

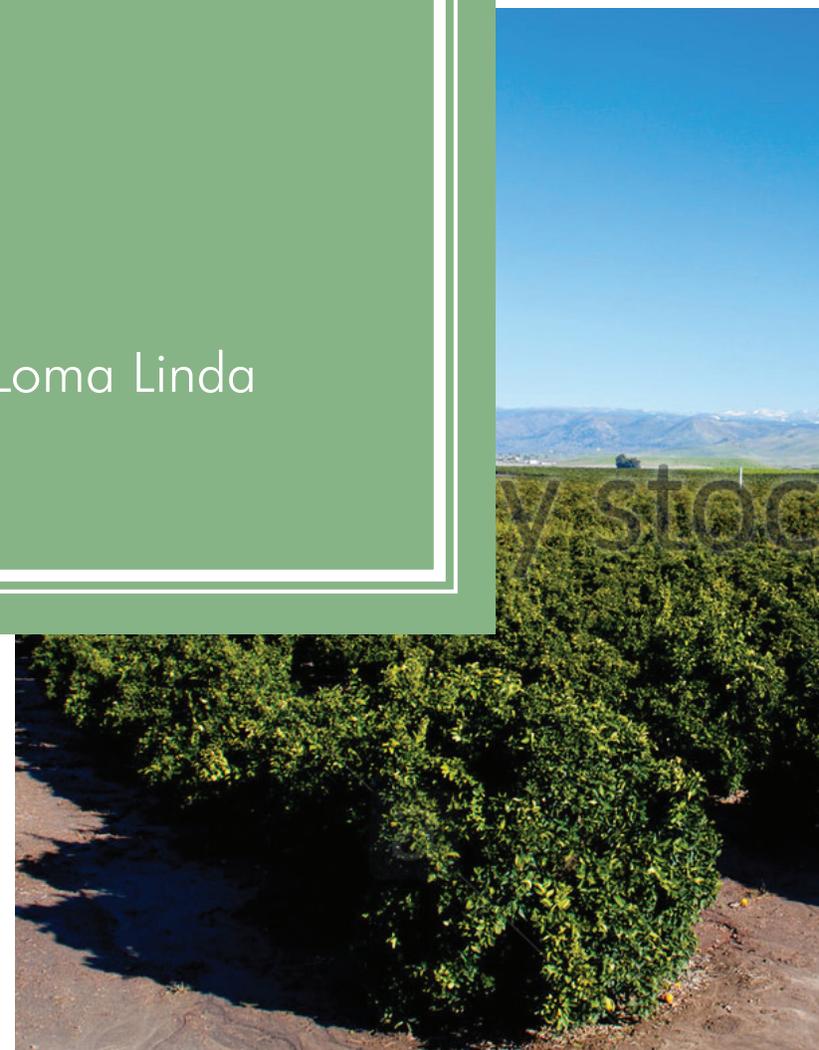


THE GROVES AT LOMA LINDA

Specific Plan

(Hearing Draft, June 12, 2018)

City of Loma Linda



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1

INTRODUCTION



Chapter 1 - Introduction

1.1 - ROLE AND FUNCTION OF SPECIFIC PLANS

A Specific Plan is a tool for the systematic implementation of the general plan for a designated area. It should effectively establish a link between implementing policies of the general plan and the individual development proposal(s) within a defined plan area. Specific Plans function as versatile tools for implementing general plans and defining a particular development or land use. They systematically implement the general plan for all or part of the area under its scope in any of three ways: (1) by acting as statements of planning policy that refine the general plan policies applicable to a defined area; (2) by directly regulating land use; or (3) by bringing together detailed policies and regulations into a focused development scheme. Once a Specific Plan is adopted, all development projects and development agreements for that specific area must be consistent with the plan.

A Specific Plan may be as general as setting forth broad policy concepts, or as detailed as providing direction to every facet of development or utilization of the land from the type, location and intensity of uses to the design and capacity of infrastructure; from the resources used to finance public improvements to the design guidelines of a development project.

1.2 - AUTHORITY FOR SPECIFIC PLANS

Authority for the Specific Plan is established by California Government Code, Title 8, Division 1, Chapter 3, Article 8, Sections 65450 through 65457, which grants authority to cities to adopt Specific Plans for the purposes of implementing the goals and policies of their general plans. A Specific Plan must be consistent with the adopted general plan of the jurisdiction within which it is located. In turn, all subsequent subdivision, development, public works projects and zoning regulations for the defined area must be consistent with the adopted Specific Plan.

As with a general plan, the authority for adoption of the Specific Plan is vested with the local legislative body pursuant to Government Code Section 65453(a). Unlike the general plan, which is required to be adopted by resolution (Section 65356), two options are available for the adoption of a Specific Plan: (1) adoption by resolution, which is designed to be policy driven; or (2) adoption by ordinance, which is regulatory by design. Government Code Section 65453(a) states that a Specific Plan may be amended as often as necessary. Amendments to a Specific Plan are accomplished in the same manner as its adoption.

1.3 - REQUIRED SPECIFIC PLAN CONTENT

The range of issues contained in a Specific Plan is generally left to the discretion of the decision-making body; however, all Specific Plans, must comply with Sections 65450 - 65457 of the Government Code. Further, the California Office of Planning and Research provides guidelines for the preparation of Specific Plans.

Section 65451 of the Government Code mandates that a Specific Plan be structured as follows:

(a) A Specific Plan shall include a text and a diagram or diagrams which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).

(b) The Specific Plan shall include a statement of the relationship of the Specific Plan to the general plan.

1.4 - REGULATORY PURPOSE OF THIS SPECIFIC PLAN

The purpose of THE GROVES at Loma Linda Specific Plan (THE GROVES Specific Plan or Specific Plan) is to allow for development across 299.81 acres in a coordinated manner that accommodates the multiple ownerships, large size and visual prominence of this area. The unique considerations of this area require a comprehensive approach to its planning in order to accomplish a rational land use pattern.

Further, due the Loma Linda General Plan land use designation of this area as Special Planning Area "D" (SPA-D), as master-planned approach is a requirement. More specifically, the General Plan requires that this area be comprehensively planned to fulfill the criteria set forth by the Implementing Policies and in accordance with General Plan Table 2B. THE GROVES Specific Plan is a comprehensive planning document that will establish the preliminary land use development entitlement for the balance of the previously un-entitled SPA-D area, as well as the shared circulation, infrastructure and parkland programs for the entire 299.81 acre area.

It is the intent that SPA-D be comprehensively planned and the implementation and buildout of this area be coordinated, and not piecemealed, to ensure that development reflects the Guiding Policy and Implementing Policies (as per the General Plan) for siting of land uses and buildings, architectural design, landscaping, road infrastructure, utilities, and other community elements.

The General Plan's vision for this area is a "livable, walkable community" with a high level of amenities for residents, such as parks, trails and paseos, and other recreational uses, exhibiting a high level of design quality. Another key concept for this area is development of a large, sports-oriented community park to assist Loma Linda in achieving its desired park acreage-to-population ratio.

In addition, this area is intended to be characterized by a horizontal and vertical mixed uses developed along the frontages of Redlands Boulevard and California Street, including commercial, office, structured parking, and up to 400 very high density residential dwelling units. Single-family residential uses should be placed towards the central, western, and southern portions of the Specific Plan area, with multi-family development permitted toward the interior of the area. New residential uses in proximity to existing, historical residential uses along Mission Road should be compatible in density and scale to those historic residential uses.

The General Plan envisions establishment of a heritage park within the Redlands Boulevard/California Street in SPA-D, providing passive recreational uses within an historic setting, consisting of examples of local historic architecture. This vision includes relocating historic homes into the park, and establishing a local heritage/cultural museum, as well as adapting the structures for use for civic and cultural events, as well as for use by local civic and cultural organizations.

Religious assembly uses are also anticipated along Redlands Boulevard and California Street. The existing Mission Elementary School at the corner of Redlands Boulevard and California Street should continue as an educational facility or otherwise the historic buildings should be adaptively reused for professional and medical offices, low intensity commercial and restaurant use, or other similar compatible uses.

THE GROVES Specific Plan establishes the preliminary land use development entitlement for the balance of the SPA-D area through defining the proposed development program for the previously un-entitled balance of SPA-D, which includes approximately 103 acres for the Phase Three Concept Area.

The Specific Plan incorporates previous approvals for the Phases One and Two Concepts, and updates some provisions tied to those approvals to ensure consistency with and streamline the implementation and administration of THE GROVES Specific Plan. Further, the Specific Plan provides the City and landowners with the necessary flexibility to respond to market demand and evolving community needs.

The primary entitlement action includes adoption of THE GROVES Specific Plan by ordinance. Secondary entitlement actions include an amendment of the Citrus Trails Master Plan, which becomes incorporated within the Specific Plan, and removal of the East Valley Corridor Specific Plan designation from properties located along Redlands Boulevard.

THE GROVES Specific Plan provides the regulatory framework for a master-planned approach under which meaningful phased development can be implemented within SPA-D and to facilitate orderly development and to ensure that adequate pre-planning is considered to achieve the intended balance of land uses, internal connectivity, and breadth of community amenities.

This Specific Plan is intended to streamline and improve overall management and administration of SPA-D, while ensuring uses are developed and operated compatibly with surrounding uses. This Specific Plan also addresses long-term infrastructure and neighborhood compatibility issues.

1.5 - OVERVIEW OF THE GROVES DEVELOPMENT

The Specific Plan is intended to allow for improvements and development within the 299.81 acre SPA-D. Under the Specific Plan, the type and relationship of allowed land uses and intensities would be as depicted in the Loma Linda General Plan Table 2B: *Table Special Planning Area D Land Use Concept* (as adopted and amended).

Upon complete buildout of the Specific Plan, a maximum 1,067 residential dwelling units would be allowed, including a required 549 units that meet affordable/special needs housing targets consistent with the adopted Housing Element. Also, approximately 10-12 acres of commercial/businesses/services uses would be established providing up to approximately 930,000 square feet (maximum) within the mixed-use areas. In addition, almost 70 acres of active and passive park and open space area would be integrated throughout the community. A summary of existing and proposed development described in this Specific Plan is provided in Table 1-1, Summary of THE GROVES Development.

Table 1.1 – THE GROVES Land Use Statistical Summary

Land Use Designation	Acreage	Assigned DU	Required Affordable DU	Assigned Maximum SF
Very Low Density Residential	29.3	60	0	0
Low Density Residential	49.5	198	0	0
Medium Density Residential	12.4	103	0	0
High Density Residential	10.1	93	0	0
Senior Citizen Housing	9.0	213	149	0

Land Use Designation	Acreage	Assigned DU	Required Affordable DU	Assigned Maximum SF
Mixed Use-Residential	20.0	400	400	0
Mixed-Use-Retail /Service /Office	57.0	0	0	903,665
Institutional	25.1	0	0	0
Park	40.4	0	0	25,000
Open Space, Trails, Private Park, RUSD field Park	27.8	0	0	0
Road	19.3	0	0	0
TOTAL	299.8	1,067	549	928,665

1.6 - CONTENTS OF THIS SPECIFIC PLAN

THE GROVES Specific Plan is organized as follows:

Chapter 1.0 – Introduction: This chapter provides an explanation of the role and function of Specific Plans, the purpose of THE GROVES Specific Plan, and a summary overview of the subject THE GROVES uses, activities and development.

Chapter 2.0 – Planning Context: This chapter describes the location, setting, context and planning issues associated with THE GROVES and the objectives of the Specific Plan.

Chapter 3.0 – Development Plan: This chapter includes the conceptual and component-Specific Plans for THE GROVES development. In addition to the concept overview, this chapter provides component plans for the land use concept; mobility and circulation, parks, open space and recreation; conservation and preservation; grading, drainage and water quality compliance; and infrastructure, utilities and services plan.

Chapter 4.0 – Development Standards and Guidelines: This chapter sets forth allowed land uses, site planning standards, permitting requirements, landscaping, monitoring and reporting provisions for all uses and development within THE GROVES area.

Chapter 5.0 – Implementation and Administration: This chapter provides a review of the Specific Plan’s relationship to the City’s General Plan, Loma Linda Municipal Code (including the Zoning Code), and other regulatory codes. In addition, this chapter discusses the implementation, administration and amendment process for the Specific Plan.

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2

PLANNING CONTEXT



Chapter 2 - Planning Context

2.1 - LOCATION AND PLAN BOUNDARY

2.1.1 - Project Location

THE GROVES at Loma Linda Specific Plan is located in the northeast portion of the City of Loma Linda, west of the City of Redlands, 2.3 miles south of San Bernardino International Airport, 3.75 miles east of the I-215 Freeway, and approximately 0.5 miles south of the I-10 Freeway. The site is bordered by Redlands Boulevard to the north, California Street to the east, and Mission Road to the south. See Figure 2-1: *Regional and Vicinity Map*.

Located in the northeast portion of the City of Loma Linda, the Specific Plan site reflects the area referenced in the City's General Plan as "Special Planning Area D" (SPA-D). THE GROVES at Loma Linda Specific Plan site is bordered by Redlands Boulevard to the north, California Street to the east, Mission Road to the south, and residential uses on the west. Barton Road, one of the City's major east-west arterials, is approximately one tenth of a mile to the south of the Specific Plan site.

2.1.2 - Specific Plan Boundary

The Specific Plan area is defined as the entirety of the area that is located south of Redlands Boulevard, west of California Street, north of Mission Road and bounded on the west by the western edge of 0292-111-51 and 0292-111-31. The Specific Plan area covers 299.81 acres that are coincident with the boundary for SPA-D as defined by the General Plan.

The Specific Plan area is comprised of both developed and vacant areas, and areas that have been previously entitled for development through Phases One and Two Concept Area plans approved within SPA-D. The Specific Plan incorporates the Phase One and Two areas and establishes a Phase Three Concept Area for the balance of SPA-D. In addition, portions of the Specific Plan area that owned and managed by the Redlands Unified School District (RUSD) are included as "Other" (or a non-phase). See Figure 2-2: *Specific Plan Boundary and Phase Reference Map*. Phases are described in Chapter 3 of this Specific Plan.

