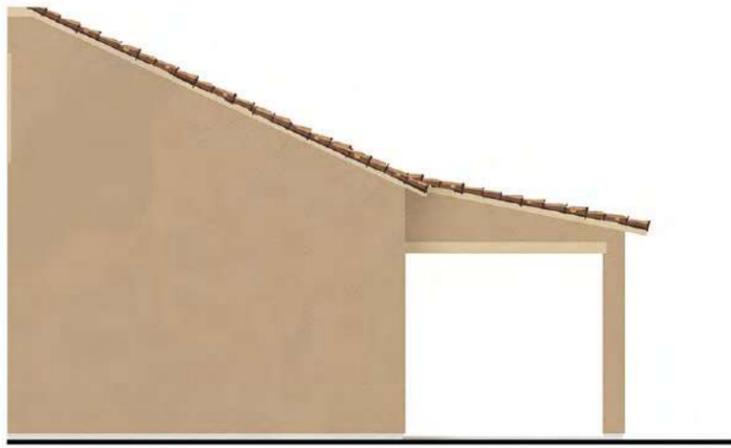


Roof Plan



PLAN 2X





Partial Right Elevation



Rear Elevation

Enlarged Covered Patio w/ Accordion Door



Partial Left Elevation



Partial Right Elevation

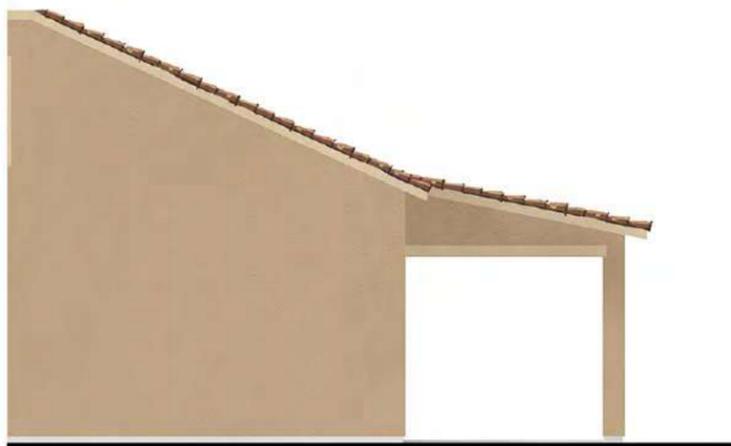


Rear Elevation

Enlarged Covered Patio



Partial Left Elevation



Partial Right Elevation



Rear Elevation

Covered Patio



Partial Left Elevation

PLAN 2X

ELEVATION LEGEND

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL SECTIONAL GARAGE DOOR
- 11 DECORATIVE FOAM SHUTTERS
- 12 FIBER CEMENT SIDING WITH VERTICAL BATTENS AT 16" O.C., U.N.O.
- 13 COACH LIGHTS
- 14 WOOD POST
- 15 DECORATIVE CERAMIC TILE SURROUND
- 16 STONE VENEER
- 17 FIBER CEMENT TRIM
- 18 FIBER CEMENT SHAKE SIDING
- 19 FIBER CEMENT LAP SIDING
- 20 DECORATIVE EXPOSED RAFTER TAILS
- 21 WROUGHT IRON PORCH RAIL
- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 ILLUMINATED ADDRESS SIGN
- 24 GABLE END DETAIL
- 25 RECESSED GABLE END DETAIL
- 26 DECORATIVE GABLE END VENT
- 27 BRICK VENEER

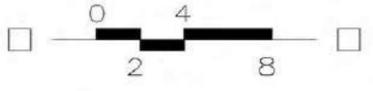


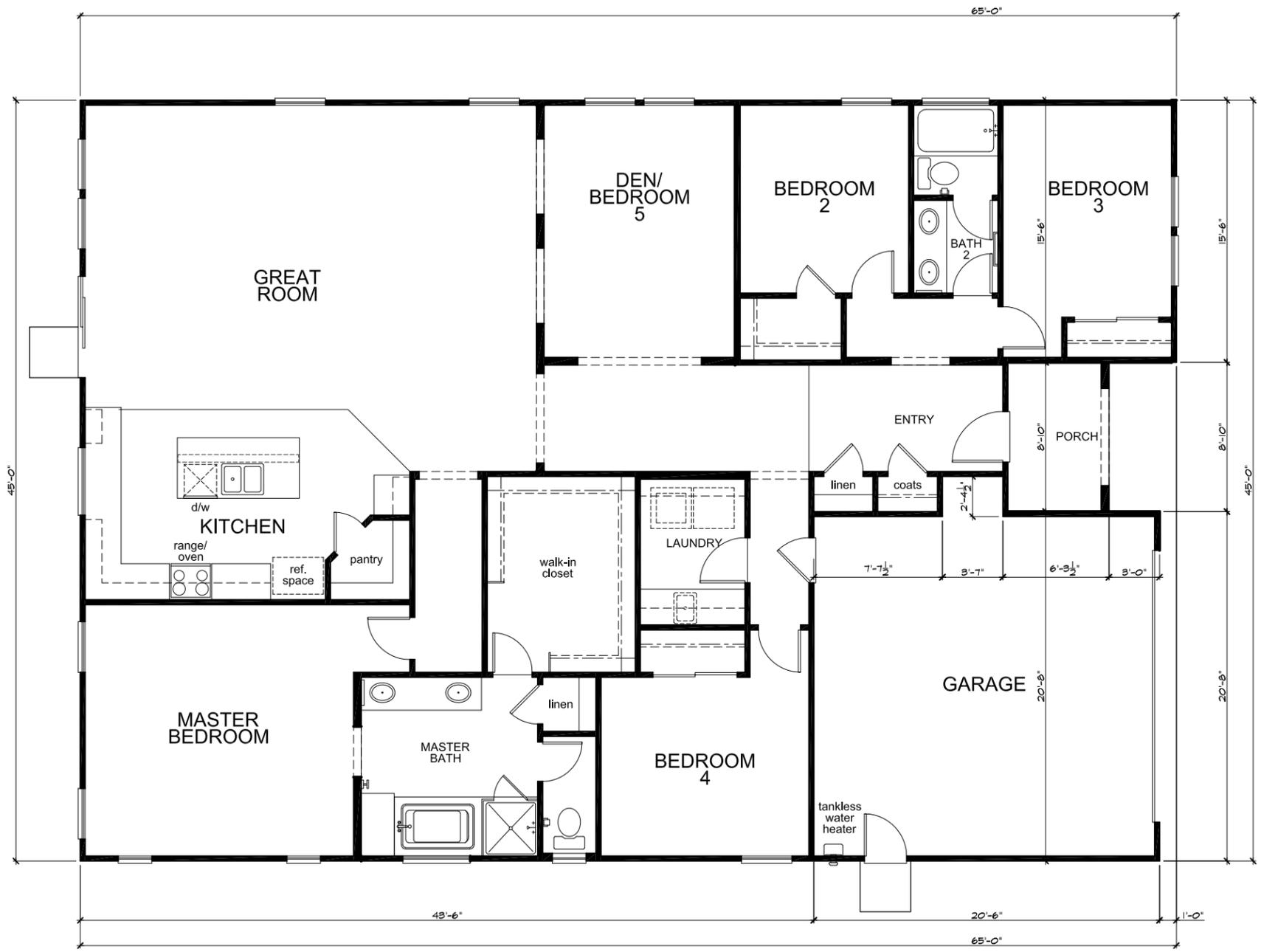
Elevation 'A' (Italianate)



Elevation 'B' (Bungalow)

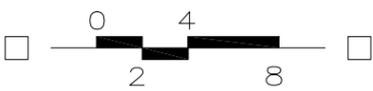
Elevation 'C' (Prairie)

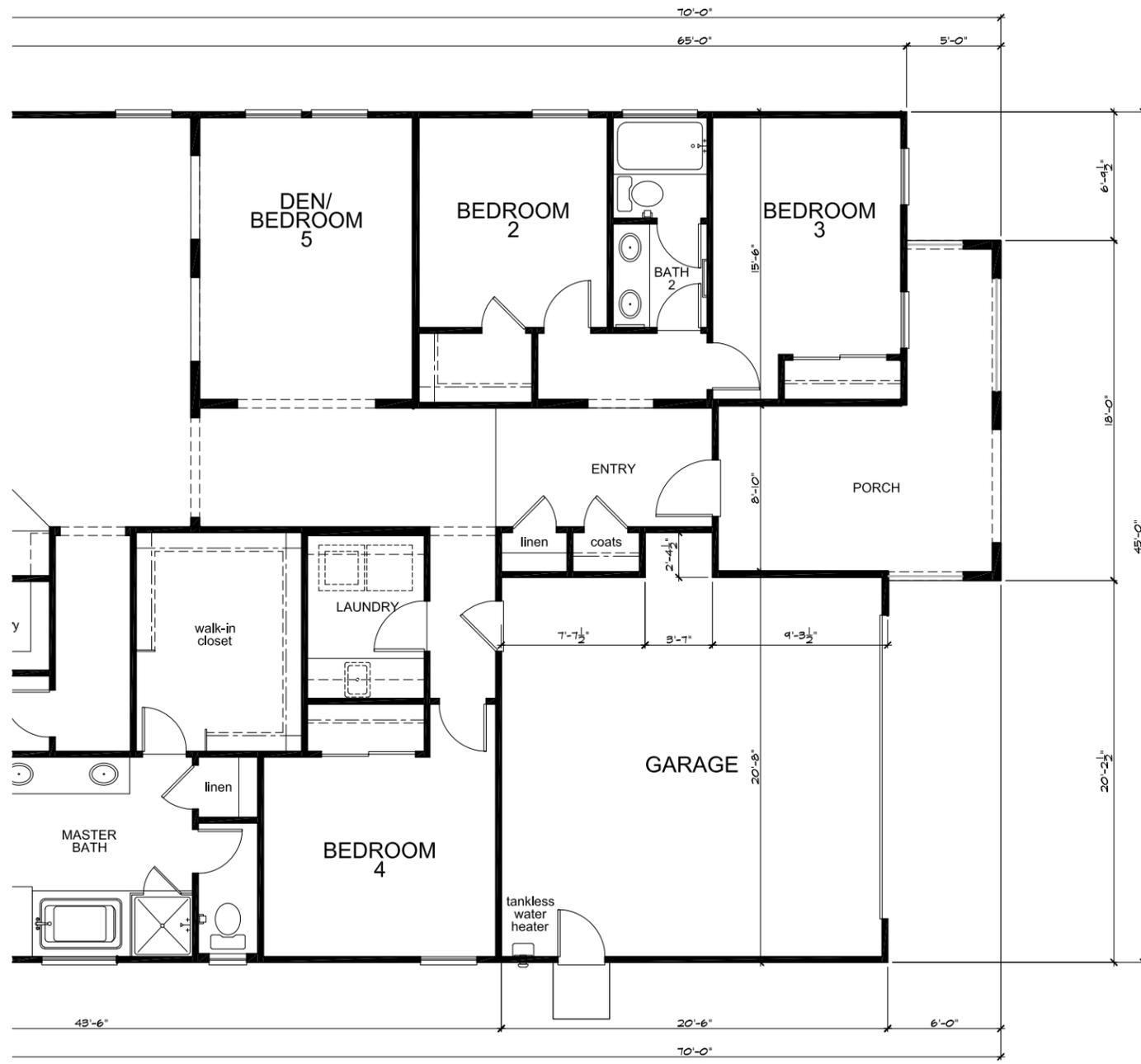




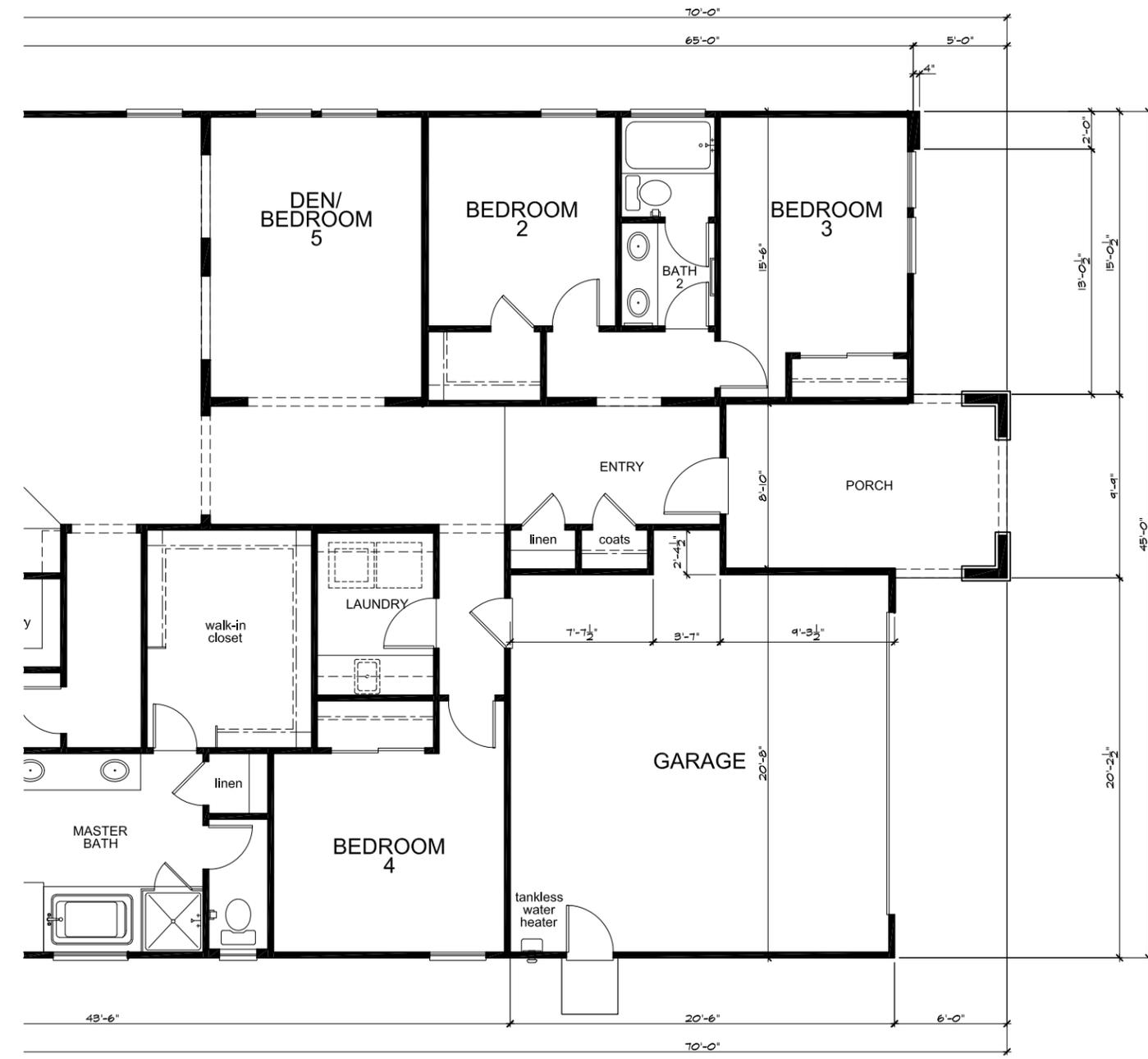
Floor Plan 'A'

SQUARE FOOTAGE		
PLAN 145.2386		
FIRST FLOOR AREA	2386	SQ. FT.
TOTAL AREA	2386	SQ. FT.
GARAGE AREA	480	SQ. FT.
PORCH AREA	ELEVATION "A"	53 SQ. FT.
	ELEVATION "B"	179 SQ. FT.
	ELEVATION "C"	138 SQ. FT.



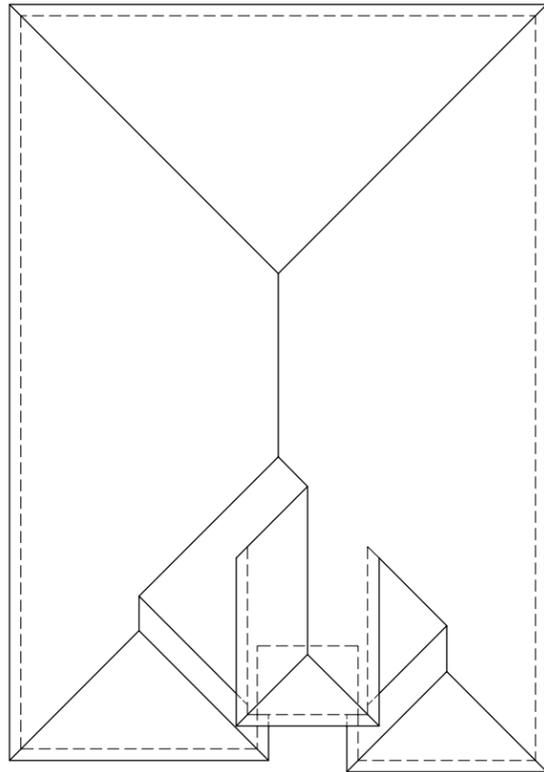


Floor Plan 'B'

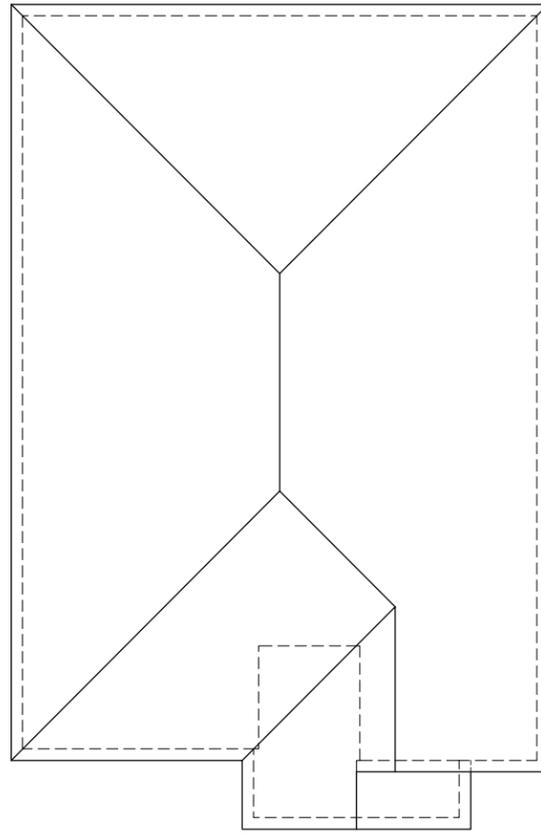


Floor Plan 'C'

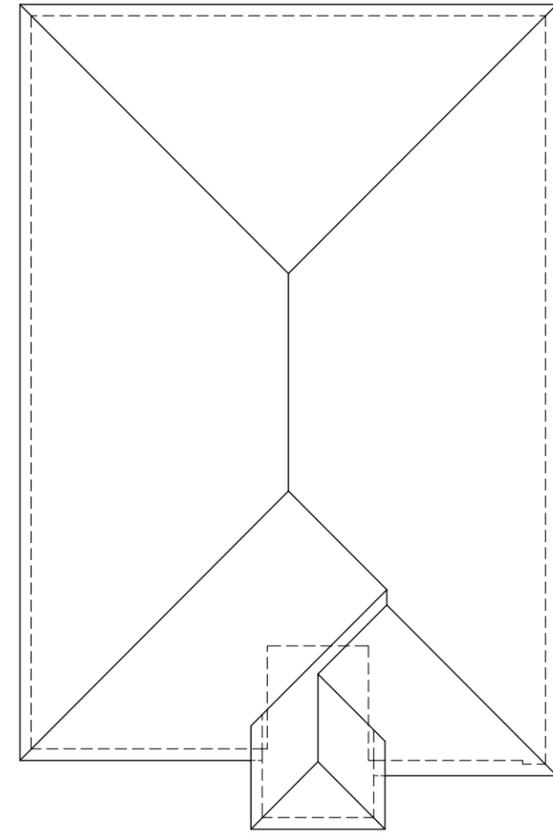




'A' Italianate
4:12



'B' Bungalow
4:12



'C' Prairie
4:12

Roof Plans



PLAN 3





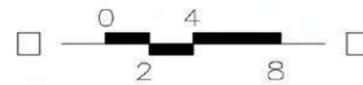
Left Elevation 'A' (Italianate)



Front Elevation 'A' (Italianate)



Right Elevation 'A' (Italianate)



Rear Elevation 'A' (Italianate)