Figure 2.1 – Regional and Vicinity Map

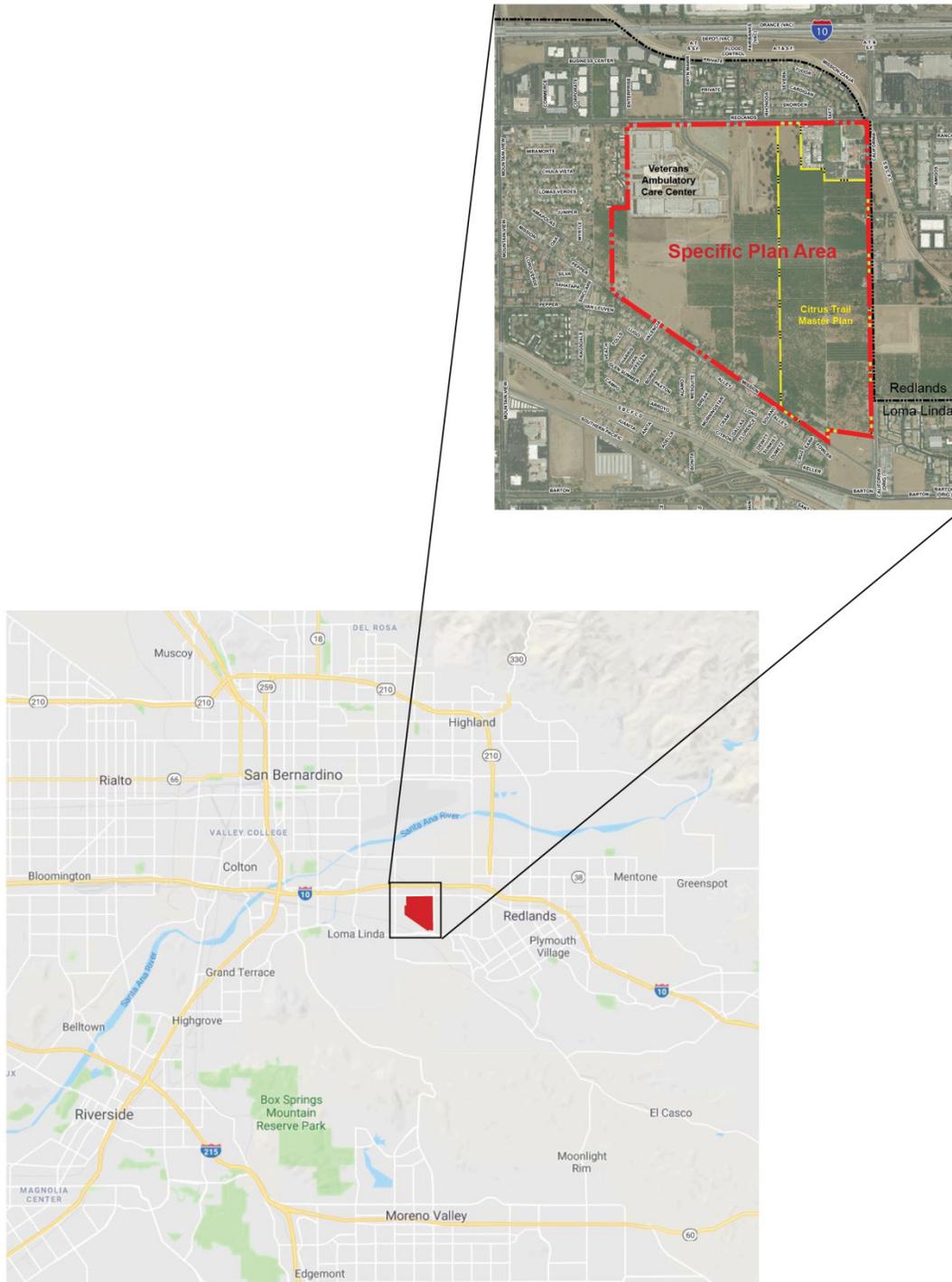
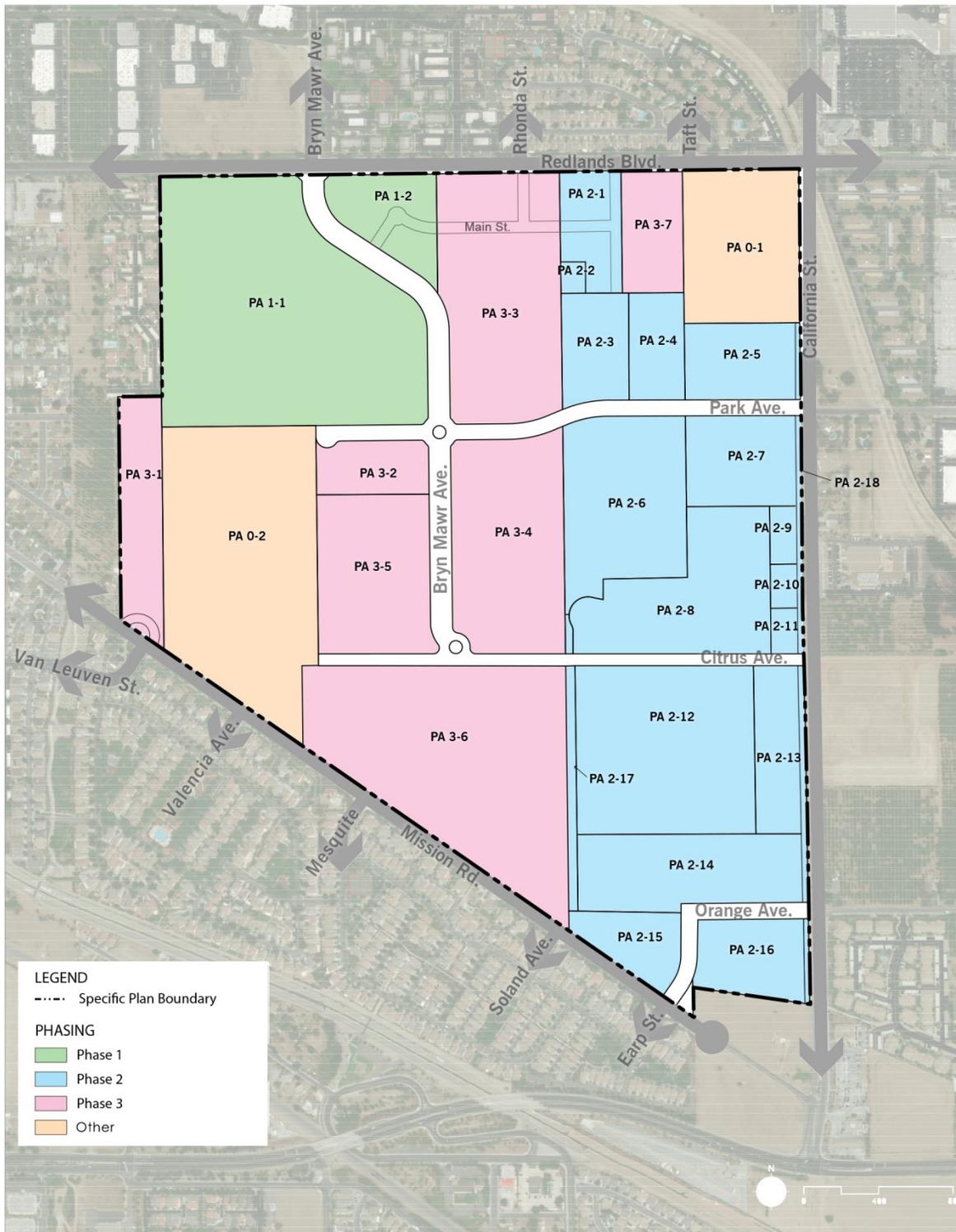


Figure 2.2 – Specific Plan Boundary and Phase Reference Map



2.1.3 - Property Ownership

The Specific Plan area is owned by multiple landowners that include both public agencies (owning approximately 42 percent) and private entities (owning approximately 58 percent). All of the Phase One and Two areas are privately owned (currently). Approximately 83 percent of Phase Three (totaling 102.9 acres) is publicly owned including approximately 79 acres managed by the Successor Agency to the City of Loma Linda Redevelopment Agency (Successor Agency) an approximately 6.5 acres owned by the City of Loma Linda and designated as Heritage Park. The balance of Phase Three is owned by other multiple private property owners. Also included within the Specific Plan area is approximately 39 acres owned by the RUSD, which consist of 11.5 acres associated with the existing Mission Elementary School and 27.5 acres set aside for a future middle school.

2.2 - CURRENT CONDITIONS

2.2.1 - Existing Property Conditions

Approximately 57 percent of the Specific Plan site is currently in agricultural production as citrus groves. Land uses within the Specific Plan site include the Mission RV Park to the north along Redlands Boulevard and the Mission Elementary School to the northeast at the corner of California Street and Redlands Boulevard. The Veterans Affairs (VA) Ambulatory Care Center is located at the northwest corner of the Specific Plan site, at the southwest corner of Bryn Mawr Avenue and Redlands Boulevard. Within the southwest portion of Specific Plan site is the City's Heritage Park. Several single-family residential structures are located along the eastern and southern edges of the Specific Plan site. The balance of the Specific Plan site is vacant cleared land or land in agricultural production with citrus groves. An approximate 3.0-acre grouping of oak trees located in the north-central area of the site is designated under the General Plan as an oak woodland preserve.

Historic structures located in the Specific Plan area include: the Nathaniel Hinckley Residence (26300 Mission Road), the Frink Adobe and the associated Frink Ranch utility structures (26248 Mission Road), and the Van Leuven residence (26248 Mission Road). The entire Specific Plan site also falls within the Zanja Historic Landscape, which has been recently designated and listed in the Sacred Land Files of the Native American Heritage Commission. The alignment of the historic Mill Creek Zanja irrigation ditch crosses the southern portion of the Specific Plan site parallel to Mission Road. The 6.5-acre Heritage Park is located at the southwest corner of the Specific Plan site. Heritage Park contains four historic structures that have been relocated to the park.

The Specific Plan site, which is essentially flat with an elevation range of approximately 1,180 feet above mean sea level, lies within an alluvial plain having soils comprised of various series of sandy loams.

2.2.2 - Surrounding Area

Uses surrounding the Specific Plan site include citrus groves, a church, isolated residences, the Citrus Lane and Citrus Glen residential developments (under construction) and neighborhood commercial along the east side of California Street. To the south across Mission Road is a single-family residential tract processed as a planned unit development neighborhood. To the west are multiple-family residential uses and the Southern California Edison Easement. To the north on the opposite side of Redlands Boulevard are multiple-family residential uses. To the northeast at the intersection of Redlands Boulevard and California Street, which crosses the San Bernardino County Flood Control Channel, is a shopping center within the City of Redlands. See Exhibit 2-3: *Existing Project Site and Surrounding Area Land Uses*.

2.3 - CURRENT POLICIES AND REGULATIONS

2.3.1 - Loma Linda General Plan

In 2006, the City of Loma Linda adopted a General Plan, which was a comprehensive revision and update to the 1973 Loma Linda General Plan. That update effectively replaced the previous General Plan and established goals and policies to reflect the current community-wide vision. It was the first major update since the City's incorporation in 1970. The General Plan was subsequently amended in 2009 to incorporate and reflect the will of the community per voter approved "Measure V." The General Plan is the City's most important statement regarding its ultimate physical, economic, and cultural development within the 25-year planning period. It is intended to be used by officials and others to guide decisions governing development and management of human and natural resources. The General Plan is comprised of text, maps and illustrations to document the organization of physical, environmental, economic, and social activities desired by the City's residents in order to create and maintain a healthful, functional, and desirable community. The General Plan addresses short-term and long-term goals for key aspects of the community, including land use, traffic/circulation, open space/conservation, noise, safety and other aspects that contribute to the public health, safety, and "quality of life" considerations of the Loma Linda community.

In addition to the traditional land use designations assigned to lands within the City, the General Plan identifies seven general areas within the City that are designated as "Special Planning Areas". Each area is intended to provide a different variety of uses at varied densities according to each area's location, access, size, and adjacent land use designations. Each area has its own purpose and intent and provides a healthy mix of land uses throughout the City. The intent is to create areas in which a mix of uses can come together to meet the commercial, employment, institutional, and residential needs of the neighborhood and community at large through efficient patterns of land use, and allow for flexibility to accommodate changing market forces in the future.

The Specific Plan site lies entirely within the 299.81 acres encompassing SPA-D, also known as the Redlands Boulevard/California Avenue Plan Area. The General Plan intends that SPA-D be characterized by horizontal and vertical mixed uses, including commercial, office, structured parking and high-density residential, developed along the frontages of Redlands Boulevard and California Street. Single-family, medium-density residential (multi-family) and recreational uses are intended within the central, western and southern portions of the Planning Area. The General Plan's vision for SPA-D is as a "livable, walkable community" with a high level of amenities for residents, including parks, trails/paseos, and other recreational uses, while also exhibiting a high level of design quality.

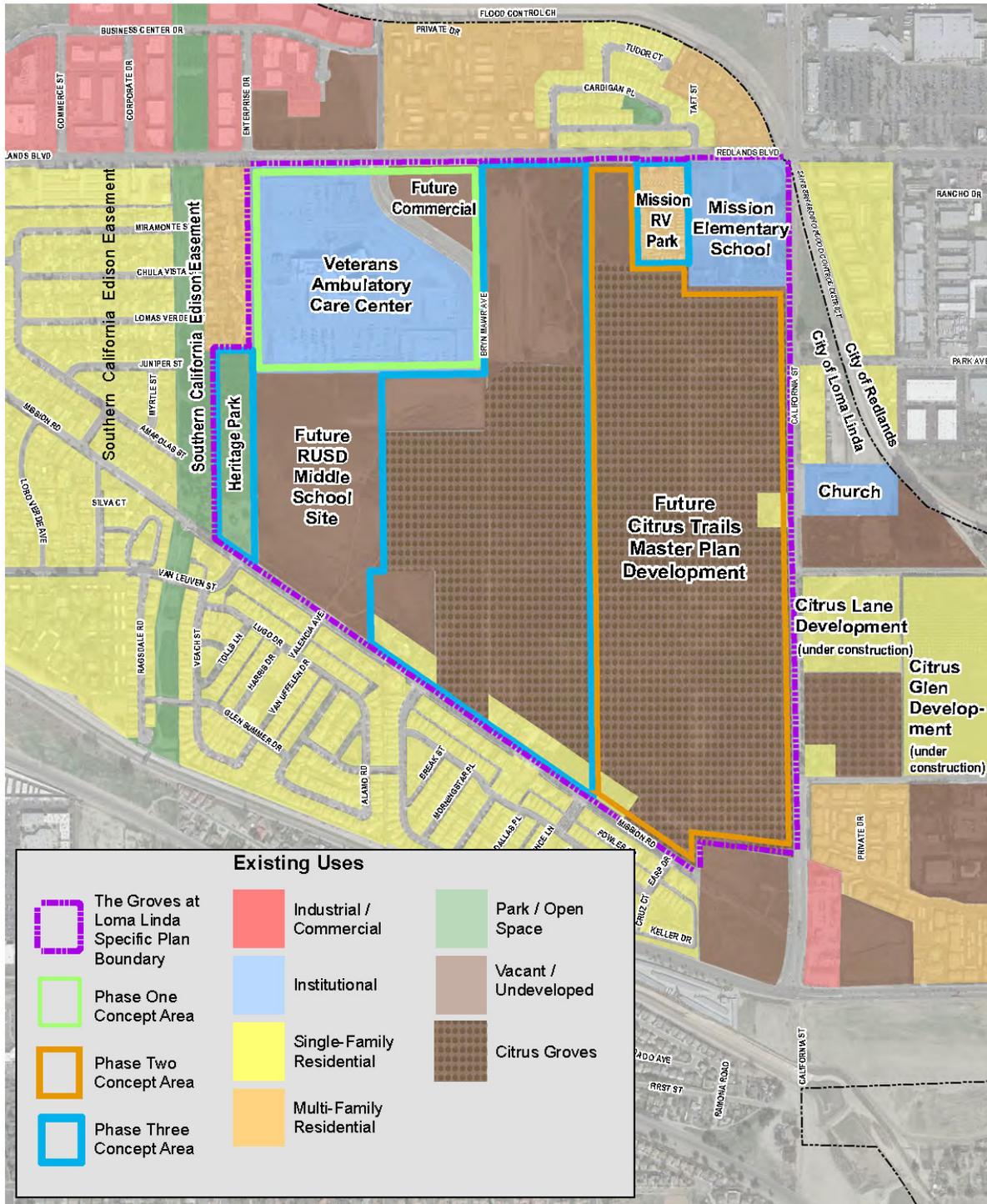
2.3.2 - Loma Linda Municipal Code and Zoning

The Loma Linda General Plan designates the Specific Plan site as SPA-D and identifies a required mix of land uses (per General Plan Table 2.B.) conceived for SPA-D. Approximately 82 acres of the northern end of the Specific Plan site lie within the boundary of the East Valley Corridor Specific Plan (EVCSP), and are designated as "Special Development" (EVC-SD). The Specific Plan site currently is zoned a combination of Single-Family Residential (R-1), Institutional-Health Care (I-HC), Open Space (OS), Planned Community (PC), EVC-Institutional, and EVC-Special Development (EVC-SD). Concurrent with adoption of the Specific Plan, the area is rezoned to exclude all portions of the Specific Plan site from the EVCSP and rezone the majority of the property as Planned Community (PC) with use-specific zoning of Institutional-Health Care (I-HC) for the existing and future school sites and Open Space (OS) for the existing Heritage Park site.

The Specific Plan site lies within the Mission Historic Overlay District (Mission District), which extends along both sides of Mission Road between California Street to the east and Pepper Way to the west.¹ The Historic Mission Overlay District of the Loma Linda Municipal Code (Chapters 17.80, Historic Preservation, and 17.82, Historic Mission Overlay District), requires an emphasis to further the public knowledge of Loma Linda's local history.

¹ Loma Linda General Plan EIR, Chapter 4.5. 2004.