Left Elevation 'B' (Bungalow)



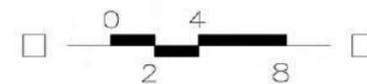
Front Elevation 'B' (Bungalow)



Right Elevation 'B' (Bungalow)



Rear Elevation 'B' (Bungalow)





Left Elevation 'C' (Prairie)



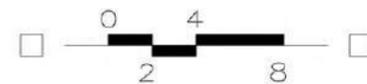
Front Elevation 'C' (Prairie)



Right Elevation 'C' (Prairie)



Rear Elevation 'C' (Prairie)



ELEVATION LEGEND

- 1 CONCRETE 'S' TILE ROOFING
- 2 CONCRETE FLAT TILE ROOFING
- 3 WOOD FASCIA BOARD
- 4 STUCCO FINISH (16/20 SAND)
- 5 STUCCO OVER FOAM TRIM
- 6 STUCCO OVER FOAM CORBELS/SHAPED FOAM TRIM WITH SAND FINISH
- 7 DECORATIVE STUCCO COLUMNS (STUCCO OVER WOOD FRAMING WITH SMOOTH FINISH)
- 8 VINYL WINDOW SYSTEM
- 9 COMPOSITE ENTRY DOOR
- 10 METAL SECTIONAL GARAGE DOOR
- 11 DECORATIVE FOAM SHUTTERS
- 12 FIBER CEMENT SIDING WITH VERTICAL BATTENS AT 16" O.C., U.N.O.
- 13 COACH LIGHTS
- 14 WOOD POST
- 15 DECORATIVE CERAMIC TILE SURROUND
- 16 STONE VENEER
- 17 FIBER CEMENT TRIM
- 18 FIBER CEMENT SHAKE SIDING
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- 22 DECORATIVE OUTLOOKER WITH KNEEBRACE
- 23 ILLUMINATED ADDRESS SIGN
- 24 GABLE END DETAIL
- 25 RECESSED GABLE END DETAIL
- 26 DECORATIVE GABLE END VENT
- 27 BRICK VENEER

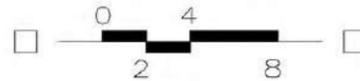


Elevation 'A' (Italianate)



Elevation 'B' (Bungalow)

Elevation 'C' (Prairie)



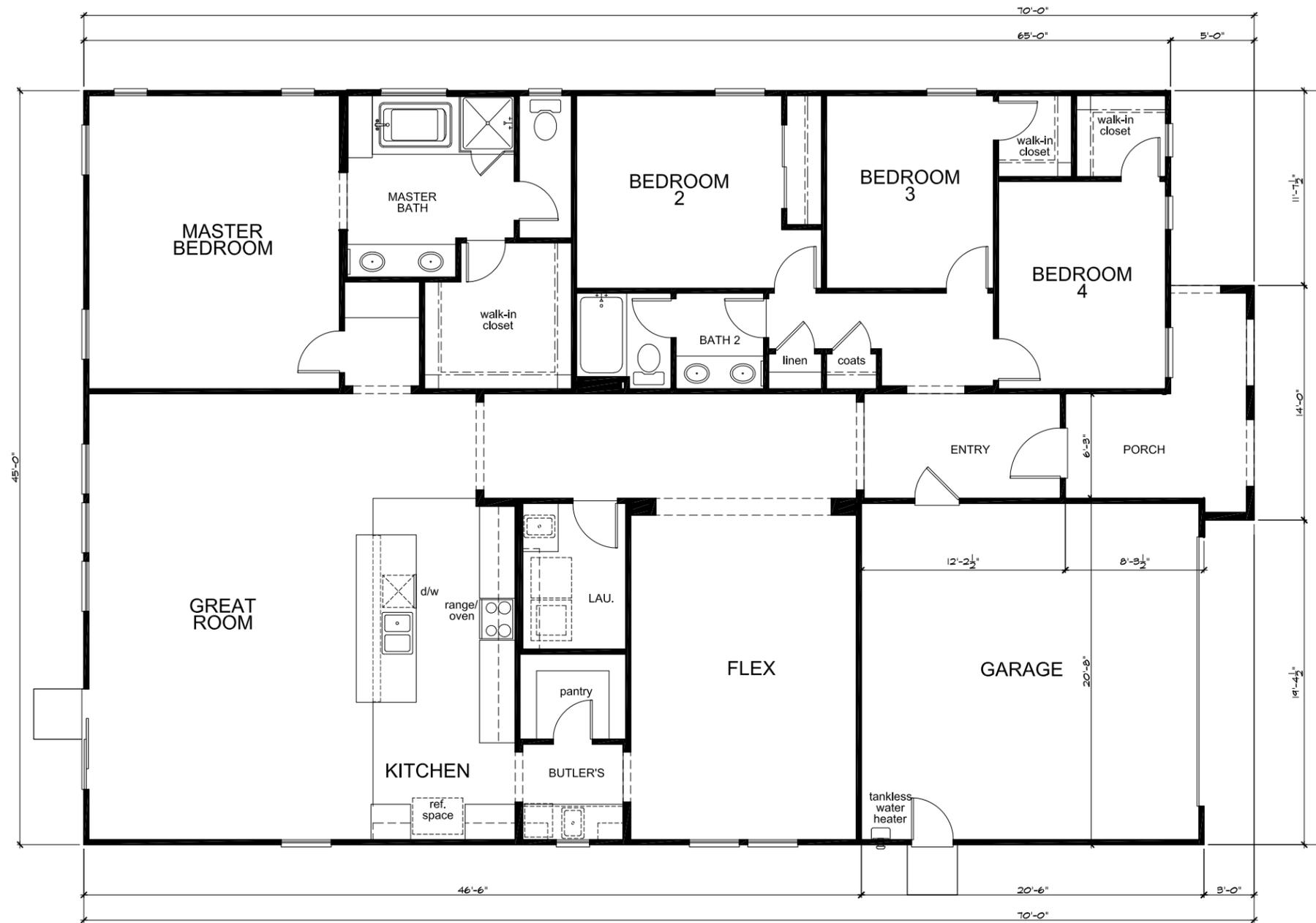
PLAN 4



KB Home Southern California/Inland Empire
 36310 Inland Valley Drive
 Wildomar, CA 92595
 (951) 691-5300
 CITY OF LOMA LINDA

CITRUS GLEN
 TRACT NO. 19963

PLAN No. : 145.2507
 JOB No. : 350690
 STORY: 1-Story
 REV: February 22, 2018



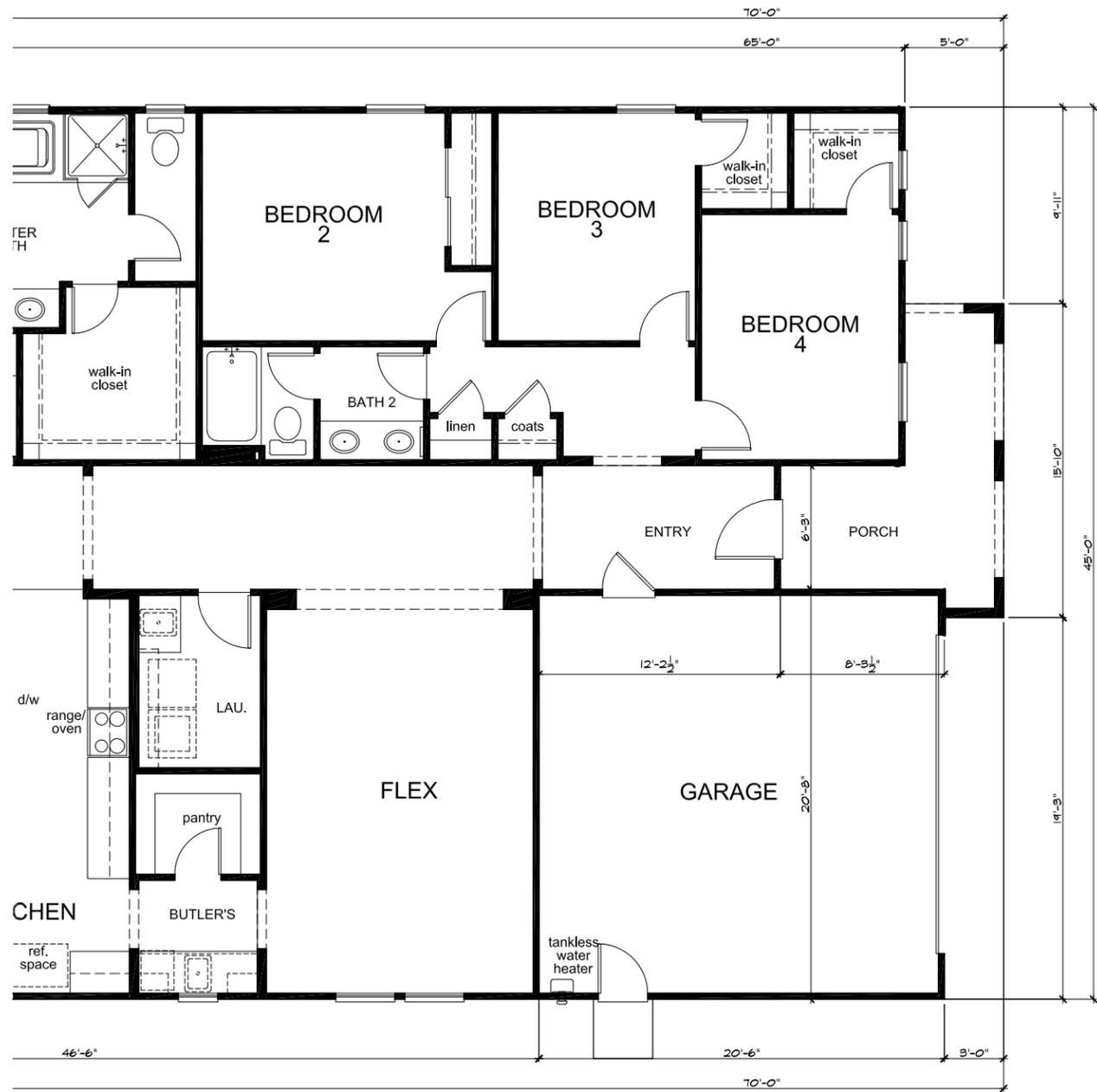
SQUARE FOOTAGE		
PLAN 145.2507		
FIRST FLOOR AREA	2507	SQ. FT.
TOTAL AREA	2507	SQ. FT.
GARAGE AREA	420	SQ. FT.
PORCH AREA	107	SQ. FT.
	ELEVATION "A"	116
	ELEVATION "B"	166
	ELEVATION "C"	



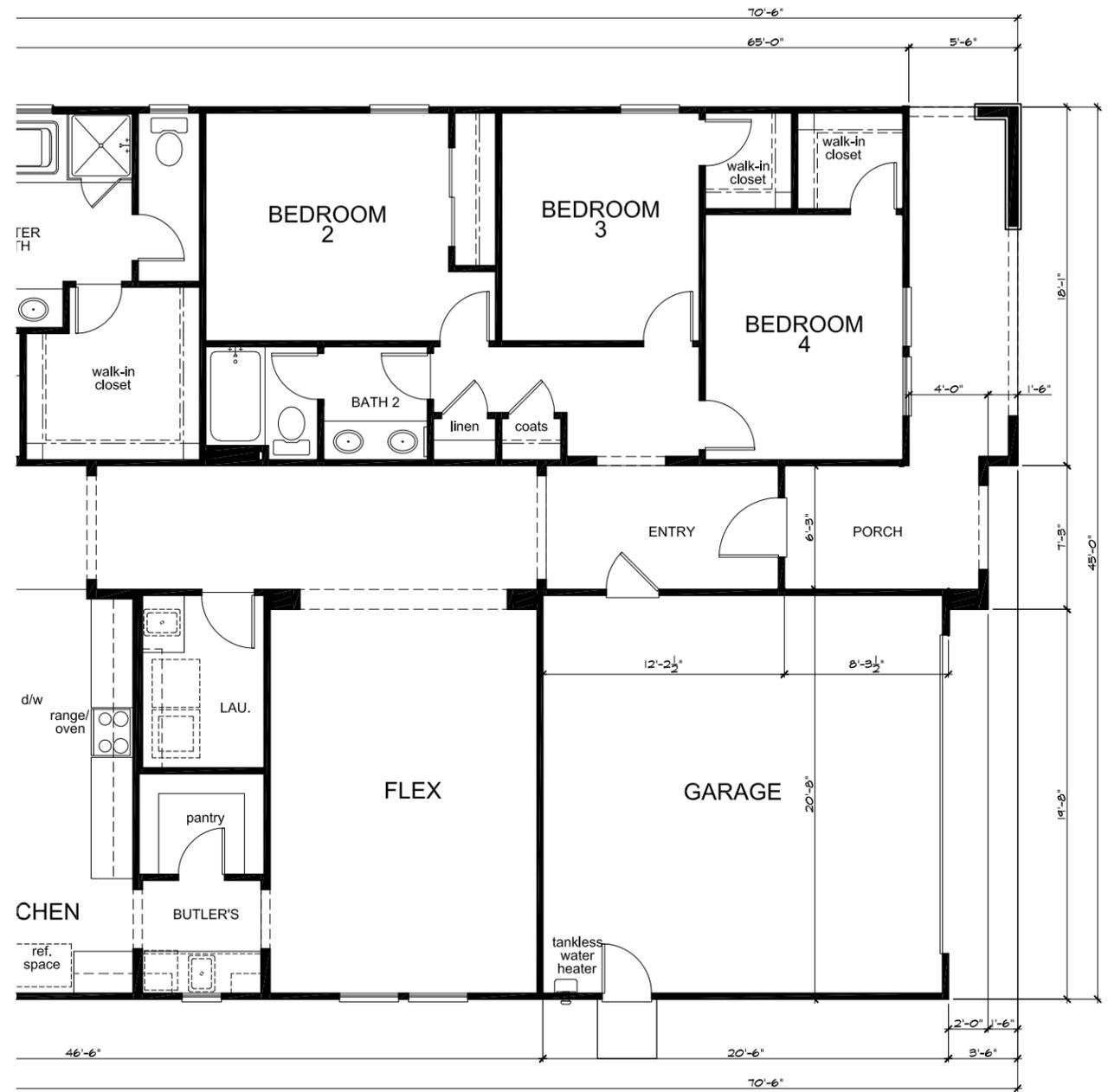
Floor Plan 'A'

PLAN 4



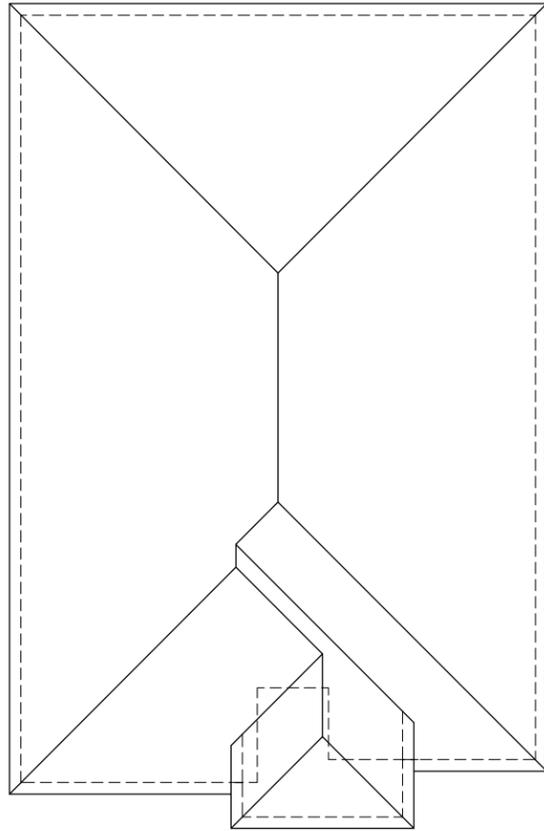


Floor Plan 'B'

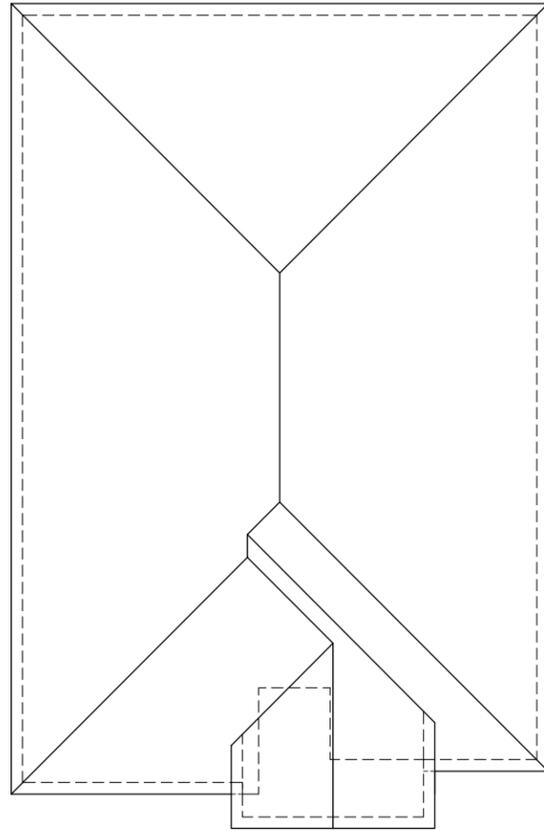


Floor Plan 'C'

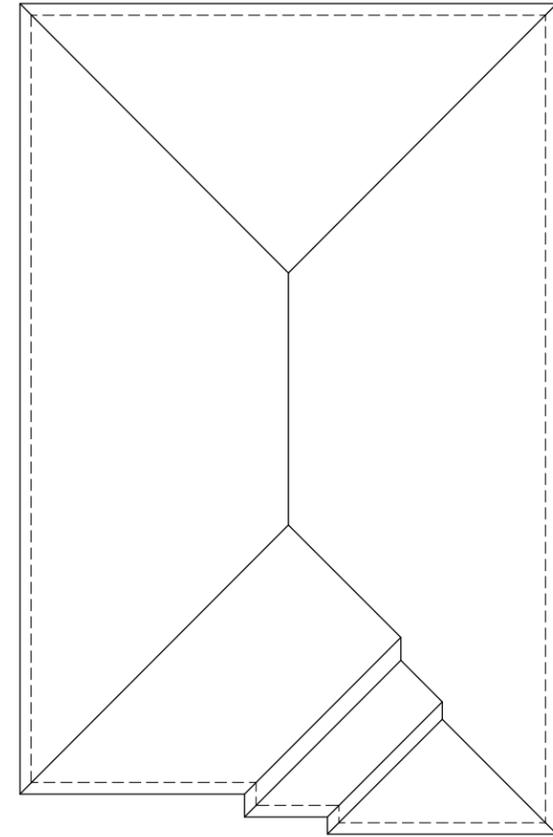




'A' Italianate
4:12

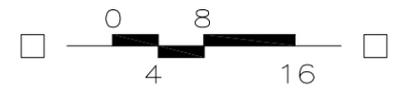


'B' Bungalow
4:12



'C' Prairie
4:12

Roof Plans



PLAN 4





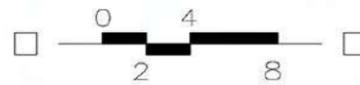
Left Elevation 'A' (Italianate)



Front Elevation 'A' (Italianate)



Right Elevation 'A' (Italianate)



Rear Elevation 'A' (Italianate)

PLAN 4



Left Elevation 'B' (Bungalow)



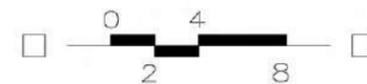
Front Elevation 'B' (Bungalow)



Right Elevation 'B' (Bungalow)



Rear Elevation 'B' (Bungalow)





Left Elevation 'C' (Prairie)



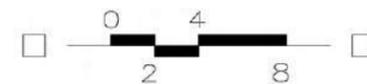
Front Elevation 'C' (Prairie)



Right Elevation 'C' (Prairie)



Rear Elevation 'C' (Prairie)



PRELIMINARY LANDSCAPE PLAN

TENTATIVE TRACT 19963
CITY OF LOMA LINDA

NEW JERSEY STREET - APN 0292-161-02, 03 & 0292-163-08

LEGAL DESCRIPTION

PARCEL NO. 1: APN 0292-161-02
THE EAST ONE-HALF OF BLOCK 2, BARTON RANCH, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 19 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THE SOUTH 419.50 FEET THEREOF.