Figure 2.3 – Existing Project Site and Surrounding Area Land Uses



2.3.3 - Measure V

On November 7, 2006, the Loma Linda voters passed Measure V, The Residential and Hillside Development Control Measure. As outlined in Section II (A) (3) of Measure V, all development projects shall be required to cover 100 percent of their pro rata share of the cost of any public infrastructure, facilities and services through the payment of development impact fees. The City Council has the authority to set and determine development fees sufficient to cover 100 percent of a development's pro rata share of the estimated cost of such public infrastructure, facilities, and services based on appropriate cost-benefit analyses, as required by the provisions of California law. Section II (F) (2) of Measure V requires that traffic levels of service (LOS) be maintained at level C or better. Specifically, Measure V states:

- To assure the adequacy of various public services and prevent degradation of the quality of life experienced by the residents of Loma Linda, all new development projects shall assure by implementation of appropriate mitigation measures that, at a minimum, traffic Levels of Service are maintained at a minimum of Level of Service C throughout the City, except where the current Level of Service is lower than Level of Service C. In any location where the Level of Service is below Level of Service C at the time an application for a development project is submitted, mitigation measures shall be imposed on that development project to assure, at a minimum, that the level of traffic service is maintained at Levels of Service that are no worse than those existing at the time an application for development is filed. In any location where the Level of Service is F at the time an application for a development project is submitted, mitigation measures shall be imposed on that development project to assure, at a minimum, that the volume to capacity ratio is maintained at a volume to capacity ratio that is no worse than that existing at the time an application for development is filed. Projects where sufficient mitigation to achieve the above stated objectives is infeasible shall not be approved unless and until the necessary mitigation measures are identified and implemented.

In general, the provisions of Measure V establish managed growth principals that in turn preserve, enhance, and maintain the special quality of life valued by the community of Loma Linda. Projects which are consistent with the above provisions (i.e., payment of fair share for infrastructure, facilities and services, and maintain acceptable traffic LOS) can be considered to be somewhat self-mitigating with regard to potential impacts related to public utilities and services, and local roadway traffic congestion.

2.3.4 - Previous Land Development Approvals

As discussed above, the Specific Plan area reflects the 299.81 acres of property designated by the Loma Linda General Plan as SPA-D. Per the General Plan, it is the intent that SPA-D be comprehensively planned and the implementation and buildout of this area be coordinated to

ensure that development reflects the Guiding Policy and Implementing Policies (associated with SPA-D) for siting of land uses and buildings, architectural design, landscaping, road infrastructure, utilities, and other community elements. Further, it is the intent that SPA-D be thoughtfully planned and implemented according to a comprehensive and pre-established framework, rather than piecemealed without a regard to the broader goals and context intended for SPA-D.

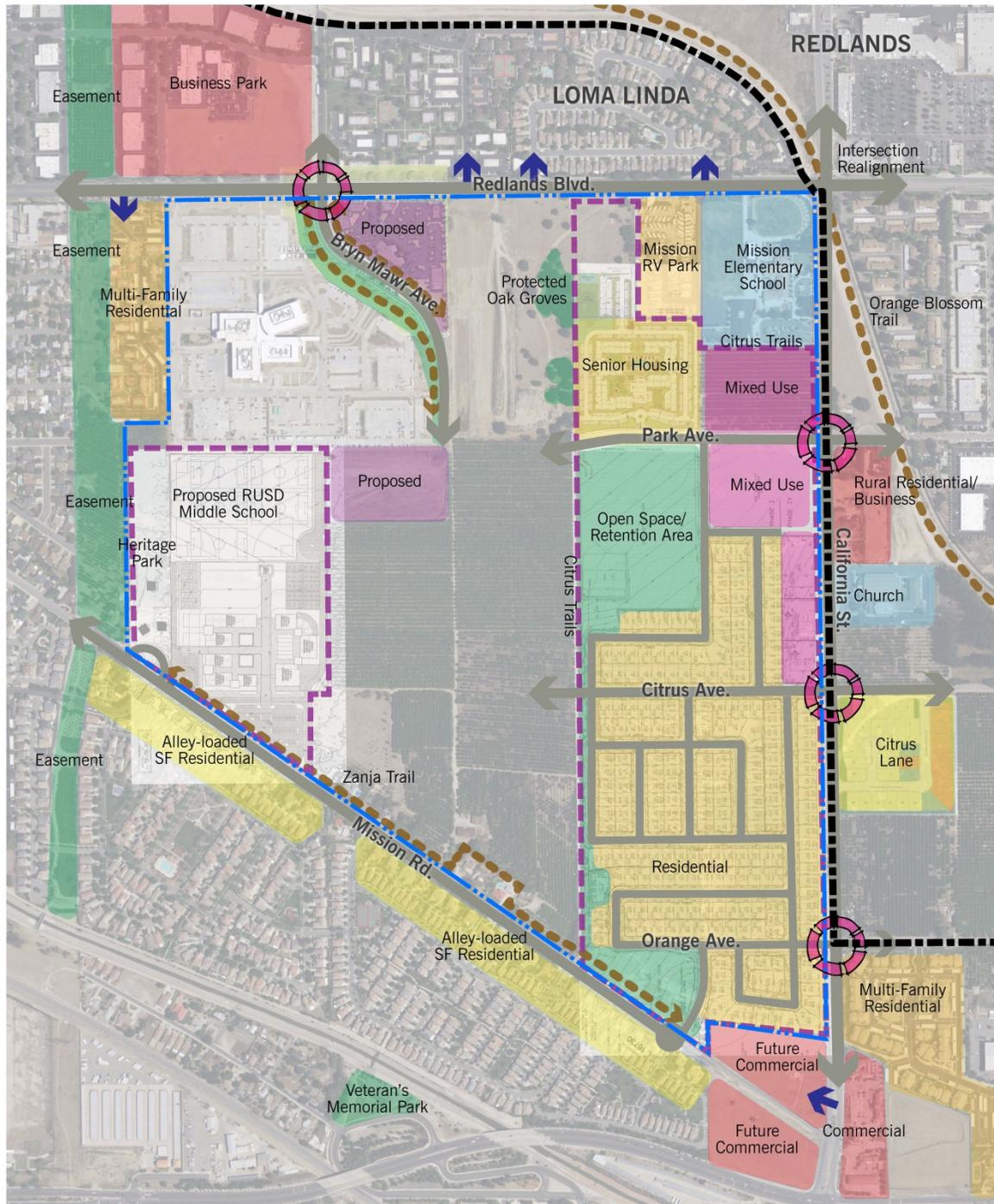
On June 11, 2013, in order to balance the desire to see this area developed as a singular community with the reality of market timing, a policy for sequential phasing of SPA-D was approved by the Loma Linda City Council. That approval allowed for a series of actions that established a Phase One implementation policy for SPA-D, as well as created the opportunity to establish future phases that meet the 40-acre minimum size requirement and demonstrate consistency with the implementing policies for SPA-D.

The Phase One Concept Area, approved in 2013, involves a +46-acre area within the Specific Plan site to accommodate the VA Ambulatory Care Center, 5 acres of commercial property, and the southerly extension of Bryn Mawr Avenue. The VA facility and roadway have been constructed, but the commercial property remains vacant. The Phase Two Concept Area, approved in 2017, involves the 111.7-acre Citrus Trails Master Plan project, which will accommodate development of up to 581 residential units, a maximum of 562,000 square feet of commercial/office uses, and almost 22 acres of parks, open space and trails.

2.4 - OPPORTUNITIES, CONSTRAINTS, AND ISSUES

The development concepts in the Specific Plan adapt to physical, social, and economic constraints by envisioning an approach to the design and implementation of The Groves that is consistent with the community's values. An emphasis is placed on quality design and pedestrian orientation. Priority is given to ensuring that the City's housing needs are met by providing for a range of housing options, including options for affordability and special needs.

Figure 2.4 – Opportunities and Constraints Map

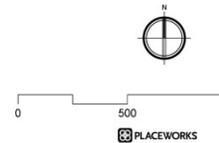


OPPORTUNITIES AND CONSTRAINTS

- Access Points into Study Area
- Access Points into Surrounding Land Uses
- Streets
- Trails

- LAND USES**
- Commercial
 - Single Family Residential
 - Multi Family Residential
 - Proposed
 - Civic

- Parks/Open Space



2.5 - ENVIRONMENTAL COMPLIANCE

The California Environmental Quality Act of 1970 (“CEQA”) requires the decision-making body of a Lead Agency to consider the environmental impacts of a discretionary action prior to approving a project. For purposes of implementing CEQA, the City of Loma Linda is the Lead Agency. As required by CEQA Guidelines section 15064, an Environmental Impact Report (“EIR”) is required when a proposed project will result in one or more significant effects on the environment that cannot be mitigated to a less-than-significant level. The City has determined that an EIR is the appropriate level of environmental review to ensure compliance with the CEQA. An EIR was prepared to evaluate and disclose the environmental impacts anticipated through the adoption and implementation of THE GROVES at Loma Linda Specific Plan. The EIR was certified and adopted by the Loma Linda City Council on [DATE TO BE INSERTED]. A copy of the certified EIR is on file with the City’s Planning Division and the City Clerk.

2.6 - PUBLIC PARTICIPATION

The project team facilitated three public workshops as part of the Specific Plan outreach process to gather input from the community, Planning Commission and City Council.

The Joint Workshop focused on the design and implementation for the remaining area of Special Planning Area D. In addition, all workshop participants were asked to select their top 10 photo images from a series of posters that included a variety of housing types, park concepts, lake examples, public space concepts, and other images that represent design ideas that could be incorporated into the preferred plan and Specific Plan. The results of the preference survey are shown below.

RESIDENTIAL - 13± DU/AC Public Council SPECIAL PLANNING AREA D CITY OF LOMA LINDA

The Boulevard
Location: Anaheim, CA
Product: Walk-up Townhomes
1,940± Square Feet

Sea Cove
Location: Huntington Beach
Product: Townhomes
1,640 - 2,690 Square Feet

The Grove
Location: San Jose
Product Type: SFD Green court
1,250 - 2,010 Square Feet

Treo Woodbury
Location: Irvine
Product Type: Courtyard
1,820 - 2,170 Square Feet

Mariwether
Location: Tustin, CA
Product Type: Triplex
1,370 - 1,880 Square Feet

RESIDENTIAL - 20± DU/AC Public Council SPECIAL PLANNING AREA D CITY OF LOMA LINDA

Azul
Location: San Diego, CA
Product Type: Townhomes
1,440 - 2,030 Square Feet

Cambridge Lane
Location: Tustin, CA
Product Type: Courtyard
1,110 - 1,600 Square Feet

Sutter's Mill
Location: Ladera Ranch, CA
Product Type: Townhome
1,330 - 1,690 Square Feet

Tustin Field
Location: Tustin, CA
Product Type: Courtyard
1,600 - 1,950 Square Feet

Auburn
Location: Irvine, CA
Product Type: Townhome
1,450 - 1,720 Square Feet

Luna
Location: San Diego, CA
Product Type: Motorcourt
1,640 - 2,070 Square Feet

PLACEMAKING Public Council SPECIAL PLANNING AREA D | CITY OF LOMA LINDA

PLACEMAKING Public Council SPECIAL PLANNING AREA D | CITY OF LOMA LINDA

3

DEVELOPMENT PLAN



Chapter 3 - Development Plan

3.1 - CONCEPT OVERVIEW

3.1.1 - Specific Plan Vision

The Specific Plan for THE GROVES must begin with a vision – a vision that describes the community’s aspirations for how this important and historic area of the city will look and live in the future. While a sizable portion of the specific plan area is either built or approved for development, there is a remaining core that remains to be envisioned and planned. In fact, this core area is the “glue” that will bring cohesion to THE GROVES and create a place for all Loma Linda residents.

“A city is not gauged by its length and width, but by the broadness of its vision and the height of its dreams”.

— HERB CAEN

This is a vision for how THE GROVES at Loma Linda will look 25 years from now:

THE GROVES is the heart of east Loma Linda. It has grown into an active, mixed-use center, offering a living, shopping, dining, and recreating environment that draws residents, businesses and visitors. Clusters of retail shops, restaurants, coffee houses, and other local-serving businesses along the community’s internal “Main Street” and focal features surrounding the centralized community park create fun places to gather with friends and family. A variety of residential neighborhoods serve the community, from doctors, seniors, veterans and countless others in the healthcare industry and related support and wellness services. This has become a place to plant roots, start businesses, and raise families because of strong ties to Loma Linda and the desirability of this special place.

THE GROVES offers a vast variety of open space and recreation opportunities. From a sports park, historic park, oak woodland preserve, passive open space and trails, **THE GROVES** is the community’s destination for outdoor recreation. These same amenities also unite **THE GROVES** community with surrounding neighborhoods, including providing connections to other City and

regional trails. The VA Ambulatory Center is an anchor for the area, providing patients and their families a place to access the outdoors, share time together and focus on healing and quality living. Two schools are also anchors for this area. The elementary and middle schools are centers of learning for nearby youth, with students having safe pathways to walk and bike to the schools. History is on display here – with the City’s historic park with a collection of historic homes, and the recognition of the Zanja Trail along Mission Road. Community pride is unmistakable – just attend a community event or a farmer’s market at one of the parks, a food festival along “Main Street”, or talk with residents and businesses. This amenity-rich environment offers visual interest and many options to interact. It includes venues to accommodate civic functions and cultural activities. Forward thinking in design and concept, **THE GROVES** sets the example for quality design and creating a great place within Loma Linda.

3.1.2 - Guiding Principles

The following principles reflect the input received during community workshops, meetings with the Steering Committee, and meetings with City Staff.

❖ Provide a Range of Housing that Meets Loma Linda’s Needs

- Set aside a large area within THE GROVES for large-lot custom and semi-custom homes, designed as a private enclave.
- Allow for multi-family housing to meet the City’s housing obligation (as determined by the State) that can be provided in a variety of high-quality housing products: walk-up townhomes, courtyard housing, triplex homes, live-work units, and stacked flats above commercial.
- Locate condominiums and apartments near commercial uses and design a pedestrian-oriented environment.
- Ensure that THE GROVES provides traditional single-family homes for working families.
- Ensure that all residential is well-connected to a system of trails connecting schools, parks, and commercial areas.



❖ Boost the Economy

- Ensure that commercial uses are located and designed in such a way that a “place” is created – one that is connected from a vehicular and pedestrian standpoint.
- Require that commercial uses are clustered around an internal “Main Street” to create a walkable environment, with plaza areas designed with amenities for dining, relaxing, and gathering with friends and families.
- Dedicate staff resources, as feasible, to focus on economic development with THE GROVES.
- Work with developers to attract desirable retail and restaurant uses, with a mix of local businesses and national chains.



❖ Create Additional Gathering and Recreation Areas

- Plan for a well-connected trail system that links THE GROVES with nearby neighborhoods and off-site regional trails.
- Plan a trail system that provides safe routes for children to walk to the two on-site schools.
- Plan for a trail system that connects the residential neighborhoods to the commercial areas and parks within THE GROVES.
- Provide standards for providing open space amenities, public plazas and paseos within new development.
- Set aside 20 to 25 percent of THE GROVES for public open space and recreation that include sports facilities, passive recreation, tot lots, Farmer’s Market, City events and regular recreation programming.



- Ensure that public open space and recreation areas have a sustainable source of funding for maintenance and operations.

❖ Promote Sustainable Development

- Provide a means to accommodate the detention/retention of storm water for individual projects in collective manner to create a larger open space/water amenity within THE GROVES.
- Encourage pedestrian, bike and other sustainable transportation to reduce reliance on the automobile, enhance walkability, and promoting social interaction.
- Locate higher density residential within a half-mile of the Redlands Transit Station.



The Vision and Guiding Principles are expressed in the plans for land use, mobility, and infrastructure found within Chapter 3 of this Specific Plan. The range of land uses envisioned, combined with a multi-model transportation system, will lead to the development of an active village environment. In addition, the Vision and Guiding Principles are the foundation for the development requirements and design guidance provided in Chapter 4 of this Specific Plan.

3.1.3 - Land Use Concept Overview

THE GROVES Specific Plan establishes 299.81 acres as a master-planned community consistent with the Loma Linda General Plan concept for Special Planning Area "D". THE GROVES land use concept originated from the City's vision for the development of Special Planning Area "D" as expressed in the Loma Linda General Plan Table 2.B, *Table Special Planning Area D Land Use Concept*, and related Implementing Policies, all of which specify the land use types, acreages, and dwelling units for Special Planning Area "D".