PARCEL NO. 2: APN 0292-161-03
A PORTION OF THE SOUTHWEST ONE-QUARTER OF BLOCK 2, BARTON RANCH, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 19 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF ORANGE AVENUE AND NEW JERSEY STREET; THENCE ALONG THE NORTH LINE OF ORANGE AVENUE WESTERLY 622.60 FEET TO THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF BLOCK 2; THENCE ALONG SAID WEST LINE NORTHERLY 419.50 FEET; THENCE EASTERLY 622.40 FEET TO THE WEST LINE OF NEW JERSEY STREET; THENCE ALONG SAID WEST LINE OF NEW JERSEY STREET SOUTHERLY, 419.62 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 3: APN 0292-163-08
THE NORTH ONE-HALF OF THE WEST ONE-HALF OF LOT (OR BLOCK) G OF BARTON RANCH, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 19 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSORS PARCEL NUMBER: 0292-161-02, 03 & 0292-163-08

EASEMENTS

1. AN EASEMENT FOR PIPE LINE AND INCIDENTAL PURPOSES IN FAVOR OF BARTON LAND AND WATER COMPANY AS RECORDED NOVEMBER 12, 1989 IN BOOK 105 OF DEEDS, PAGE 340.

AFFECTS PARCEL 1 AND 2.
SAID EASEMENT CANNOT BE PLOTTED FROM RECORDED INFORMATION.

2. AN EASEMENT FOR PIPE LINE AND INCIDENTAL PURPOSES IN FAVOR OF BARTON LAND AND WATER COMPANY, A CORPORATION AS RECORDED NOVEMBER 29, 1989 IN BOOK 106 OF DEEDS, PAGE 216.

AFFECTS PARCEL 3.
SAID EASEMENT CANNOT BE PLOTTED FROM RECORDED INFORMATION.

3. AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF FIRM W. BARTON, ET AL RECORDED SEPTEMBER 13, 1907 IN BOOK 403 OF DEEDS, PAGE 269.

AFFECTS PARCEL 3.
SAID EASEMENT CANNOT BE PLOTTED FROM RECORDED INFORMATION.

4. AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY RECORDED OCTOBER 21, 1954 IN BOOK 3490, PAGE 483, OF OFFICIAL RECORDS.

AFFECTS PARCEL 2.
AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF NAME W. BRUCKART RECORDED MARCH 31, 1961 IN BOOK 5392, PAGE 454, OF OFFICIAL RECORDS.

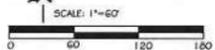
AFFECTS PARCEL 3.
SAID EASEMENT IS BLANKET IN NATURE.

6. AN EASEMENT FOR DRAINAGE AND INCIDENTAL PURPOSES DEDICATED ON THE MAP OF ASSESSORS MAY RECORDED MARCH 17, 2011 AND ON FILE IN BOOK 0292, PAGE 16, OF ASSESSORS MAPS.

SAID OFFER OF DEDICATION WAS NOT ACCEPTED (OR WAS REJECTED).

SOURCE OF SURVEY

TOPOGRAPHIC SURVEY
DATED JANUARY, 2015
AS CONDUCTED BY
ON POINT LAND SURVEYING INC.
3710 ALABAMA STREET, SUITE
REDLANDS, CALIFORNIA 92373
PHONE: (909) 792-2221
FAX: (909) 794-1836



LEGEND

- ASPHALT CONCRETE
- AIR VAC
- CD SWFR CLEANOUT
- DDCV DOUBLE DETECTOR CHECK VALVE
- EDG EDGE OF PAVEMENT
- EPB EDISON PULLBOX
- EX EXISTING
- PH EXISTING FIRE HYDRANT
- ICV IRIGATION CONTROL VALVE
- MH MANHOLE
- PCC PORTLAND CEMENT CONCRETE
- PV POST INDICATOR VALVE
- PL PROPERTY LINE
- PP PONESPOLE
- RW RIGHT-OF-WAY
- SL EXISTING STREET LIGHT
- SMH SEWER MANHOLE
- TYP TYPICAL
- WM WATER METER
- EXISTING PALM TREE
- PROPOSED PCC SIDEWALK
- PROPOSED AC STREET
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT

UTILITIES

CABLE

TIME WARNER CABLE
1500 AUTO CENTER DRIVE
ONTARIO, CA 91761
(909) 975-3378

TELEPHONE

VERIZON
9 SOUTH 4TH STREET
REDLANDS, CA 92373
(909) 748-6646

WATER & SEWER

CITY OF LOMA LINDA
25541 BARTON ROAD
LOMA LINDA, CA 92354
(909) 799-4404

ELECTRIC

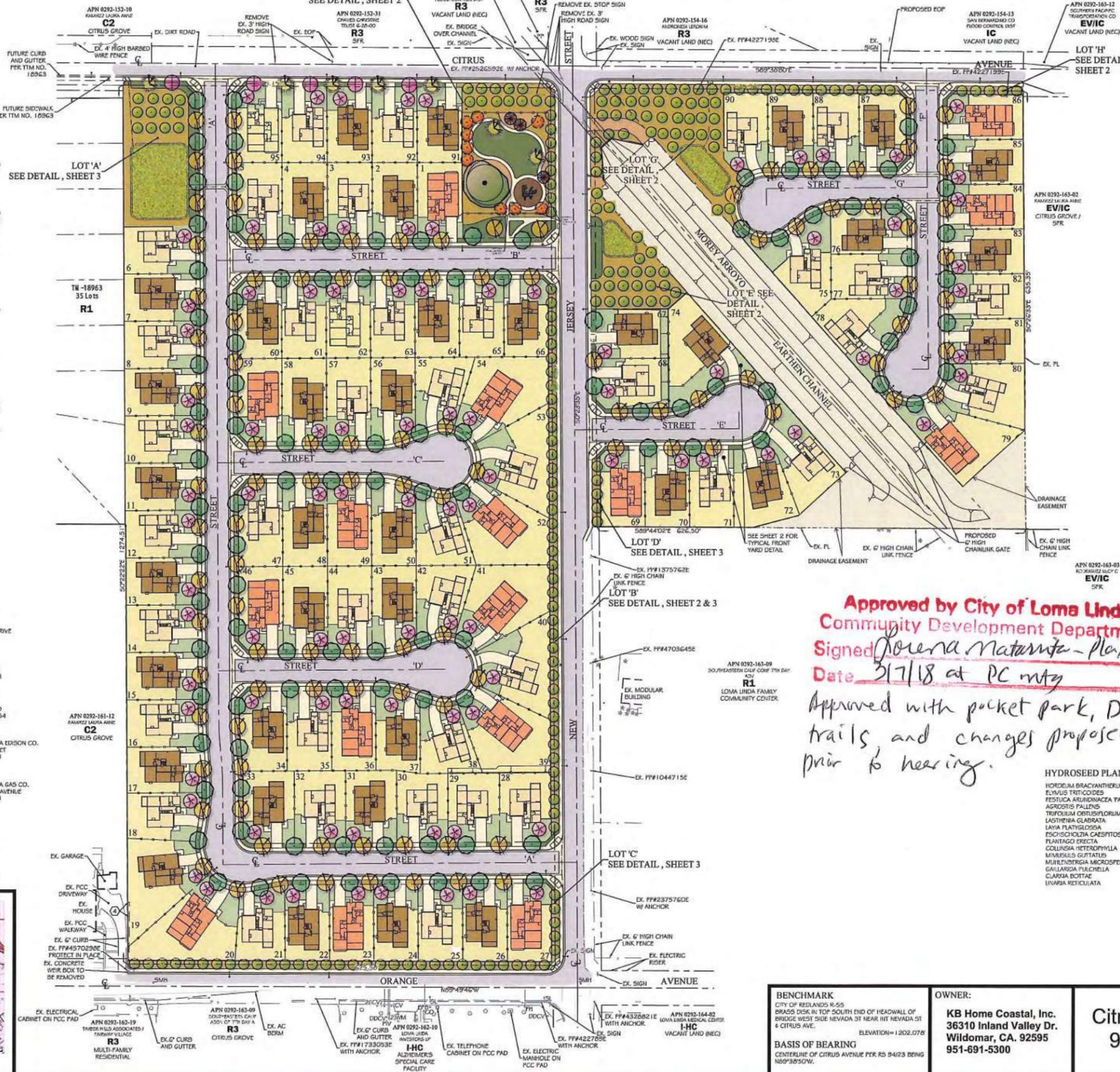
SOUTHERN CALIFORNIA EDISON CO.
207 TENNESSEE STREET
REDLANDS, CA 92373
(909) 307-6768

GAS

SOUTHERN CALIFORNIA GAS CO.
1181 WEST LUGONIA AVENUE
REDLANDS, CA 92373
(909) 333-7750

ZONING LEGEND

- IC COMMUNITY INDUSTRIAL (County of San Bernardino)
- EVIC EAST VALLEY CORRIDOR SPECIFIC PLAN - COMMERCIAL INDUSTRIAL (City of Redlands)
- IHC INSTITUTIONAL - HEALTH CARE (City of Loma Linda)
- C2 GENERAL COMMERCIAL (City of Loma Linda)
- R1 SINGLE FAMILY RESIDENTIAL 0-4 DUAC (City of Loma Linda)
- R3 HIGH DENSITY RESIDENTIAL 0-13 DUAC (City of Loma Linda)



PLANT LEGEND:

SYMBOL	PLANT NAME	QTY.	SIZE
[Symbol]	STREET TREES		
[Symbol]	OLEA PARVIFLORA	109	24" BOX
[Symbol]	AUSTRALIAN WILLOW	109	36" BOX
[Symbol]	MANDARIN ST. MARY N.C.L. TBD by City Staff		
[Symbol]	RHUS LANCEA	5	24" BOX
[Symbol]	AFRICAN SUMAC		
[Symbol]	PROPOSED CITRUS TREE	225	15 GAL
[Symbol]	TOT LOT TREES		
[Symbol]	ABUTILON LINDO	9	15 GAL
[Symbol]	STRAWBERRY TREE		
[Symbol]	LAGESTROBIA INDICA	3	24" BOX
[Symbol]	GRAPE MYRTLE (MULTI-TRUNK)		
[Symbol]	RHUS LANCEA	2	24" BOX
[Symbol]	AFRICAN SUMAC		
[Symbol]	EXISTING OAK TREE TO REMAIN		
[Symbol]	TYPICAL FRONT YARD ACCENT TREES		
[Symbol]	CERCIS CANADENSIS	15	5 GAL
[Symbol]	EASTERN REDBUD		
[Symbol]	LAGESTROBIA INDICA	15	5 GAL
[Symbol]	GRAPE MYRTLE		
[Symbol]	ERIPHOLOPS INDICA MAJESTIC BEAUTY	15	5 GAL
[Symbol]	INDIAN HAWTHORN (TREE FORM)		
[Symbol]	TYPICAL FRONT YARD BACKGROUND SHRUBS		
[Symbol]	PALEXIA DAVIDI HAWPONDIA MICHAM	3	5 GAL
[Symbol]	PETITE PLUM DWARF BUTTERFLY BUSH		
[Symbol]	LEONARDUS LEONORTIS	3	5 GAL
[Symbol]	LIONS TAIL		
[Symbol]	LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	5	5 GAL
[Symbol]	TEXAS RANGER		
[Symbol]	TYPICAL FRONT YARD UPLIGHT ACCENT SHRUBS		
[Symbol]	ACHILLEA FILIPENDULA	5	5 GAL
[Symbol]	FERNLEY YARROW		
[Symbol]	ARGENTANTHUS PLANDIS	5	5 GAL
[Symbol]	KANGAROO PAW		
[Symbol]	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	5	5 GAL
[Symbol]	ROSEMARY		
[Symbol]	TYPICAL FRONT YARD FOUNDATION SHRUBS		
[Symbol]	ABELIA GRANDIFLORA TALEDSCOPE	5	5 GAL
[Symbol]	N.C.L.		
[Symbol]	CALLISTEMON VARRIANS LITTLE JOHN DWARF BUTTERFLY BUSH	5	5 GAL
[Symbol]	N.C.L.		
[Symbol]	ERIPHOLOPS INDICA MAJESTIC BEAUTY	5	5 GAL
[Symbol]	INDIAN HAWTHORN		
[Symbol]	TYPICAL FRONT YARD ACCENT SHRUBS		
[Symbol]	HEDERALEZE PARVIFLORA	5	5 GAL
[Symbol]	RED WICK STEPPED		
[Symbol]	MULBERBERIA CAPILLARIS	5	5 GAL
[Symbol]	PIK MEELY		
[Symbol]	SALVIA LUCICANTHA	5	5 GAL
[Symbol]	MEXICAN BUSH SAGE		
[Symbol]	TYPICAL FRONT YARD SMALL MASSING SHRUBS		
[Symbol]	HEMEROCALLIS HYBRID	1	5 GAL
[Symbol]	DWARLY		
[Symbol]	SELECO CHERARRA	1	5 GAL
[Symbol]	DUSTY MILK		
[Symbol]	TUBAEGIA VIOLEA	1	5 GAL
[Symbol]	SOCIETY GARLIC		
[Symbol]	WALL SCREENING SHRUB		
[Symbol]	LIQUIDAMBAR LORNA	159	5 GAL
[Symbol]	WALK PRUIT		
[Symbol]	BORDETICHIA AREA BUTTER SHRUBS	125	5 GAL
[Symbol]	MULBERBERIA RIGIDA		
[Symbol]	DEER GRASS		
[Symbol]	MULBERBERIA RIGIDA 'NASHVILLE'	36	5 GAL
[Symbol]	PURPLE NARBY		
[Symbol]	CITRUS AREA SHRUBS		
[Symbol]	LIQUIDAMBAR LORNA	1040	1 GAL
[Symbol]	PRUIT		
[Symbol]	CITRUS AREA VINE		
[Symbol]	HECERA AZUL 'SILVERDUST'	90	5 GAL
[Symbol]	SILVERDUST ENGLISH IVY		
[Symbol]	TOT LOT SHRUBS		
[Symbol]	ACHILLEA TOBIENHOSEA	26	1 GAL
[Symbol]	INDIAN HAWTHORN		
[Symbol]	ARCTOSTAPHYLOS EMERALD CARPET	70	5 GAL
[Symbol]	MANCINELLA		
[Symbol]	ERIPHOLOPS LVARIA	46	1 GAL
[Symbol]	RED HOT POKEE		
[Symbol]	MULBERBERIA RIGIDA	97	5 GAL
[Symbol]	DEER GRASS		
[Symbol]	MANDARIN DOMESTICA 'COMPACTA'	43	1 GAL
[Symbol]	HEAVENLY BAMBOO		
[Symbol]	RHUS OVATA	24	5 GAL
[Symbol]	SUGAR BUSH		
[Symbol]	SALVIA LUCICANTHA	6	5 GAL
[Symbol]	MEXICAN BUSH SAGE		
[Symbol]	SANTOLINA CHAMAECYPARISSUS	31	1 GAL
[Symbol]	LANDYER COTON		
[Symbol]	GROUNDCOVER		
[Symbol]	TURF		
[Symbol]	3" THICK WOOD MULCH FOR ALL PLANTED AREAS EXCEPT WHERE TURF OR DECOMPOSED GRANITE IS PROPOSED		
[Symbol]	DECOMPOSED GRANITE FOR ACCENT PLANTERS		
[Symbol]	NORTHERN AREA HYDROSEED MIX: SEE PLANT LIST, LEFT		
[Symbol]	BOULDERS, APPROX. SIZE AS SHOWN COLOR TO BE DETERMINED	10	

* QUANTITIES ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR OWN QUANTITIES.

EXHIBIT - D

Approved by City of Loma Linda
Community Development Department
Signed *Norma Nataranta - Planning*
Date 3/7/18 at PC mtg
Approved with pocket park, D.G. trails, and changes proposed prior to hearing.

HYDROSEED PLANT LIST:

- HORDEUM BRACANTHERUM
- ELVUS TRITICOIDES
- FESTUCA ARUNDINACEA FAMILY
- AGROSTIS PALLENS
- TRIPLOID CYRUSIFLORUM
- LASTHENIA GLABRATA
- LAVIA PLATYGLOSSA
- ESCHSCHOLZA CAESPITOSA
- PLANTAGO SPICATA
- COLUMBA HETEROPHYLLA
- MINERUS GUTTATUS
- MULLEBERBERIA MICROSTERMA
- GALLARIDA PULCHELLA
- CLARIA BOTTAE
- UNIVIA RETICULATA

BENCHMARK
CITY OF REDLANDS R-55
BRASS DISK IN TOP SOUTH END OF HEADWALL OF BRIDGE WEST SIDE NEVADA ST NEAR HIT NEVADA ST & CITRUS AVE. ELEVATION=1202.078

BASIS OF BEARING
CENTERLINE OF CITRUS AVENUE PER RS 94123 BEING N89°30'S05W.

OWNER:
KB Home Coastal, Inc.
36310 Inland Valley Dr.
Wildomar, CA 92595
951-691-5300

Citrus Glen
95 Lots

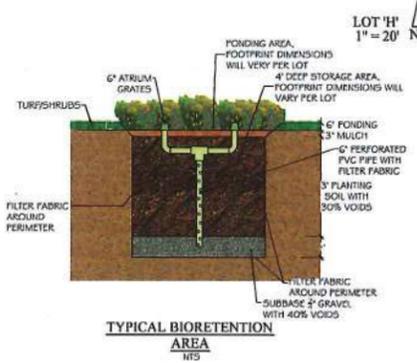
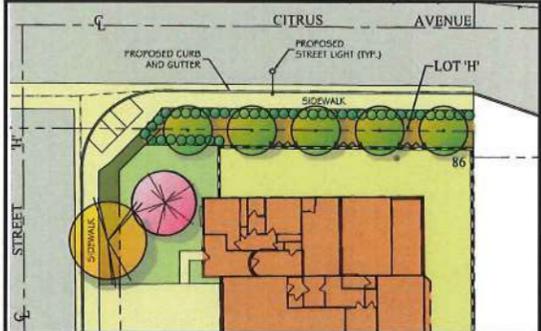
PRELIMINARY LANDSCAPE PLAN
TENTATIVE TRACT 19963
CITY OF LOMA LINDA
NEW JERSEY STREET
APN 0292-161-02, 03 AND 0292-163-08

land planning
civil engineering
landscape architecture
phone 909.748.7777
fax 909.748.7776
thatcher engineering & associates, inc.
1481 52nd street, suite 105, redlands, ca 92373

Job Number: 157002
Date Prepared: Revised 12/11/17
Drawn By: BK
Reference Number: 157002CJ2
Sheet No: 1 OF 3



SEE SHEET 3



PRELIMINARY LANDSCAPE PLAN
 TENTATIVE TRACT 19983
 COUNTY OF SAN BERNARDINO
 (TO BE ANNEXED TO CITY OF LOMA LINDA)
 NEW JERSEY STREET
 APN 0292-181-02, 03 AND 0292-163-08