THE GROVES features single-family residences, pedestrian-oriented mixed-use development, a range of multi-family housing options, and active and passive recreational amenities. Access for pedestrians and bicyclists between the various land uses in the community is established by a logical layout of the local roads within the community and provision of reciprocal access easements in strategic locations.

THE GROVES community provides collectively for the development of 1,067 residences, including 291 detached, single-family homes on minimum 7,200 square foot (sf) and 10,000 sf lots, 213 senior

citizen residences, 163 multiple-family residents built at medium-to-high density configurations, and 400 residential units within the community's mixed use development component to accommodate affordable and special housing needs. The Mixed Use designation is comprised of 83.8 acres, which includes commercial and office uses (comprising the equivalent of approximately 63.8 acres inclusive of the VA Ambulatory Care Center, or 26.9 acres exclusive of the VA facility) along with the residential component (comprising the equivalent of approximately 11.1 acres). The 400 residential units located within the Mixed Use designated areas will be built at a minimum average of 20 units per acres (du/ac) to ensure that affordability requirements are met. Total commercial square footage will range between approximately 362,000 sf and 584,000 sf, exclusive of the square footage assigned to the existing VA Ambulatory Care Center (at 345,000 sf). A summary of residential units and building square footage is provided in Table 3-1: *THE GROVES Statistical Summary by Planning Areas*.

Table 3.1 – THE GROVES Statistical Summary by Planning Area

Planning Area	Land Use Designation	Acreage (Gross)	Assigned DU	Assigned Maximum SF
PA 1-1	Mixed Use	36.9*	--	345,000
PA 1-2	Mixed Use	5.9*	--	121,970
PA 1-Road	Road	3.3	--	--
<i>Subtotal (Phase 1)</i>		<i>46.1</i>	<i>--</i>	<i>466,970</i>
PA 2-1	Mixed Use	4.4	26**	67,520
PA 2-2	Mixed Use (Preserve Overlay)	0.5*	--	--
PA 2-3	Senior Citizen Housing	5.0	125**	--
PA 2-4	Senior Citizen Housing	4.0	88***	--
PA 2-5	Mixed Use	5.8	54**	67,520
PA 2-6	Park / Open Space	13.9	--	--
PA 2-7	Mixed Use	6.7	62**	78,410
PA 2-8	Low Density Residential	13.5	54	--
PA 2-9	Mixed Use	1.3	--	28,315
PA 2-10	Mixed Use	0.9	--	19,600
PA 2-11	Mixed Use	0.9	--	19,600
PA 2-12	Low Density Residential	20.0	80	--

Planning Area	Land Use Designation	Acreage (Gross)	Assigned DU	Assigned Maximum SF
PA 2-13	High Density Residential	5.5	33	--
PA 2-14	Low Density Residential	11.0	44	--
PA 2-15	Park / Open Space	4.0	--	--
PA 2-16	Low Density Residential	5.0	20	--
PA 2-17	Park / Open Space	2.3	--	--
PA 2-18	Park / Open Space	1.1	--	--
PA 2-Road	Road	5.9	--	--
<i>SubTotals (Phase 2)</i>		<i>111.7</i>	<i>--</i>	<i>280,965</i>
PA 3-1	Park / Open Space (Community Overlay)	6.6	--	10,000
PA 3-2	High Density Residential	4.6	60	--
PA 3-3	Mixed Use	19.4*	165**	155,730
PA 3-4	Park / Open Space (Community Overlay)	15.9	--	15,000
PA 3-5	Medium Density Residential	12.4	103	--
PA 3-6	Very Low Density Residential	29.3	60	--
PA 3-7	Mixed Use	4.6	93**	--
PA 3-Road	Road	10.1	--	--
<i>SubTotals (Phase 3)</i>		<i>102.9</i>	<i>--</i>	<i>180,730</i>
PA 0-1	Institutional	11.6*	--	--
PA 0-2	Institutional	27.5*	--	--
<i>Subtotal (Other Phase)</i>		<i>39.1</i>	<i>--</i>	<i>--</i>
<i>THE GROVE TOTAL</i>		<i>299.8</i>	<i>1,067</i>	<i>928,665</i>

Note:

* A portion of the acreage under this Planning Area designation is allocated as park, open space, or trail under Private ownership but intended for public access and use. See section 3.4 of THE GROVES Specific Plan for details.

** These assigned units are required to be developed at a minimum density and configuration to qualify as "affordable" or special needs housing.

*** Twenty-four of these units must comply with the affordable / special needs housing requirement.

THE GROVES includes almost 70 acres of active- and passive-use park land, including the North Park (13.9 acres in Planning Area 2-6), Central Park (15.9 acres in Planning Area 3-4), South Park (4.0 acres in Planning Area 2-15) and Heritage Park (6.6 acres in Planning Area 3-1). The smaller Oak Woodland Preserve provides approximately 4 acres (within Planning Areas 2-2 and 3-3) of passive trail-based park land nestled amongst mixed-use and senior housing uses. The major parks are linked by a centralized Paseo (Planning Area 2-17) that ranges in width between 27 and 40 feet and provides a multi-purpose meandering trail for recreation, access and mobility throughout THE GROVES. Additional trails systems are integrated along major roadway routes and traverse Planning Areas to ensure a well-connected and pedestrian-mobile community. Park lands will be managed through combined public and private ownership. While the major parks (i.e., North, Central, South and Heritage Parks) will be publicly managed, other key park and open space features, including the VA Linear Park, the Oak Woodland Preserve, the central Paseo Corridor, the Mission Road (Zanja) Trail, California Trail, Park Avenue Trail and Citrus Avenue Trail, and other similar open space and trails for public use, will be privately managed and maintained.

Simple, direct access for pedestrians and bicyclists between the various land uses in the community is facilitated by a logical and efficient layout of local roads within THE GROVES. The major roadway system facilitates access to key destinations (i.e., the future middle school, parks and the Main Street district) within THE GROVES without undue burden to the surrounding arterial roadways or disruption to existing or future residential neighborhoods.

The rich heritage of Loma Linda serves as the inspiration for the thematic elements and aesthetic design of THE GROVES community, consistent with the Historic Mission Overlay District ordinance adopted by the City of Loma Linda. The community draws its overall visual theme from the heritage of Loma Linda, utilizing locally recognizable architectural styles defined within the Historic Mission Overlay District ordinance and landscape elements, such as entry treatments and park design, to convey the local history of THE GROVES area. Architecture guidelines are strongly influenced by historic uses of the project site and surrounding area, including historic elements such as a Mission storehouse, a Native American village, a Mexican rancho, Mormon settlements, and early citrus farming.

Twenty-nine individual Planning Areas that are used to define THE GROVES are formed according to logical boundaries delineated by property ownership patterns, land use types, and physical characteristics such as roads. The Specific Plan describes Planning Area size in gross acres. Likewise, the assigned residential densities and commercial floor area assignments are calculated and intended based on those gross acreages (as defined Table 3.1).

The Planning Area boundaries, acreages and unit counts provided in THE GROVES Land Use Plan are based upon the best available information at the time of the Specific Plan document preparation. Recognizing that minor adjustments to these details may occur during the course of

detailed engineering and architectural design in compliance with the Implementation Plan (see Chapter 5), the Specific Plan allows for minor adjustments through the administration of THE GROVES (see Section 5.9).

3.2 - LAND USE PLAN

3.2.1 - Relevant General Plan Policy

The Land Use Element of the General Plan designates the general distribution, location, and extent of land uses for housing, business, industry, open space, institutions, city facilities, and other categories of public and private uses of land. The emphasis of the Land Use Element is on the desired or intended use of land in the community, including future development of the City and its sphere of influence. The unique nature of land use is such that it influences, and is influenced by, many other elements of the General Plan.

The General Plan's vision for Special Planning Area D is as a "livable, walkable community" with a high level of amenities for residents, including parks, trails/paseos, and other recreational uses, while also exhibiting a high level of design quality. Further, the General Plan intends that this area be characterized by horizontal and vertical mixed uses, including commercial, office, structured parking and high-density residential, developed along the frontages of Redlands Boulevard and California Street. Single-family, medium-density residential (multi-family) and recreational uses are intended within the central, western and southern portions of the Planning Area.

Other relevant elements that strongly influence land use patterns include the Economic Development, Housing and Growth Management Elements. The Economic Development Element seeks to promote economic and fiscal stability in Loma Linda in order to maintain a vibrant and healthy community. The intent of the Housing Element is to ensure that the City makes a good effort and commits available resources to meeting the housing needs of all economic segments of the community. It also establishes that Special Planning Area D provide fulfill a substantial role in addressing the City's housing needs through provision of 1,067 residential units, including a majority of which will be at densities appropriate to encourage affordable housing. The Growth Management Element was established to maintain internal consistency with the City's Measure V, and it includes six principals of managed growth to be applied to all new development to achieve the goal of maintaining the unique quality of life in the City of Loma Linda.

See Appendix A for relevant General Plan policies and consistency analysis.

3.2.2 - Development Concept and Plan Features

THE GROVES Specific Plan area has been comprehensively planned, consistent with the Loma Linda General Plan concept for Special Planning Area "D", as a livable, walkable community

featuring single-family and multi-family residences, pedestrian-oriented mixed-use development, and a range of active and passive recreational amenities.

THE GROVES provides for improvements and development within 299.81 acres. Upon complete buildout, THE GROVES will provide a maximum of 1,067 residential dwelling units, including a required 549 units that meet affordable/special needs housing targets. Approximately 10-12 acres of commercial/businesses/services uses would be established providing up to approximately 930,000 square feet (maximum) within the mixed-use areas. Nearly 70 acres of active and passive park and open space area will be integrated throughout the community. A summary of existing and proposed development described in this Specific Plan is provided in Table 1-1, *THE GROVES Land Use Statistical Summary* (see Chapter 1.0).

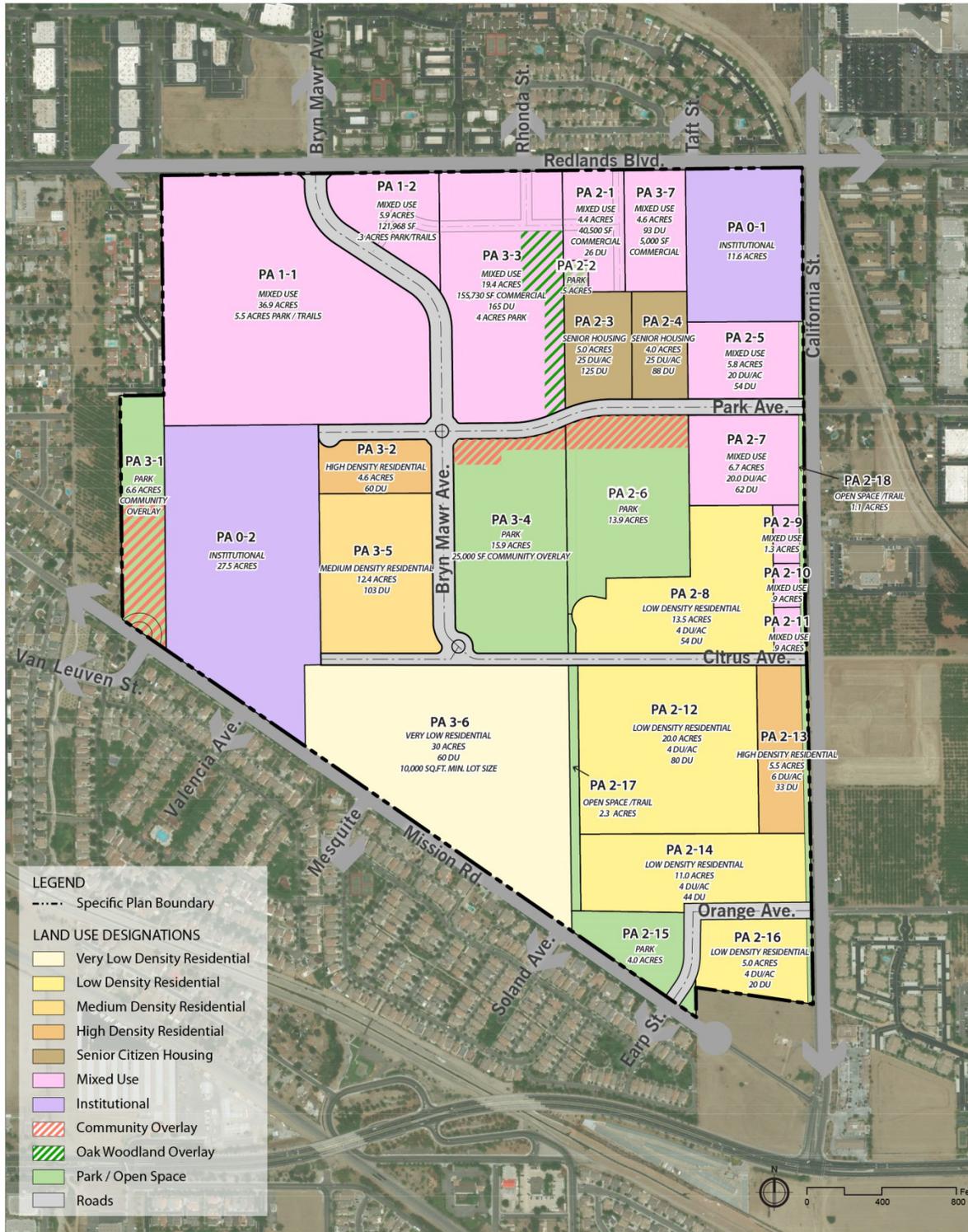
This section introduces broad land planning concepts that will be implemented through the development standards and design guidelines provided in Chapter 4.0 (Development Standards and Guidelines), which serves a detailed guide for physical improvements within THE GROVES.

3.2.2(a) - Land Use Plan Map

The Land Use Plan designates where specific land uses may be established.

Figure 3.1, *Land Use Plan*, illustrates the spatial relationship and location of designated land uses, special land use overlays and planning areas. These features are described below.

Figure 3.1 – Land Use Plan



3.2.2(b) - Planning Areas

THE GROVES is organized as twenty-nine unique Planning Areas. The Planning Areas are formed according to logical boundaries delineated by property ownership patterns, land use types, and physical characteristics such as roads. Planning Areas are identified by a Planning Area (PA) number (e.g., Planning Area 1-1, Planning Area 2-4, Planning Area 3-6, etc.). The first digit of the Planning Area number indicates Phase Area (see below), followed by the Planning Area identification number within that phase.

Each Planning Area has been assigned a size (in gross acres), land use designation, minimum and maximum density or intensity (as appropriate), and a residential unit allocation. In addition, Planning Areas with a Mixed Use designation have been assigned a minimum requirement of affordable/special needs housing units, minimum and maximum commercial square footage, and a mixed-use category target. Table 3.1, *THE GROVES Statistical Summary by Planning Areas*, provides the land use information for each Planning Area.

Each Planning Area shall be site planned to function as a complete unit. Planning Areas designated as Mixed Use shall be designed in a comprehensive manner, including location of land uses, building orientation, architecture, internal vehicular and pedestrian circulation, location and design of parking, provision of shared parking where feasible, and design of edge conditions along contiguous Planning Areas, including vehicular and pedestrian circulation between adjacent Planning Areas where feasible (and as required per this Specific Plan).

3.2.2(c) - Phase Areas

THE GROVES can be described as having four Phase areas. These phases do not reflect a sequential order of development, but rather reflect land areas related by individual development entitlement requests. The Phases are shown in Figure 2.2, *Specific Plan Boundary and Phase Reference Map* (see Chapter 2.0).

Phase One is +46 acres and was previously entitled in 2013. The Veterans Affairs Ambulatory Care Center occupies Planning Area 1-1. Five acres of commercial property is assigned to Planning Area 1-2. This phase also includes the southerly extension of Bryn Mawr Avenue between Redlands Boulevard and Park Avenue.

Phase Two involves the 111.7-acre and was approved for development in 2017 as the Citrus Trails Master Plan project. Phase Two was approved to accommodate development of up to 581 residential units, a maximum of 562,000 square feet of commercial/office uses, and almost 22 acres of parks, open space and trails.

Phase Three is comprised of approximately 103 acres, which includes approximately 79 acres previously managed by the Successor Agency to the City of Loma Linda Redevelopment Agency

(Successor Agency), approximately 6.5 acres designated as “Heritage Park” and approximately 18 acres owned by other multiple property owners. Phase Three will accommodate development of 481 residences, including 60 single-family detached residential dwelling units (du) on minimum 10,000 square foot lots, 163 attached residential dwelling units at a mid-range density up to 13 du/acre, and 258 residential units (integrated within the community’s mixed-use development component) at a minimum density of 20 du/acre. The mixed-use designation is comprised of 20 acres, which includes commercial and office uses (approximately 7.1 acres) along with the residential component (approximately 12.9 acres) and 26.5 acres of parks, open space and trails, including a minimum of 3 acres dedicated for Oak Woodland Preserve.

Other Phase represents approximately 39 acres owned by the Redlands Unified School District (RUSD), which consists of 11.5 acres associated with the existing Mission Elementary School (Planning Area 0-1) and 27.5 acres set aside for a future middle school (Planning Area 0-2).

3.2.2(d) - Land Use Designations

Residential Designations

Residential development within THE GROVES will feature a variety of built forms, including traditional single-family neighborhoods, attached residential development condominiums, town homes, and multi-level apartments. The following residential land use designations are included within THE GROVES Specific Plan in order to encourage a mixture of dwelling sizes, layouts and ownership types that are consistent with the corresponding land use designation and density range. A range of residential land use designations is intended in order to provide future residents within THE GROVES with a choice of housing preferences, costs that reflect a range of incomes and varied household needs.

VLD Very Low Density (0 to 2 dwelling units per acre)

This category is intended to provide for single-family residential homes in a large lot, suburban setting. The allowable density for this category ranges from zero to two dwelling units per acre. Within any Planning Area with this designation, a range of lot sizes shall be provided such that lot sizes and lot configurations are varied and not uniform. The minimum allowable lot size is 10,000 square feet. In order to ensure a range of lot sizes and configurations, no more than 25 percent of the lots within any single Planning Area with this designation shall be less than 15,001 square feet and no more than 25 percent shall exceed 40,000 square feet. The VLD designation is intended to promote and facilitate the development of custom and semi-custom home projects for move-up housing.

LD Low Density Residential (0 to 4 dwelling units per acre)

This category is intended to provide for traditional single-family subdivisions within the city and sphere of influence. The allowable density for this category ranges from zero to four dwelling units per acre. The minimum allowable lot size is 7,200 square feet. The 7,200 square foot minimum lot size requirement is not intended to prohibit the approval of attached or detached guest structures or second residential units on a parcel occupied by a single detached single-family residence, where the guest unit or second residential unit is authorized in conformity with state law or City regulations, and the second units remain under the same ownership as the principal dwelling unit.

MD Medium Density Residential (6 to 9 dwelling units per acre)

This category allows for attached single-family residential, duplexes, townhouses, and condominium types of development. The allowable density for this category ranges from six to nine dwelling units per acre. It is intended that average density for any single Planning Area with this designation demonstrate a six dwelling unit per acre (6 du/ac) minimum so as to combine opportunities for lower-cost housing with newer market trends for single-family development types that incorporate common shared landscaped open space and other amenities that serve to improve the quality of the living environment for residents.

HD High Density Residential (6 to 13 dwelling units per acre)

This category is intended for multifamily uses consisting of low-rise (one to three stories) condominium and apartment style development. The allowable density for this use ranges from six to 13 dwelling units per acre. However, attached single-family residential, duplexes, townhouses, and condominium types of development may also be incorporated. When specifically approved, as within Phase Two, detached single-family residential may be allowed within this designation at a minimum density of six dwelling unit per acre (6 du/ac) and demonstrating a minimum allowable lot size is 7,200 square feet.

VHD Very High Density Residential (within Mixed Use)

See Mixed Use designation (residential component) below.

SCH Senior Citizen Housing (20 to 25 dwelling units per acre)

This category is intended for multifamily uses consisting of condominium and apartment style development within age-restricted developments. The allowable density for this use ranges from 20 to 25 dwelling units per acre.

Mixed Use Designation

An objective of the Mixed Use land use designation is to provide broad flexibility in order to attract new commercial and office uses to serve the retail and service needs of THE GROVES community and to enhance the overall economic viability of Loma Linda. In addition, the Mixed Use designation shall integrate a substantial residential component amongst the commercial base. Mixed use development may present as “vertical mixed use” (i.e., different uses are mixed within the same multi-story building), or as “horizontal mixed-use” (i.e., the different uses occur within separate adjacent buildings). Regardless of any tendency toward vertical or horizontal (or combinations of both), it is intended that development within the Mixed Use land use designation reflect an appropriate mix of uses, physical orientation, building character and scale that emphasizes a strong commitment toward pedestrian orientation. The Mixed Use designation is intended to accommodate both residential and commercial components, as discussed below.

MU (VHD) Mixed Use - Residential Component (Average 20 dwelling units per acre)

This category is intended for multifamily uses consisting of low-rise (one to three stories) condominium and apartment style development. The allowable density for this use ranges from 20 to 25 dwelling units per acre, with an minimum average density of 20 dwelling units per acre required to fulfill affordable housing objectives.

MU (C) Mixed Use – Commercial Component (Maximum 0.5 FAR, or 0.75 FAR for select uses)

The primary intent of the commercial/retail component within the Mixed Use designation is to provide for the shopping and commercial service needs of THE GROVES community, the workers who are employed within and around THE GROVES, and those who visit the city, such as to receive health care. However, it is equally intended that a complimentary range of office, small-scale business park, community uses and religious uses be incorporated into the commercial/office style development (e.g., offices in small storefronts, a cluster of office suites within a larger shopping center, or religious assembly uses in buildings originally designed for commercial uses) and in a manner such that the dominant character of the overall development remains commercial. The commercial component of the Mixed Use designation shall generally be consistent with the commercial-based, employment-generating land use categories defined in the General Plan Land Use Element, including the Commercial, Office and Business Park categories. Health Care, Institutional and City Facilities that are designed to be compatible with the surrounding uses shall also be appropriate.

Supporting commercial and service uses may include office supply stores, copy services, pharmacies, day care, restaurants, dry cleaners, sundry stores and similar uses. The Mixed

Use commercial designation encourages pedestrian-oriented development and small-scale development that feature specialty stores and boutiques to create vibrant areas for people to gather and socialize and to better serve the community by providing a greater range of personalized commercial uses (e.g., sit-down restaurants, upscale apparel, stores related to hobbies or collectibles, gifts, etc.). It is also the intent of the Mixed Use commercial designation to encourage more commercial leisure activities (e.g., family-oriented commercial recreation facilities, kids' entertainment restaurants, day spas, sit-down restaurants that not only provide food but are oriented around family gatherings and appreciation of nature through their settings) and community programmed activities (e.g., museums, community theaters and cultural institutions). Visitor-serving uses, including lodging, are also supported under this designation. Examples of the intended nature of development footprints within the Mixed Use commercial category include shopping centers, in-line shops, specialty shops, and stand-alone commercial buildings.

The maximum allowable density for the commercial/retail component of the Mixed Use designation is 0.5 FAR, or 0.75 FAR for hotel and hospitality uses. Buildings may range from low to mid-rise (one to three stories), with some allowance for four stories when specifically approved in accordance with the Development Standards provided in Section 4.4.

Community and Public Uses Designations

Included within this heading are institutional and public categories of uses such as recreational open space (public and private). Some of these land uses may be outside of the jurisdictional control of the City of Loma Linda.

I Institutional (Maximum 0.5 FAR)

Within THE GROVES, the Institutional land use designation is intended for educational institutions and schools (e.g., Mission Elementary). More specifically, the designation applies to two Planning Areas (Planning Area 0-1 and Planning Area 0-2) that are owned and managed by the Redlands Unified School District (RUSD). These include a 11.5-acre site for the existing Mission Elementary School and a 2705-acre site for a future middle school (or combined K thru 9 school). The City of Loma Linda acknowledges that some uses within the institutional category may be outside of the jurisdictional control of the City and that the corresponding public entities might not be required to follow the City's development standards. In such cases, the design policies provided in this Specific Plan are intended to serve as a guideline for the public agency. It is also recognized that institutional uses are unique, often with special architectural requirements and style preferences that reflect the buildings' users and function, and thus flexibility is required. Institutional educational uses may include facilities characterized by classrooms, auditoriums, libraries, gymnasiums,

administration offices, and cafeterias. Also included are outdoor active uses areas for athletic fields, playgrounds and outdoor classroom areas.

P Park / Open Space

The Park / Open Space designation applies to lands owned and operated by the City of Loma Linda as passive or active public parks, as well as privately-owned/operated areas with dedicated public-use easements (i.e., trails, paseos and neighborhood-serving parks). It also applies generally to community-based recreational and trail use areas, including areas set aside for preservation of orange trees and sections of a pedestrian/bicycle/concrete walkway and trail system, that are intended to serve nearby neighborhoods and the community in general by contributing toward establishing a continuous trail system city-wide. Except as otherwise provided within the Community Overlay (see below), development of buildings is generally prohibited within this land use designation, except those that may be ancillary to the recreational use (e.g., restrooms, small service buildings).

Special Use Overlays

Community Overlay (Maximum 0.1 FAR)

The Community Overlay is established to provide opportunity to integrate selected quasi-commercial and community uses within public parks and open space areas that traditionally do not accommodate such activity. Commercial and community uses within the Community Overlay are intended to accommodate uses that are complimentary to the park uses and serve to enhance the overall quality of special features within the broad park areas. The Community Overlay extends along the northern edge of Central Park (Planning Area 3-4) and North Park (Planning Area 2-6), and over the southern portion of Heritage Park (Planning Area 3-1). The Community Overlay along the south edge of Park Avenue (i.e., Planning Areas 3-4 and 2-6) offer the opportunity to accommodate community uses and commercial entertainment-oriented uses, such as a fire station, a community room/facility, concession areas, small vendor kiosks, and private commercially operated recreation/entertainment/fitness uses (i.e, batting cages, virtual golf, yoga/pilates, etc.). Restaurant uses and small gallery type stores could also be incorporated within the overlay and incorporated to activate the potential lake or stream bed features. Within Heritage Park, the Community Overlay encompasses the historic structures located within that area. Community uses should be limited to those that are adaptable to the historic structures, including for example administrative offices for public agencies and community-serving non-profit organizations. Land use limitations are discussed in more detail in Chapter 4.0 (Development Standards and Guidelines).

Oak Woodland Overlay (Maximum 0.1 FAR)

A minimum 3.5-acre Oak Woodland Preserve is established across portions of Planning Areas Planning Area 2-2 and Planning Area 3-3 to preserve and protect a mature oak woodland vegetation community. The overlay designation serves not only to preserve and protect, but also establish an area for which a long-term habitat management program will be developed and implemented, and to define an area for which special design treatment will be applied to integrate the oak woodland as a focal feature that will interface with other surrounding development. The precise boundary of the overlay will be determined in conjunction with preparation of the Oak Woodlands Preserve Plan. The preserve plan will be developed with the assistance of a qualified arborist and will encompass a cluster of approximately 26 existing oak trees in the area. It is intended that the land area within Oak Woodland Overlay would be privately owned and maintained, but fully accessible to the public for passive recreational use and pedestrian trail access. The Oak Woodland Preserve is described in more detail in Section 3.4 (Parks, Open Space and Recreation Plan) and Chapter 4.0 (Development Standards and Guidelines).

Other Special Use Areas and Districts

“Main Street” District Concept

THE GROVES envisions an internal “Main Street” extending through three or four of the northerly Mixed Use designated Planning Areas. The “Main Street” will serve as a unifying feature used to anchor and serve as a focal point for mixed use development. The traditional small town “Main Street” is the prototype for modern pedestrian-oriented development, which provides a mix of land uses such as retail, offices, commercial services, and residential in the same building or in nearby buildings. This mix of uses helps to build the synergy that is necessary for successful pedestrian oriented development because it allows buildings to be in use 24 hours a day. The form along the “Main Street” should be quite different from that of more traditional commercial development that may occur within other mixed use areas, which may be designed around the car.

In particular to the Main Street, design buildings so as to locate retail uses on the first floor in order to benefit from street activity and to generate activity themselves by providing convenient shopping opportunities and attractive window displays. Service uses, such as hair salons and dry cleaning drop-off/pick-up, should only be placed on the first floor if the interior tenant spaces are designed to present an attractive, active image that adds to the vitality of the street life. Within horizontally mixed-use buildings, provide professional services offered directly to the public on the first floor with other office-based employment reserved office uses for the second floor of pedestrian-oriented buildings. Encourage public

open areas such as plazas that are designed for gathering and ancillary outdoor uses such as outdoor dining. Provide seating areas (e.g., benches, tables and chairs, low walled planters) and trash receptacles for convenience and that encourage use of these outdoor public areas.

Mixed Use/Affordable Housing Provision

THE GROVES features housing opportunities in a variety of home types, sizes, and architectural styles, intended to appeal to residents of different family sizes, income levels, and ages. The number of residential units required within THE GROVES is based on units identified General Plan Land Use Element (Special Planning Area "D") and the Housing Element. Specifically, the Land Use Element establishes 400 as the number of mixed use residential units assigned to THE GROVES, while the Housing Element requires that a minimum of 549 units overall be provided as combined Very High Density and Senior Housing "affordable" units. Consistent with these requirements, each Planning Area within the Mixed Use and Senior Citizen Housing designations is assigned a required affordable/special needs housing requirement. Residential densities within these areas will range from 20 to 25 dwelling units per acre, and a minimum average density of 20 units per acre.

Historic Mission Overlay District

THE GROVES is located within the Historic Mission Overlay District, as established under Chapter 17.82 of the Loma Linda Municipal Code. This Specific Plan incorporates development standards and architectural and site design guidelines that reflect the historical designation and intent of the Historical Mission Overlay District. Specific Plan features that serve to protect, preserve and ensure compatibility with historic resources are discussed in Section 3.5 (Conservation and Preservation Plan) and Chapter 4.0 (Development Standards and Guidelines).

3.2.3 - IMPLEMENTATION PROGRAM

3.2.3(a) - Affordable Housing Implementation

THE GROVES specifies several methods to ensure that the affordable housing units requirements are implemented consistent with the requirements of the Housing Element. To ensure consistency with the affordable housing provisions of the General Plan Housing Element, residential units seeking to qualify as "affordable" shall comply with at least one of the following criteria, in perpetuity:

- **Density:** A residential development within a Mixed Use Planning Area with a minimum residential density of 20 dwelling unites per acre shall be considered to meet the

requirement for providing affordable housing. Density within the Mixed Use Planning Areas may be increased up to 25 dwelling units per acre if in compliance with subsection (b), *Special Populations*, or (c), *Federal, State or City Programs*. Density shall be calculated as provided in Appendix B, *Definitions*.

- ***Special Populations:*** Within the residential portion of mixed use projects, 25 percent of the units shall be targeted and reserved for special populations including, but not limited to, senior citizens, special needs persons, disabled veterans, those needing short term housing to support medical treatment, or as determined by the Community Development Director.
- ***Federal, State or City Programs:*** Units in the residential portion of mixed use projects shall be considered affordable through participation in a specific Federal, State or City affordable housing program when meeting the criteria of the respective program.

3.2.3(b) - Transfer of Residential Units

Each Planning Area is assigned a residential unit value. The Specific Plan provides for the transfer of residential units between Planning Areas in accordance with the provisions of Section 5.13, (*Transfer of Residential Development Requirements/Rights*). Such a transfer may include all the residential units in a Planning Area or a portion of the residential units, provided that the transferred units retain the original assigned attribute identified as affordable or market rate. Residential units may only be transferred to a receive Planning Area that can accommodate the required density of the transferred units.

3.2.3(c) - Implementing a Balanced Mixed of Uses

The Mixed Use designation is designed to result in a broad range and functional mix of commercial-oriented uses consistent with the General Plan's vision for Special Planning Area "D" as a "livable, walkable community," by providing for a strong mix of commercial uses (including neighborhood retail, specialty retail, restaurant, entertainment, office-based employment and/or professional services) and encouraging a rich pedestrian-oriented character that offers plazas, pocket parks, public art, and similar amenities to create gathering places with a high level of visual interest.