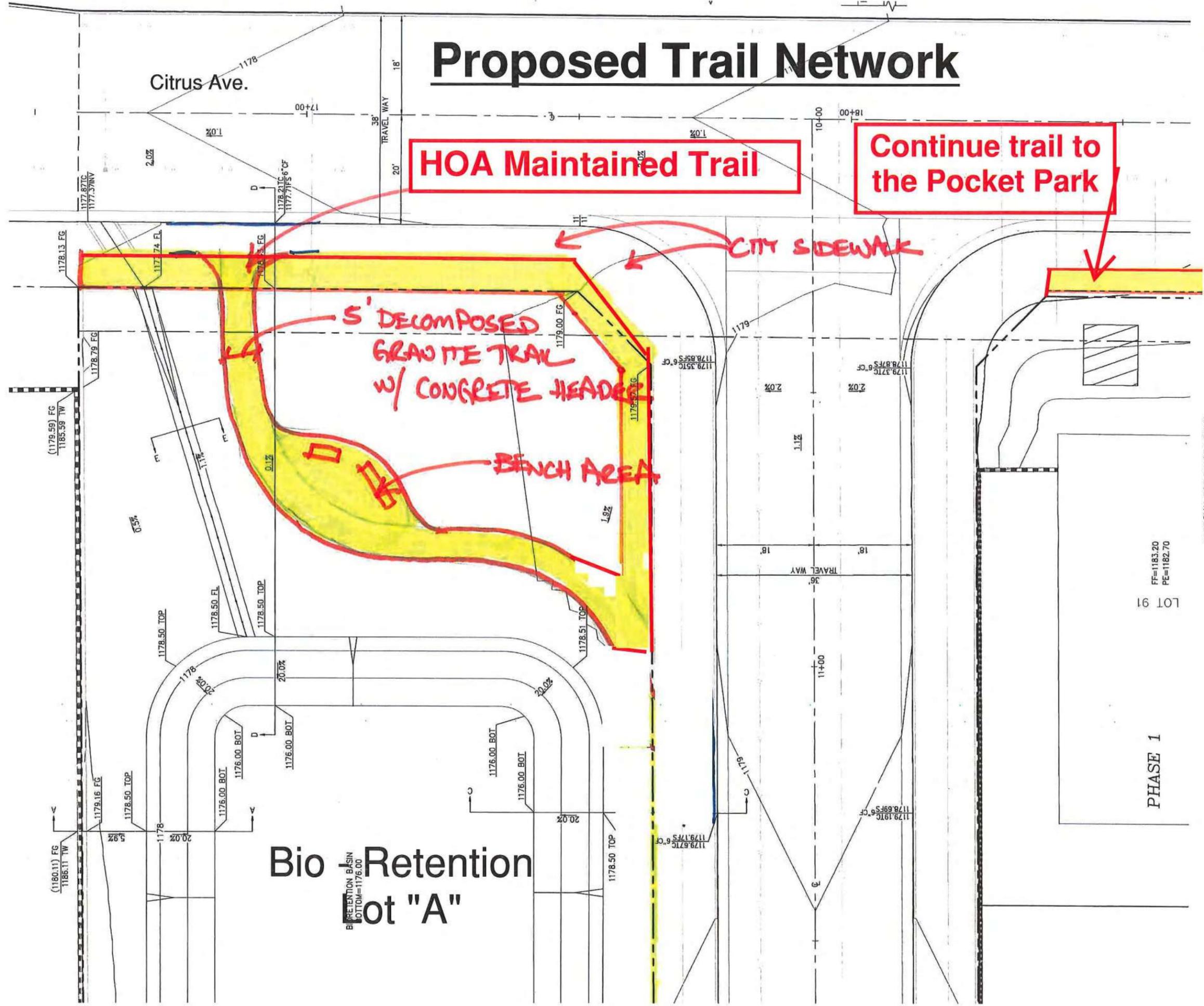


KB Home Coastal, Inc.
 36310 Inland Valley Dr.
 Wildomar, CA. 92595
 951-691-5300

Job Number:	Date Prepared:	Drawn By:	Reference Number:	Sheet No.
157002	Revised 12/11/17	SK	157002CLP2	2 OF 3

157002CLP2

Proposed Trail Network



Michael Baker INTERNATIONAL
3536 CONCOURSE ST., SUITE 100
ONTARIO, CA 91764

APPROVAL FOR PHASE 1 ONLY

APPROVED

T. JARB THAIPEIJR, R.C.E. 47907
DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

DATE

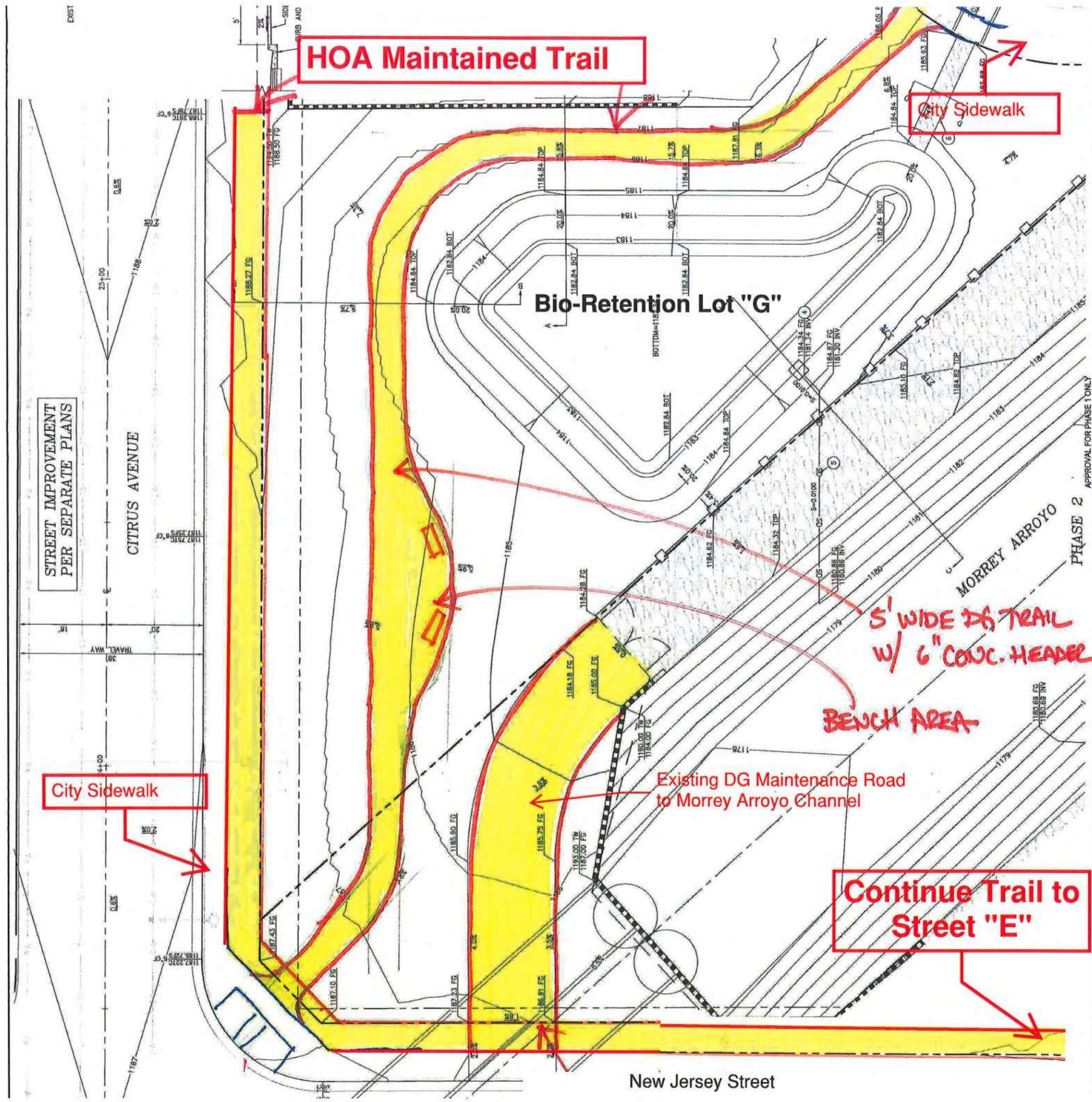
BENCH MARK

Scale

1" = 10'

REVISIONS

BY



HOA Maintained Trail

City Sidewalk

Bio-Retention Lot "G"

**5' WIDE DG TRAIL
W/ 6" CONC. HEADER**

BENCH AREA

**Existing DG Maintenance Road
to Morrey Arroyo Channel**

**Continue Trail to
Street "E"**

**STREET IMPROVEMENT
PER SEPARATE PLANS**

CITRUS AVENUE

City Sidewalk

New Jersey Street



**Michael Baker
INTERNATIONAL**
3333 CONCORDS ST., SUITE 100
DUBLINO, CA 94568

APPROVAL FOR PHASE 1 ONLY
APPROVED
T. JAMES THAYER P.E. 47807
DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

PHASE 2
DATE

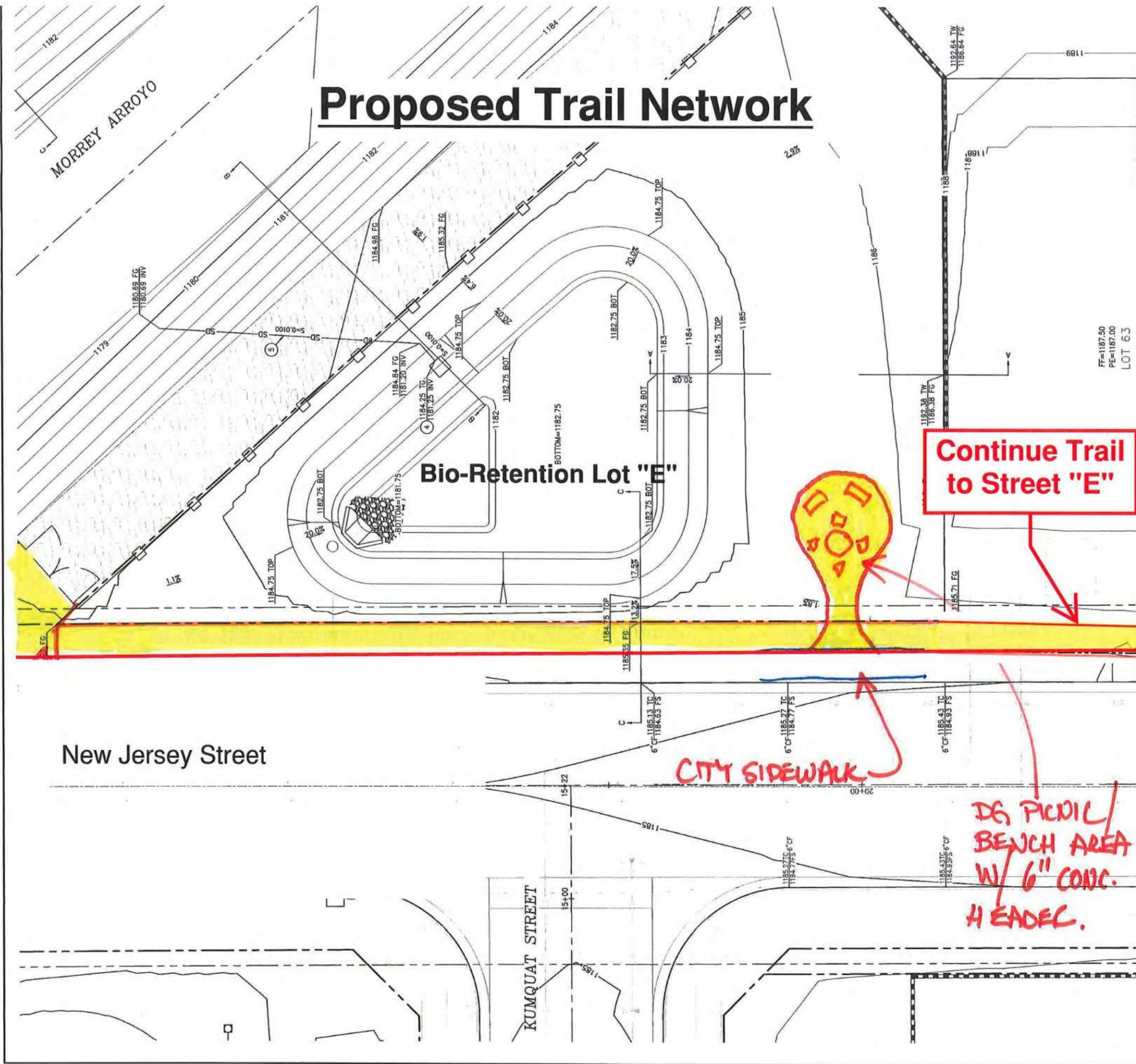
REVISIONS

NO.	DATE	BY	REVISIONS

DATE

07222

Proposed Trail Network



Continue Trail to Street "E"