In order to promote the efficient use of commercial land and to encourage a broad range of community-serving commercial uses, the Specific Plan restricts large-scale, single-use developments considered unsuitable within the Mixed Use Planning Areas. Further, the Specific Plan provides for a strong mix of commercial uses including neighborhood retail, specialty retail, restaurant, entertainment, office-based employment and/or professional services.

To meet this objective, the Specific Plan includes requirements for each Mixed Use Planning Area that specify the maximum commercial square footage, the minimum commercial square footage, and a minimum number of commercial uses.

3.2.3(d) - Ensuring a Mix of Uses

The Specific Plan ensures that each Mixed Use Planning Area provides the required residential development as well as efficient and varied commercial land uses. A Mixed Use Planning Area must provide its allocated residential units, leaving the remainder of the site available for commercial development.

The Specific Plan establishes maximum and minimum commercial floor area ratios based on the square footage available for commercial development in each Mixed Use Planning Area and requires a variety of commercial use types through designated use categories. (Deviation from the maximum floor area ratio and the minimum number of required categories may be allowed when specifically approved by the Planning Commission as part of a Precise Plan of Design and consistent with modifications as discussed in Chapter 5.0 (Implementation and Administration). The square footage available for commercial development within each Mixed Use Planning Area is designated as the "Assigned Commercial Component" (ACC) (refer to Table 1-1, *The Grove Land Use Statistical Summary*).

The following terms and concepts unique to THE GROVES are referenced to ensure a mix of uses. Calculations corresponding to these terms are specified for each Planning Area in Table 3.2, *Mixed Use Development Requirements*.

- (1) **The Allocated Residential Area (ARA)** for each Mixed Use Planning Area is the acreage (converted to square feet) required to accommodate the allocated residential units at a default density of 20 dwelling units per acre.
- (2) **The Assigned Commercial Component (ACC)** for each Mixed Use Planning Area is the acreage (converted to square feet) remaining in the Planning Area after the ARA is subtracted from the Planning Area's Gross Acreage (i.e., $ACC = \text{Gross Planning Area Area} - ARA$). If the calculation of the Assigned Commercial Component results in zero or a negative number, no commercial development is required for that Mixed Use Planning Area.
- (3) **Maximum Floor Area Ratio (FAR)** for Mixed Use Planning Areas is 0.5 of the Assigned Commercial Component (ACC). Deviations from the maximum FAR are allowed when specifically approved by the Planning Commission as part of a Precise Plan of Design entitlement in compliance with modifications address in Chapter 5.0 of this Specific Plan.

Table 3.2 – Mixed Use Development Requirements

Mixed Use Planning Area	Planning Area Acreage	Allocated Residential Area (SF)	Assigned Commercial Component (SF)	Applied Maximum FAR (SF) ¹	Applied Minimum FAR to Satisfy Each Mixed Use Category (SF)	Required Number of Mixed Use Categories (Minimum) ^{1,2}
PA 1-12	5.9	0	257,004	121,970	60,985	2
PA 2-1	4.4	56,628	135,036	67,518	13,504	3
PA 2-4	4.0	180,774	03	0	0	2
PA 2-5	5.8	117,612	135,036	67,518	13,504	4
PA 2-7	6.7	135,036	156,816	78,408	15,682	4
PA 2-9	1.3	0	56,628	28,314	5,663	2
PA 2-10	0.9	0	39,204	19,602	3,920	1
PA 2-11	0.9	0	39,204	19,602	3,920	1
PA 3-3	19.4	359,370	485,694	242,847	48,569	4
PA 3-7	4.6	200,376	03	0	0	1

Notes:

1. Deviations from the maximum FAR and minimum number of required Mixed Use Categories may be allowed only when specifically approved by the Planning Commission as part of a Precise Plan of Design entitlement and in compliance with Chapter 5.0 (Implementation and Administration)

2. Residential development equals one use category requirement

3. When calculation of the Assigned Commercial Component results in a negative number; the Assigned Commercial Component is determined to be zero and fulfillment of the provisions for ensuring a mix of uses.

(4) **Minimum Use Types and Minimum Floor Area Ratio (FAR)** apply to require a minimum 0.1 FAR for each use type is established for each Mixed Use Planning Area, to ensure that a minimum square footage of commercial use is developed in each Planning Area and to encourage efficient use of land within the commercial component of THE GROVES. The Minimum FAR to satisfy a Mixed Use Category and the minimum number of required categories for each Mixed Use Planning Area is established in Table 3.2, *Mixed Use Development Requirements*. Deviations from the minimum number of required categories may be allowed when specifically approved by the Planning Commission as part of a Precise Plan of Design entitlement.

- a) To receive credit for fulfilling a Mixed Use Category, each Planning Area must develop a minimum of 0.1 FAR of the Assigned Commercial Component (ACC) for each use category assigned to the Planning Area.
- b) The Specific Plan provides incentives to facilitate community uses and other similar community-oriented uses. To encourage development of the following uses, the minimum 0.1 FAR shall not be required for the corresponding Mixed Use Category to be fulfilled.
 - Day cares (child or elder care) and preschools
 - Library
 - Museum
 - Community theater
 - Senior center
 - Fire station
 - Post office
 - Police/sheriff substation
- c) The minimum FAR requirement does not apply to Mixed Use Category A (Residential).
- d) The required number of Mixed Use Categories is based on the size of each Mixed Use Planning Area. Development of residential units within a Mixed Use Planning Area qualifies as providing one of the required number of Mixed Use Categories. If a Planning Area transfers all of its allocated residential units (in compliance with Section 5.13, *Transfer of Residential Development Requirements/Rights*) the required number of Mixed Use Categories for the Planning Area specified in Table 3.3 shall be reduced by one.

(5) **Mixed Use Categories** consist of ten (A-J) categories of land uses permitted in the Mixed Use designated areas. The Mixed Use Categories are generally distinguished by similar building forms reflecting the type of use (i.e., offices versus restaurants versus retail spaces). The Mixed Use Categories are Residential, Retail, Services, Eating Establishments, Recreation/Entertainment, Hospitality, Office, Health/Social Services, Community/Education, and Government/Public Facilities. THE GROVES Mixed Use Categories, assigned letters A through J, are identified in Table 3.2, *Mixed Use Categories*. Specific allowed uses tied to each of the ten Mixed Use Categories is provided in Table 4-1, *Permitted and Conditionally Permitted Use*, found in Section 4.2 of this Specific Plan. Table 4-1 groups the allowed uses by Mixed Use Category.

- a) Development applications for Mixed Use Planning Areas (e.g., Precise Plans of Design, Conditional Use Permits) shall demonstrate satisfaction of the Mixed Use Category requirements. Mixed Use Category requirements shall apply only during discretionary site plan review in conjunction with a development application.
- b) The building plans shall identify the Mixed Use Category for each building according to building design, building massing, and placement of buildings on the site.

- c) Development proposals shall demonstrate the square footage provided in each Mixed Use Category, which shall be determined by the commercial building's gross leasable square footage.
- d) The square footage of two or more buildings of the same Mixed Use Category may be combined to achieve the required 0.1 FAR.
- e) The building plans shall provide a tally of the square footage of each building within a Mixed Use Category to demonstrate compliance with the provisions of this subsection, to the satisfaction of the Community Development Director.

Table 3.3 – Mixed Use Categories

Category	Land Use Type*
A	Residential
B	Retail
C	Services
D	Eating Establishments
E	Recreation/Entertainment
F	Hospitality
G	Office
H	Health/Social Services
I	Community/Education
J	Government/Public Facilities

Note:

* Specific allowed uses tied to each of the ten Mixed Use Categories is provided in Table 4-1 (*Permitted and Conditionally Permitted Use*) of The Groves Specific Plan., which groups the allowed uses by Mixed Use Category.

3.3 - MOBILITY PLAN

3.3.1 - Relevant General Plan Policy

The Transportation and Circulation Element defines the City's overall planned transportation system. This element identifies and establishes the City's policies governing streets and highways, public transit network, bicycle routes, pedestrian ways, and other components of the circulation system. The identified goals and policies are intended to provide guidance and specific actions to ensure the continued safe and efficient movement of people and goods within and through the City.

See Appendix A for relevant General Plan policies that influence the Mobility Plan.

3.3.2 - Mobility Plan Concept Context and Overview

3.3.2(a) - Vehicular Circulation, Access, and Parking Plan

Local Circulation and Roadway Plan

The Specific Plan site is surrounded by a network of existing streets including Redlands Boulevard to the north, California Street to the east, Mission Road to the south, and the southern extension of Bryn Mawr Avenue to the west. Four major roadways establish the internal circulation within the Specific Plan site. The roadway concept is shown in Exhibit 3-2, *Vehicular Circulation and Access Plan*. Park Avenue and Citrus Avenue extend westward from California Street to Bryn Mawr Avenue, and beyond to allow access to a future middle school anticipated in Planning Area 0-2.

The existing westerly leg at the California Street/Mission Road intersection will be removed and terminated east of Earp Drive. A western extension of Orange Avenue will connect with Mission Road (at the intersection with Earp Drive) and established a new alignment of Mission Road and connection with California Street. Ultimately, access from California Street to Mission Road will be provided exclusively by this segment of Orange Avenue. Mission Road will be terminated east of the intersection with Earp Drive.

Vehicle Access and Connectivity Plan

In addition to the four primary roadways, a network of secondary north-south local roadways will be established to facilitate internal access throughout the Specific Plan site and provide functional connectivity between Planning Areas. The precise location and alignment of secondary roadways will be determined at the time of each individual development implementing phase. However, in order to provide for a coordinated approach that meets the Project objectives and Implementing Policies of the Loma Linda General Plan, the Specific Plan includes an Access Plan with guidelines for the placement of primary and secondary access. Conceptual vehicular entry points for each Planning Area, as well as the general potential locations for internal access between Planning Areas, is shown in Exhibit 3-2. Access points are designated with the express purpose of limiting vehicular access onto Redlands Boulevard and California Street, minimizing curb cuts and potential interference with the flow of traffic on these arterial streets.

3.3.2(b) - Non-Vehicular Circulation and Access Plan

Pedestrian Access and Orientation

The Groves offers residents a southern California outdoor lifestyle that includes access to a well integrated network of trails that address a range of access, function, recreational and well-being needs. The parks, paseos and trails provide residents with multiple options for pedestrian mobility and non-vehicular access. The pedestrian circulation and access plan is shown in Exhibit 3-4: Non-Vehicular Circulation and Access Plan.

Figure 3.2 – Vehicular Circulation and Access Plan

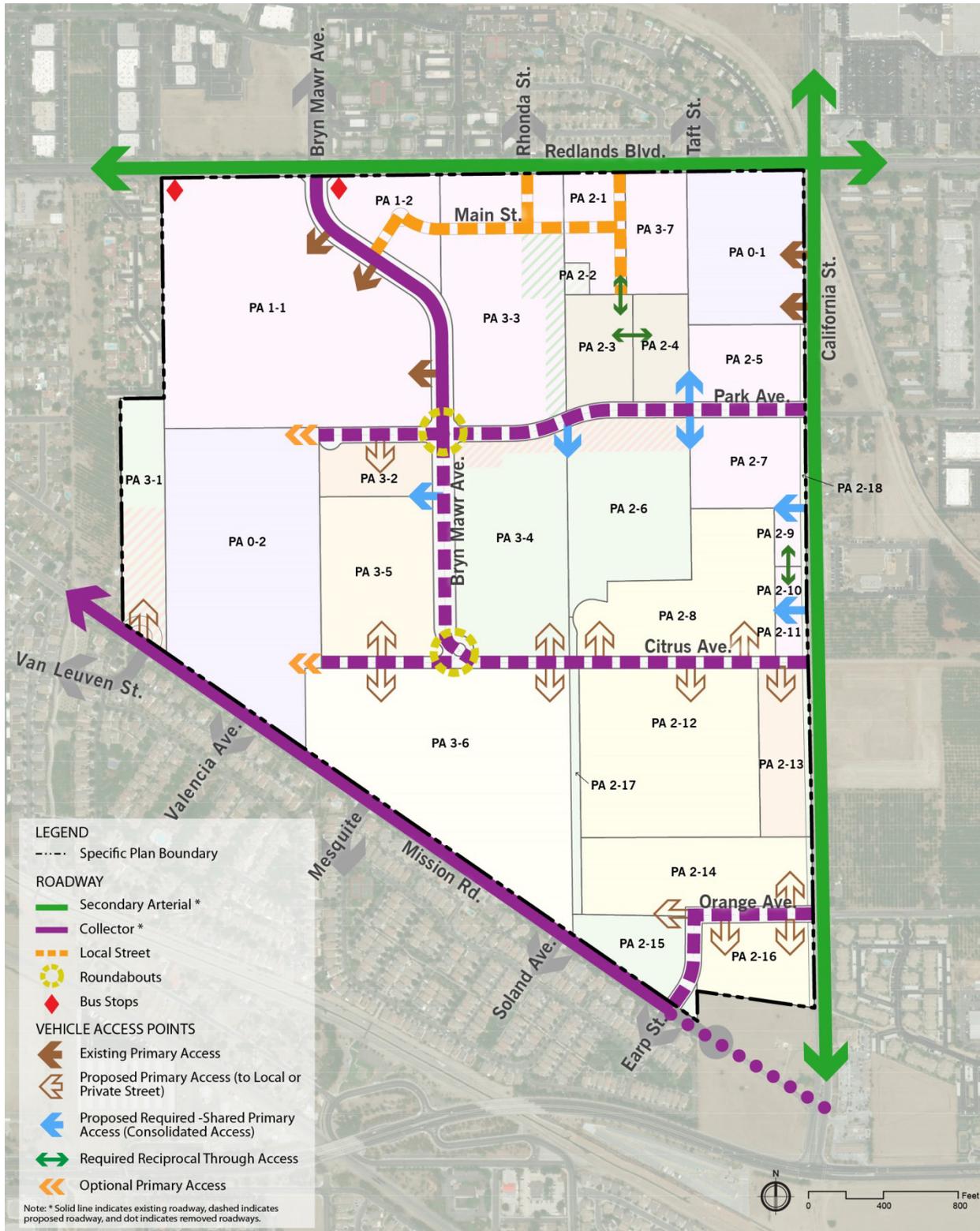
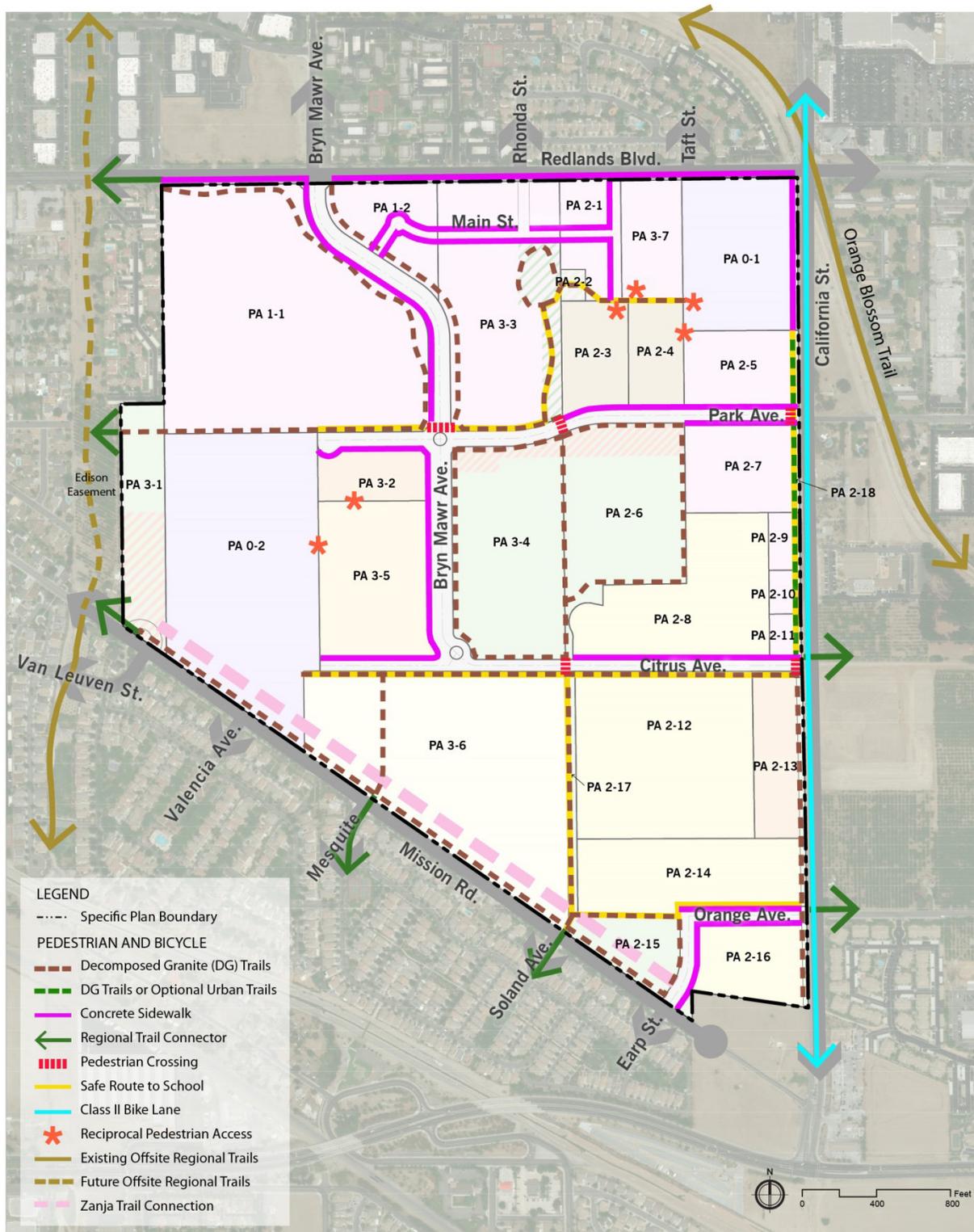


Figure 3.3 – Non-Vehicular Circulation and Access Plan



Simple, direct access for pedestrians and bicyclists between the various land uses in the community is facilitated by the layout of the local roadways under the master roadway plan for The Groves. The network of north-south local roadways, as well as the centrally located paseo, allows pedestrians to make their way from the residential areas to the retail stores and services located in the mixed use areas and the two primary parks, Heritage Park (Planning Area 3-1) and Central Park (Planning Area 3-4).