CITY SIDEWALK

**DG PICKUP/
BENCH AREA
W/ 6" CONC.
HEADWALL.**

FF=1187.50
PE=1187.00
LOT 63

UNDERGROUND SERVICE ALERT: CALL 811 TWO WORKING DAYS BEFORE YOU DIG	DESIGNED BY: WS PLANS PREPARED UNDER THE SUPERVISION OF: ANGEL CESAR DATE: 2017-09-07	CHECKED BY: AC R.C.E. 87222	REVISIONS DATE BY	BENCH MARK Scale: 1" = 10' APPROVAL FOR PHASE 1 ONLY APPROVED
	T. JARIB TUAPEIR R.C.E. #1907 DIRECTOR OF PUBLIC WORKS/CITY ENGINEER	REVISIONS DATE BY	BENCH MARK Scale: 1" = 10' APPROVAL FOR PHASE 1 ONLY APPROVED	REVISIONS DATE BY

Approved by City of Loma Linda
City Planning Department
Signed Serena Motomuki - Planning
Date 3/7/18 at PC mtg



Pick-A-Lot Program Citrus Glen TM-19963

PAL Goal:

Allow homebuyers maximum choice and flexibility while minimizing processing time, and cost, for the developer and the agency.

Typical Process:

1. Obtain approval for the proposed home designs and Site Plan per Loma Linda Planning Division's, Precise Plan of Design Process.
2. The approved Site Plan must show the largest footprint that will fit on any given lot with the setbacks and other pertinent information listed. Each foot print should list what plans will fit on the lot.
 - a. Typical front yards, private slopes, wall and fence plans, and street tree plans should not be significantly affected by Pick-A-Lot since they are "typical".
3. Developer/Civil Engineer then designs a Precise Grading Plan which will become a living history of the project as each permit is pulled and the actual homes will be plotted on it with the date of the latest approval as additional permits are pulled.
4. Developer, using the agency rules, allows customer to select lot, floor plan, and elevation from the approved Site Plan and product, and plots it on the Precise Grading Plan.
5. Developer makes an appointment with the Planning Division and submits for an "over the counter review" of the Precise Grading Plan to ensure the plotting meets the approved rules and Site Plan constraints. If the plan is in order, the agency approves it and signs the predetermined number of copies.
 - a. Each submittal should cloud the new homes only and have the date of latest approval and date of proposed revision in the revision block on the plans.
 - b. Existing homes already approved should be on the site plan for reference.
6. Once the Updated Precise Grading Plan is reviewed and approved by Planning staff for each residential submittal, a building permit is then processed and issued.

Typical Plotting Rules:

1. No more than two (2) of the same floor plans directly adjacent to each other.
2. No identical elevations directly adjacent or directly across the street.
3. No same exterior color schemes may be plotted adjacent to each other.

Dated: January 3, 2018

36310 Inland Valley Drive, Wildomar, CA 92595
Tel. (951) 691-5300 Fax (951) 677-2190

KB HOME PICK-A-LOT PROGRAM

CITRUS GLEN TM-19963

LOT FIX MATRIX						
LOT	Plan 1	Plan 1 Off	Plan 2	Plan 3	Plan 4	Total
1	B-R		A-R	A-R	A-R	1,2,3,4
2	A-R		A-R	A-R		1,2,3
3	B-L		B-L	A-L		1,2,3
4	C-L		C-L	A-L		1,2,3
5	A-L		A-L	A-L		1,2,3
6	B-L		B-L	A-L		1,2,3
7	C-R		C-R	A-R		1,2,3
8	A-L		A-L	A-L		1,2,3
9	B-L		B-L	A-L		1,2,3
10	C-L		C-L	A-L		1,2,3
11	A-L		A-L	A-L		1,2,3
12	B-L		B-L	A-L		1,2,3
13	C-L		C-L	A-L		1,2,3
14	A-L		A-L			1,2
15	B-L		B-L			1,2
16	C-L		C-L	A-L	B-L	1,2,3,4
17	A-L					1
18	B-L		B-L	B-L	A-L	1,2,3,4
19	C-L		C-L	C-L	B-L	1,2,3,4
20	A-L		A-L	A-L	C-L	1,2,3,4
21	B-L		B-L	B-L	A-L	1,2,3,4
22	C-L		C-L	C-L	B-L	1,2,3,4
23	A-R		A-R	A-R	C-R	1,2,3,4
24	B-L					1
25	A-R					1
26	B-R					1
27	C-R		C-R	A-R		1,2,3
28	A-R		B-R	A-R		1,2,3
29	B-R		A-R	A-R		1,2,3
30	A-L		A-L	B-L	A-L	1,2,3,4
31	B-R		B-R	C-R	B-R	1,2,3,4
32	C-L		C-L	A-L	C-L	1,2,3,4
33	A-R		A-R			1,2
34		B-L				1 Off
35	C-L		C-L	C-L	A-L	1,2,3,4
36	A-R					1
37	B-R		B-R	B-R	C-R	1,2,3,4
38		B-R				1 Off
39	C-R		A-R	A-R	A-R	1,2,3,4
40	A-L		B-L	B-L	C-L	1,2,3,4

Floor Plan w/Square Feet	
Plan 1	1751 SF 1st Floor w/Pop-Top 2435 SF
Plan 1 Off	1638 SF 1st Floor w/Pop-Top 2321
Plan 2	2048 SF 1st Floor w/Pop-Top 2733 SF
Plan 3	2386 SF 1st Floor
Plan 4	2507 SF 1st Floor

Elevations	
A	Mediterranean
B	Bungalow
C	Prairie

Garage Location	
R	Right Hand Garage
L	Left Hand Garage

Lot Fit Matrix/Color Code	
	Plan 1 All Elevations
	Plan 1 Off/B Only Eleva.
	Plans 1,2 All Elevations
	Plans 1,2,3 All Elevations
	Plans 1,2,3,4 All Eleva.

KB HOME PICK-A-LOT PROGRAM CITRUS GLEN TM-19963

41	B-R			C-R	C-R	B-R	1,2,3,4
42	C-R			A-R	A-R	A-R	1,2,3,4
43	A-L			A-L	B-L	A-L	1,2,3,4
44	B-R			B-R	C-R	B-R	1,2,3,4
45	C-L			C-L	A-L	C-L	1,2,3,4
46	A-R			A-R	A-R	A-R	1,2,3,4
47		B-R					1 Off
48	C-L			C-L	C-L	A-L	1,2,3,4
49	A-R						1
50	B-R			B-R	B-R	C-R	1,2,3,4
51		B-R					1 Off
52	C-R			A-R	A-R	A-R	1,2,3,4
53	A-L			C-L	B-L	C-L	1,2,3,4
54	B-R			B-R	C-R	B-R	1,2,3,4
55	C-R			A-R	A-R	A-R	1,2,3,4
56	A-L			A-L	B-L	A-L	1,2,3,4
57	C-L						MODEL
58						B-L	MODEL
59	A-R			A-R	B-R	A-R	1,2,3,4
60	B-R			B-R	C-R	B-R	1,2,3,4
61	C-L			C-L	A-L	C-L	1,2,3,4
62	A-R			A-R	B-R	A-R	1,2,3,4
63	B-R			A-R	A-R		1,2,3
64	C-L			B-L	A-L		1,2,3
65	A-L			A-L	B-L	A-L	1,2,3,4
66	B-L			B-L	C-L	B-L	1,2,3,4
67	C-L			C-L	A-L	C-L	1,2,3,4
68	B-L			A-L	A-L	A-L	1,2,3,4
69	A-L						1
70	C-L			B-L	A-L		1,2,3
71		B-L					1 Off
72	A-L			A-L	B-L	B-L	1,2,3,4
73	C-L			B-L	C-L	A-L	1,2,3,4
74		B-L					1 Off
75	C-L			B-L	B-L	B-L	1,2,3,4
76	C-R			A-R	C-R	C-R	1,2,3,4
77	B-R			C-R	A-R	A-R	1,2,3,4
78	A-R			B-R	B-R	B-R	1,2,3,4
79	B-R			A-R	C-R	C-R	1,2,3,4
80	C-R			C-R	A-R	A-R	1,2,3,4
81	A-R			B-R	B-R	B-R	1,2,3,4
82	B-R			A-R	C-R	A-R	1,2,3,4
83	A-L			B-L	A-L		1,2,3
84	B-L			A-L	B-L		1,2,3
85	C-L			C-L	C-L		1,2,3
86	A-L			B-L	A-L	A-L	1,2,3,4

**KB HOME PICK-A-LOT PROGRAM
CITRUS GLEN TM-19963**

87	C-L			B-L	A-L		1,2,3
88	A-L			A-L	A-L		1,2,3
89	C-L			C-L	B-L	A-L	1,2,3,4
90	B-L			B-L	C-L	B-L	1,2,3,4
91	A-L			A-L	A-L	A-L	1,2,3,4
92	A-R			B-R	B-R	B-R	1,2,3,4
93	C-R			C-R	C-R	C-R	1,2,3,4
94	B-R			A-R	A-R	A-R	1,2,3,4
95	A-R			B-R	B-R	B-R	1,2,3,4