The Decomposed Granite Trail systems is accessible adjacent to key roadway corridors, but it also threads between key use areas within the community. For example the DG Trail will directly link Heritage Park (Planning 3-1) with Central Park (Planning Area 3-4), and connect the parkland and mixed use areas of The Groves to residential development along Mission Road.

3.3.3 - Implementation Program

The Groves development area is divided into Infrastructure Implementation Improvement Districts, which serve to establish a means for coordinating improvements, including roadways, sidewalks and parkway trails, for areas that share common infrastructure components. Phase Two and Phase Three are each divided into distinct Improvement Districts that represent guidance and expectations for the implementation requirements of infrastructure improvements established by the Specific Plan, as shown in Exhibit 3-15, *Infrastructure Implementation Improvement Districts*, found in Section 3.6.3 of this Specific Plan. Phase Two (Citrus Trails Master Plan) is divided into five Improvement Districts (A, B, C, C-1 and D), while Phase Three is divided into three Improvement Districts (A, B and C).

The Improvement District concept provides flexibility in the timing of the construction of the infrastructure improvements, including roadways, sidewalks and parkway trails, required to support the development of any individual Planning Area, regardless of sequence. Therefore, the Improvement Districts allow for Planning Areas to be developed in any order, provided however, that the necessary supporting infrastructure improvements within a particular Improvement District(s) and the infrastructure in any other Improvement District that is necessary to support the improvements, is in place or is constructed. Development construction phasing has not been determined at this time.

The provision of roadways, sidewalks, and parkway trails to serve The Groves is assured through the designation of Improvement Districts that delineate facilities to be constructed in support of all development, or interim development implementing phases, within an Improvement District.

Construction of each of these facilities shall be timed to adequately service each individual development project. As such, this may require construction of the facilities both on-site (within or adjacent to the PA) and/or off-site (within other PAs or outside of the Specific Plan area) to connect with existing circulation and access facilities in the surrounding area. Required facilities

must be constructed by the development project if the facilities are not already in place to serve an implementing development project (e.g. development of a Planning Area).

3.4 - PARKS, OPEN SPACE, AND RECREATION PLAN

This section describes the plan for community parks, neighborhood parks, special use parks, and paseos within THE GROVES. The parks identified through the Citrus Trails Master Plan have been incorporated here. Conceptual plans for the design of each of the parks and trails have been prepared. The plans represent the types of activities desired for each, as well as a conceptual layout. These are meant to provide direction to future developers, but not limit alternative designs and additional uses.

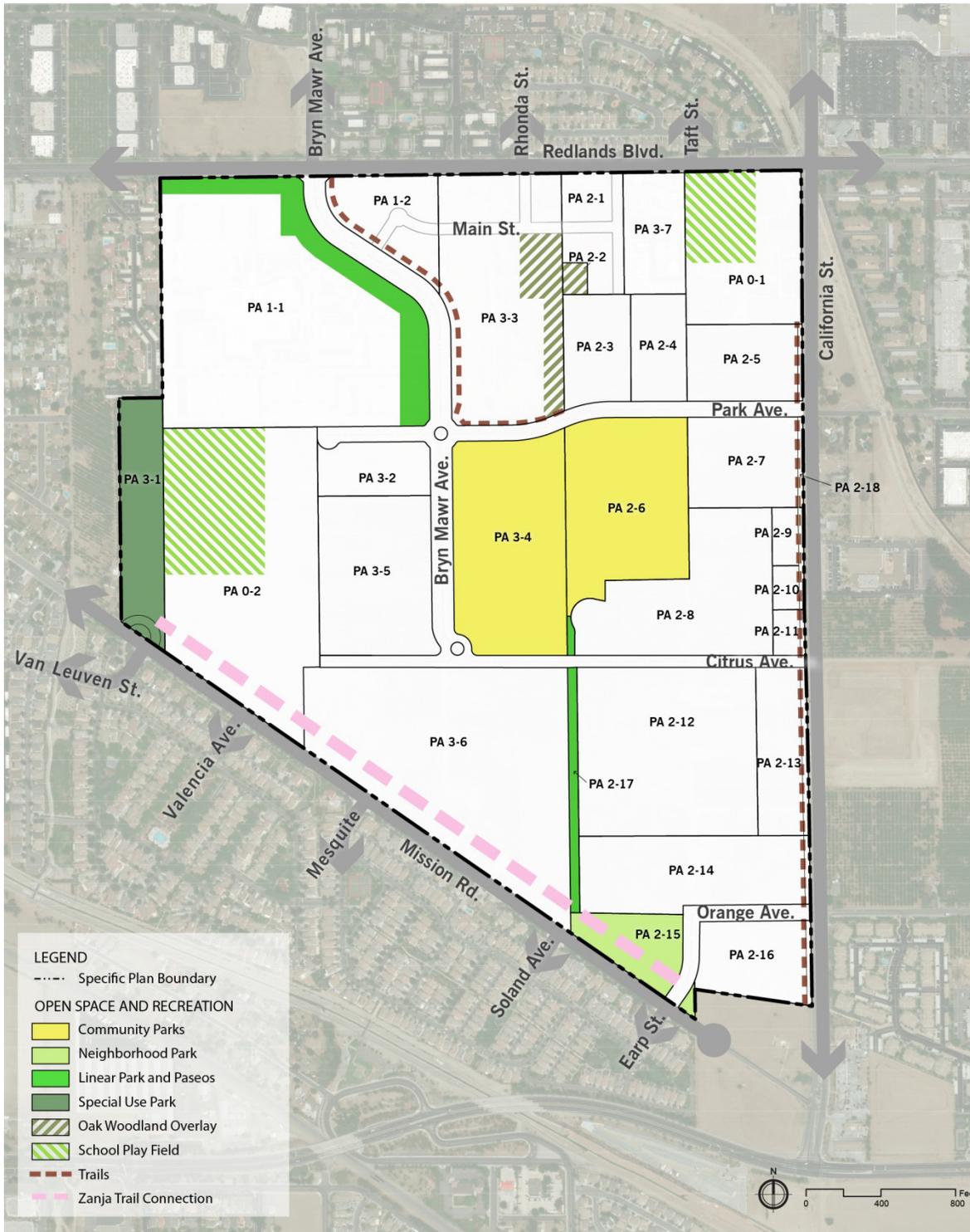
3.4.1. Relevant General Plan Policy

See Appendix A for relevant General Plan policies that influence the Parks, Open Space and Recreation Plan for THE GROVES Specific Plan.

3.4.2. Development Concept and Plan Features

THE GROVES at Loma Linda includes a thoughtfully planned system of parks and trails to provide residents with convenient access to a variety of outdoor recreation (both active and passive) and social activities. The location of recreational facilities within THE GROVES is displayed on Figure 3-3, Park and Open Space Plan. In the heart of the community will be a large park consisting of North Park and Central Park, with a combined total of 29.8 acres. North Park had originally been conceived through the planning and entitlement for Citrus Trails. Based on the additional open space requirements per Special Planning Area D, Central Park has been planned and located adjacent to North Park to create a grand community park for all residents of Loma Linda. The overall park and open space objective is to provide a variety of recreational activities within THE GROVES and to link every neighborhood to a trail system that connects to the parks and open space areas. As shown on Figure 3.2, *Non-Vehicular Circulation and Access Plan*, consideration has been given to how internal trails can connect to existing and planned off-site local and regional trail systems.

Figure 3.4 – Open Space and Recreation Plan



3.4.2(a) - Community Parks

a. North Park

The 13.9-acre North Park, identified as Planning Area 2-6, provides active recreational opportunities for residents and the greater Loma Linda community. As presented on Figure 3.5, *Conceptual North Park Plan*, North Park includes recreational amenities such as basketball courts, bocce ball courts, pickle ball courts, horseshoe pits, and a children's playground. A large open area designed for use as a dog park is located in the northeast corner of North Park. The majority of the turf area within the park is allocated for youth soccer fields, sized to provide game facilities for a variety of ages. Conveniently located throughout North Park, picnic shelters provide shaded seating and a 10-foot wide decomposed granite trail encircles the North Park boundary. North Park also provides a parking lot for vehicles and a restroom building. Evergreen canopy trees, deciduous trees, and accent trees that include pockets of orange trees are located along the park periphery and clustered within the northern portion of the park.

Figure 3.1, *Land Use Plan*, shows a Community Use Overlay which allows for a variety of community-serving uses including a fire station, community multi-purpose building/facility, concession areas or restaurants, and commercial recreation uses such as fitness studios and batting cages. This overlay provides an optional range of uses to be considered in the final design of the park.

b. Central Park

In contrast to the emphasis on structured sports in North Park, the 15.9-acre Central Park is intended for multi-purpose areas for family picnics, tot lots, community fairs (arts/crafts, food festivals, etc.), annual concerts in the park, farmer's market, biking and walking. The development of North Park is expected to occur prior to Central Park, therefore Central park should be designed and programmed in coordination with North Park in terms of shared parking, access between the two parks, and activities. At build-out, the two parks should function as one integrated community park. Figure X, *Conceptual Central Park Plan*, identified a preferred solution for shared parking, and a layout of multipurpose fields, trails, and other uses that compliment the conceptual plan for North Park.

Like North Park, Figure 3.1, *Land Use Plan*, shows a Community Use Overlay which allows for a variety of community-serving uses including a fire station, community multi-purpose building/facility, small Amphitheatre, concession areas or restaurants. This overlay provides an optional range of uses to be considered in the final design of the park.

Central Park may also be designed to accommodate storm water drainage from development within THE GROVES so that individual projects will not have to incorporate detention basins on-site (see Section 3.6, Grading, Drainage and Water Quality). This may be in the form of a permanent

lake that is designed to handle annual run-off, or in the form of detention basin that also includes non-structural park uses, or even in the form of an improved drainage channel that winds through the park and incorporates trails and landscaping. As illustrated in Figures 3.6, *Conceptual Central Park Plan*, Central Park includes community fair ground, family picnic, amphitheater, demonstration garden, drainage channel, and children's playground.

3.4.2(b) - Neighborhood Parks

a. South Park

Located in Planning Area 2-15, the 4.0-acre South Park provides convenient recreational opportunities for residents of THE GROVES and neighborhoods located south of Mission Road. The concept plan for South Park, provided on Figure 3.6, *Conceptual South Park Plan*, features amenities for group use including a picnic shelter and gathering areas. Additional facilities include bocce ball courts, a children's playground, and open play areas. A 10-foot wide decomposed granite trail, which leads past picnic benches and exercise stations, encircles South Park and ties into the pedestrian Paseo that leads to North Park. The Zanja Trail, which bisects South Park and continues off-site along Mission Road, includes interpretive signage as discussed in Section 3.5.2 (b) to educate users about the importance of the Zanja irrigation ditch to the history of the area. A parking lot and restrooms are also provided within South Park. Evergreen canopy trees and accent trees consistent with the landscape theme are located throughout South Park, creating a distinct community identity.

3.4.2(c) - Special Use Parks

a. Oak Woodland Preserve

The Oak Woodland Preserve consists of a .5-acre Oak Preserve Park (Planning Area 2-2) and a minimum 3-acre area within Planning Area 3-3, Mixed Use. These two areas encompass a mature coast oak woodland habitat which is to be preserved and protected. These two areas are expected to be incorporated into the design of any adjacent development project. Within Planning Area 3-3, this area is defined as an overlay, with the final boundary to be determined as part of the overall design of the planning area. As presented on Figure 3.7, *Conceptual Oak Woodland Preserve Plan*, the Oak Woodland Preserve will include a treehouse playground, healing garden, and picnic areas. It will also provide pedestrian connection to the surrounding uses. Priority trees have been identified in Section 3.5.2 (a). The final design shall include the necessary drainage area to ensure the health of the trees, as determined by an arborist. Improvements may include benches, picnic tables and additional native landscaping consistent with the coast oak woodland habitat.

b. Heritage Park

Heritage Park is a 6.6-acre existing, largely unimproved park within THE GROVES at Loma Linda. The site is located on the western edge of the Specific Plan area, north of Mission Road and adjacent to the Edison Easement. It currently contains two historic homes that have been moved to the site from nearby citrus properties. It also contains an historic adobe storage building built along the Zanja for storage of wheat, barley, beans, corn, and peas, as discussed in Section 3.5.2(b), *Historic Resources*. The historic homes, adobe, train car, and a wireless facility are located on the lower third of the park, with citrus groves located on the remainder of the site. The historic homes are currently being leased for office use. As noted in Section 3.5.2(b), *Historic Resources*, several additional historic homes within the specific plan area may be moved to Heritage Park.



Existing Heritage Park include two historic homes and a historic adobe storage building.

The conceptual plan for Heritage Park incorporates the existing uses, future historic homes, and expands improvements to include uses and activities for the public. As shown in Figure 3.8, Conceptual Heritage Park Plan, the park includes additional train cars, engines, a picnic and play area, and museum within one of historic homes. A small outdoor amphitheater for educational presentations or entertainment may also be included. The northern portion of Heritage Park will maintain the citrus groves, which can be accessed by a system of pedestrian trails.

Figure 3.5 – Conceptual North Park Plan



Figure 3.6 – Conceptual Central Park Plan (Alternative One)



Figure 3.6 – Conceptual Central Park Plan (Alternative Two)



Figure 3.7 – Conceptual South Park



Figure 3.8 – Oak Woodland Preserve

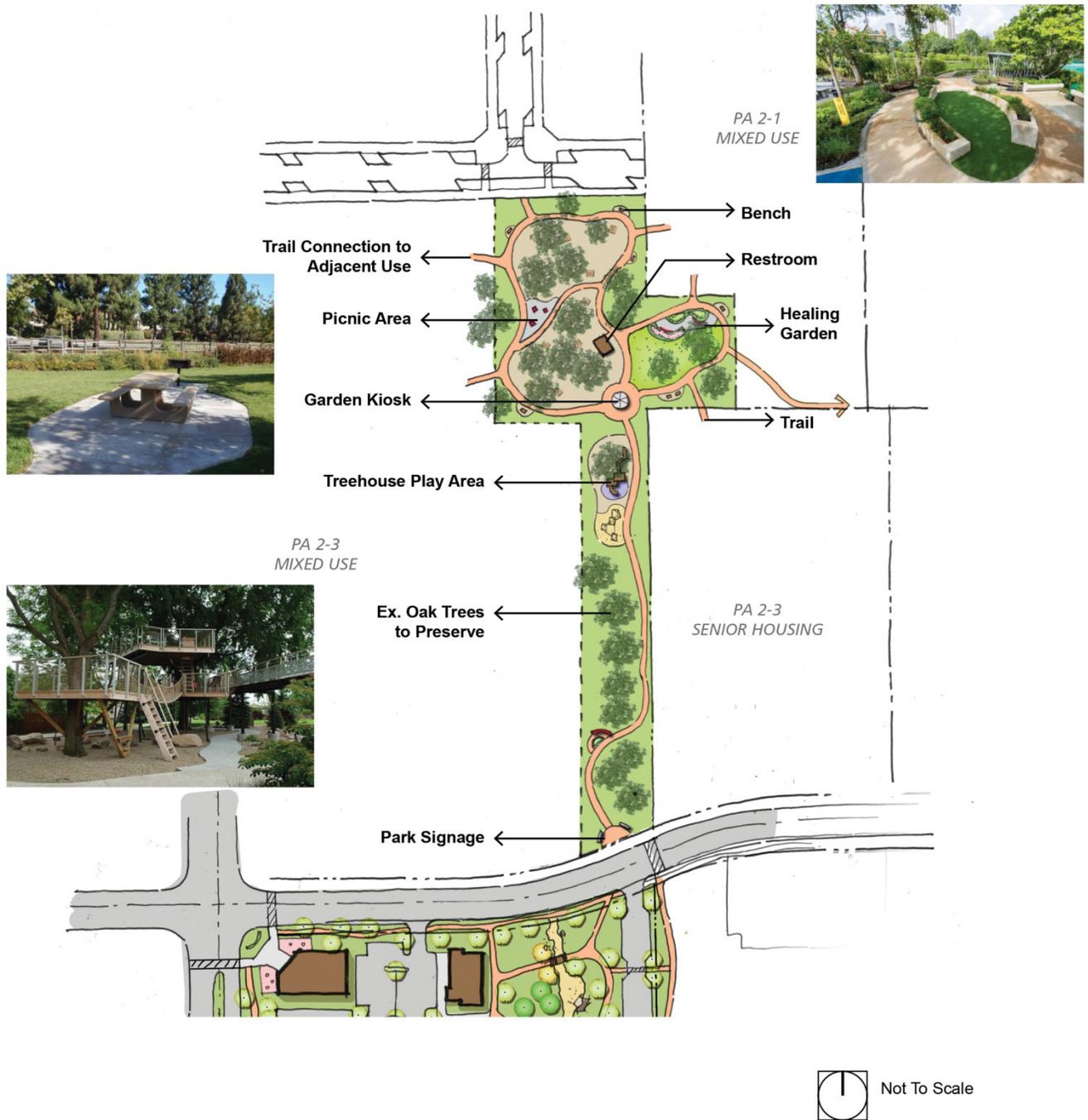


Figure 3.9 – Heritage Park



3.4.2(d) - Linear Park, Paseo and Parkway Trails

a. VA Linear Park

The Veterans Affairs Ambulatory Care Center (Planning Area 1-1) is an existing use within THE GROVES and includes a 5.5-acre Linear Park. The VA Linear Park is within the front setback area of the facility along Redlands Boulevard and Bryn Mawr. It includes a passive and active recreational area, including: a pocket seating area, a walking trail, an orchard grove, bocce ball, horseshoe pit, exercise circuit, chess tables, and public parking.



b. Paseo and Trails Connecting Mission Road to Main Street

A 2.3-acre Paseo (Planning Area 2-17) and a decomposed granite trail system provide a pedestrian amenity and facilitate access from Mission Road to Main Street. The Paseo, which varies in width from 27 to 40 feet, is located along the western boundary of single-family residential community of Citrus Trails, and features a 10-foot wide meandering decomposed granite trail surrounded by evergreen canopy and accent trees, as depicted on Figure 3.9, *Conceptual Paseo Plan*. The trail then extends north of Citrus Avenue to North Park and then continues through the Oak Woodland Preserve to Main Street. Picnic tables and exercise stations are sited along the Paseo, adding to the

function of this community amenity. Interpretive signage, as discussed in Section 3.5.2(b), *Historic References*, educates users of the Paseo about the history of the local area.

c. Parkway Trails

California Trail

An 1.1-acre open space area and trail bordering THE GROVES frontage along California Street in Planning Area 2-18 provides a 10-foot wide decomposed granite trail flanked by trees, shrubs and groundcover south of Citrus Avenue. Adjacent to the Mixed Use Planning Areas north of Citrus Avenue, a 15-foot wide hard surface trail is provided in lieu of the decomposed granite material, which allows for continuation of the pedestrian connection along California Street and also facilitates the pedestrian oriented design of the adjacent Mixed Use Planning Areas by providing a wide walkway or space for outdoor dining.

Commercial Trail

Commercial trail is a 22-foot parkway with a 10-foot wide meandering decomposed granite trail on the east side of Bryn Mawr Avenue abutting Planning Area 1-2 and 3-3. The trail will incorporate building frontage to create an appealing and comfortable street environment. It will also provide pedestrian connections to the surrounding parks and open spaces.

Zanja Trail Connection

Zanja Trail will be a natural surface path along the Mill Creek Zanja irrigation ditch parallel to Mission Road. It connects to its existing off-site alignment. Zanja Trail will include interpretive signage and elements relating to adjacent historic resources, local history, and other information about the area to educate the community and visitors.

Figure 3.10 – Conceptual Paseo Plan



3.4.3. Implementation Program

3.4.3(a) - Park Dedication Requirements

THE GROVES Specific Plan is consistent with the Special Planning Area "D" policies regarding the provision of parks, open space, and trails, which envision a minimum of 68.2 acres of parks, open space, and trails within Special Planning Area "D". Table 3.4 below identifies the variety of facilities identified in this Specific Plan.

Table 3.4 – Parks, Open Space, and Trails Allocation Summary

Planning Area	Parks, Open Space, and Trails	Acreage Allocations				Total Acreage
		Park	Open Space	Trail	School Play Fields	
PA 1-1	VA Linear Park	5.5				5.5
PA 1-2	Commercial Trail			0.3		0.3
PA 2-2	Oak Woodland Preserve (Phase 2)	0.5	0	0		0.5
PA 2-6	North Park	13.5	0.4	0		13.9
PA 2-15	South Park	3.7	0.3	0		4.0
PA 2-17	Paseo	1.0	0.9	0.4		2.3
PA 2-18	California Trail	0	0.4	0.8		1.1*
PA 3-1	Heritage Park	6.6	0	0		6.6
PA 3-2, 3-3	Park Avenue Trail	0	0.3	0.7		1.0
PA 3-3	Oak Woodland Preserve (Phase 3)	3.0				3.0
PA 3-4	Central Park	15.9	0	0		15.9
PA 0-1	Mission Elementary				5.0	5.0
PA 0-2	Future Middle School				9.1	9.1
<i>Parks, Open Space, Trail and School Total</i>		<i>49.7</i>	<i>2.3*</i>	<i>2.2</i>	<i>14.1</i>	<i>68.2*</i>

Note:

* Mathematical inconsistency is a result of rounding

The Loma Linda Municipal Code, Title 17, Chapter 17.20, requires residential development projects to provide 2.8 acres of park land per 1,000 residents. As shown in Table 1.1, THE GROVES provides for the development of 1,067 residential units. Using population generation rates provided in the Loma Linda Municipal Code, THE GROVES is expected to generate approximately 3,655 residents at ultimate build-out. Therefore, under Chapter 17.20, THE GROVES has a park land requirement of

10.2 acres (3,655 residents/1,000 residents) x 2.8 acres = 10.2 acres). This Specific Plan provides for more than 10.2 acres of parks, open space, and trails, and therefore satisfies the park land dedication requirements of the Loma Linda Municipal Code.

3.4.3(b) - Provision of Required Park Facilities

As THE GROVES community develops, the parks, open space, and trail facilities shall be available to serve the growing residential population. This subsection describes the process for determining Planning Area responsibility for the funding, design, and construction of park facilities within the Specific Plan.

The responsibility for park facilities are proportionally allocated to each Planning Area based on the type of residential development and the number of residential units within the Planning Area using the residential unit/parkland ratios established in this subsection. Design and construction of the park facilities may be undertaken by the Planning Area property owners under a private cost sharing reimbursement agreement. Such an agreement is required to establish the proportional allocation of the expenses associated with the design, construction, and dedication of park facilities.

Alternatively, the City may choose to undertake the design and construction of any or all of the park facilities described in the Specific Plan. Under this scenario, the City shall require each Planning Area to pay its proportional obligation for design, construction, and dedication of park facilities based on the type of residential development and the number of residential units developed within the Planning Area, using the residential unit/parkland ratios established in this subsection.

3.4.3(c) - Phase 2 Planning Areas - Contribution Through Funding or Construction

Planning Areas within Phase 2 (Citrus Trails) shall proportionally contribute toward design, construction, and dedication of park facilities based on residential units via the method designated in Table 3.5, *Provision of Parks, Open Space, and Trails*, which establishes requirements for construction of park facilities or payment of fees for each Planning Area. Table 3.5 shall apply to the respective property owners for residential development within Low Density Residential, High Density Residential, Senior Housing, or Mixed Use Planning Areas.

Table 3.5 specifies payment of fees or construction of facilities based upon property ownership. The parcels within Phase 2 are owned by several different land owners. Where land owners have land available to dedicate for park facilities, Table 3.5 specifies the required dedication of land and construction of park facilities upon the development of an associated Planning Area. When an owner of a Planning Area does not possess land to dedicate for park facilities, a monetary

contribution is required upon development of the Planning Area. (Credits and debits under the private cost sharing reimbursement agreement ultimately provide for proportional distribution of the total cost based on residential development.)

3.4.3(d) - Phase 2 Planning Areas - Determining Proportional Share for Park Facility Implementation

This subsection describes the process for determining the proportional distribution of park facility design, construction, and dedication costs based on a Planning Area's residential development.

- The estimated cost for detailed design and construction of the park facilities and the value of land dedicated for park improvements shall be determined as discussed below or as described in the parkland private cost sharing reimbursement agreement;
- The estimated costs and land values shall be proportionally allocated among Planning Areas based on type of residential development and number of residential units;
- As part of the development process for each Planning Area, as provided in Table 3.5, *Provision of Parks, Open Space, and Trails Trails for Phase 2 Planning Areas*, the Planning Area property owner shall design and construct park facilities to support development of the Planning Area or the Planning Area property owner shall pay their share of the park implementation costs through the private cost sharing reimbursement agreement. Reimbursement shall only be for expenses incurred beyond their proportional responsibility for the park facility being designed and constructed as set forth in the private cost sharing reimbursement agreement.

3.4.3(e) - Phase 2 Planning Area - Determining Expense of Park Facility Development

The total cost to prepare design plans, construct, and dedicate land for the Parks, Open Space, and Trails identified in Figure 3.4, *Open Space and Recreation Plan*, shall be determined in order to proportionally allocate the expenses associated with implementation of park facilities. (The open space trail located along California Street, which shall be constructed in segments as part of the roadway improvements by the adjacent Planning Areas as each is developed, shall be excluded from park facility cost estimates.)

Table 3.5 – Provision of Parks, Open Space, and Trails for Phase 2 Planning Areas

Planning Area	Primary Method of Contribution		Threshold for Implementation - Residential Building Permits		
	Monetary Contribution to Fund Park Development	Dedicate Land and Construct Indicated Facility ¹	Submit Construction Plans ²	Commence Construction	Complete Park Facility ³
2-1	--	Oak Woodland Preserve (Planning Area 2-2)	Prior to issuance of the 1st MFR Building Permit in Planning Area 2-1	--	Prior to issuance of the final MFR Certificate of Occupancy in Planning Area 2-1
2-2	Yes	--	--	--	--
2-4	Yes	--	--	--	--
2-5	Yes	--	--	--	--
2-7	Yes	--	--	--	--
2-8	--	North Park - northern portion (Planning Area 2-6A)	Prior to issuance of the 1st SFR Building Permit in Planning Area 2-8	Prior to issuance of the 50th SFR Building Permit in Planning Area 2-8	Prior to issuance of the final SFR Certificate of Occupancy in Planning Area 2-8
2-9 – 2-11 ⁴	--	--	--	--	--
2-12	--	North Park - southern portion (Planning Area 2-6B)	Prior to issuance of the 1st SFR Building Permit in Planning Area 2-12	Prior to issuance of the 50th SFR Building Permit in Planning Area 2-12	Prior to issuance of the final SFR Certificate of Occupancy in Planning Area 2-12

2-13, 2-14 -- or 2-16	South Park and Paseo (Planning Area 2-15 and 2-17)	Prior to issuance of the 1st SFR Building Permit in Planning Area 2- 13, 2-14 or 2-16	Prior to issuance of the 50th SFR Building Permit in Planning Area 2-13, 2-14 or 2-16	Prior to issuance of the final SFR Certificate of Occupancy in Planning Area 2- 13, 2-14 or 2-16 (cumulative)
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Notes:

1. The open space trail located in Planning Area 2-18 shall be constructed in segments as part of the roadway improvements by the adjacent Planning Areas as each is developed.
 2. Design/Construction plans shall address the entire park facility, and shall not be limited to a specific half or segment.
 3. Prior to issuance of a Certificate of Occupancy for the indicated dwelling unit, the respective park facility shall be deemed complete to the satisfaction of the Public Works Director, who shall have discretion to determine if sufficient progress toward park completion may allow for issuance of a Certificate of Occupancy prior to final park completion.
 4. Planning Area 2-9, 2-10, and 2-11 shall not be required to contribute to park funding, dedication, or construction provided the respective Planning Area does not contain residential units. If residential units are developed within Planning Area 2-9, 2-10, or 2-11 through the Transfer of Development process (Section 5.13), the Planning Area shall be responsible for a per residential unit contribution to park facility funding.
-

Design and construction costs shall be determined through submittal of competitive bids for the preparation of detailed landscape plans, landscape construction documents, and labor and materials for installation of park facility improvements, consistent with the Specific Plan conceptual park facility exhibits. The bids shall be submitted to the area property owners as provided in the private cost sharing reimbursement agreement.

The value of land required to be dedicated for park facilities shall be the value assigned to land in the City's park fee schedule.

3.4.3(f) - Phase 2 Planning Area - Determining Required Level of Contribution

After determining the total cost for preparation of plans, construction, and land dedication, a prorated cost per Phase 2 Planning Areas allocated residential unit shall be established under the terms of the private cost sharing reimbursement agreement to determine the required financial contribution for each Planning Area.

- 1) The level of contribution toward park facility implementation for each Planning Area shall be determined by the product type and number of residential units developed within each Planning Area. Single-family and multi-family homes are allocated a larger share of parkland responsibility than senior or special needs housing units because these uses have a lower demand for park facilities.
- 2) Single-family residential homes shall be counted as 1.0 residential unit; multi-family units (excluding senior and special needs units) as 0.6 residential unit; and senior and special needs units as 0.44 residential unit.

3.4.3(g) - Phase 2 Planning Areas - Determining Payment or Credit

In Table 3.5, *Provision of Parks, Open Space, and Trails*, each Planning Area is designated to either contribute funding or design/construct facilities. For Planning Areas that are required to design/construct park facilities, once the park facilities are complete, the Planning Area property owner's actual cost for design/construction, along with the value of dedicated land, shall be determined. This amount shall be compared to the calculated proportional cost obligation for the Planning Area. If the costs are greater than the Planning Area park fee obligation, the property owner shall be credited that amount, pursuant to the private cost sharing reimbursement agreement. In the event that the costs are less than the Planning Area park fee obligation, the property owner shall pay the difference, pursuant to the private cost sharing reimbursement agreement.

- 1) Payment
 - For Planning Areas that are required to contribute funds per Table X, the provisions in subsection (2), Determining Required Level of Contribution, shall be utilized to determine the Planning Area financial obligation for implementation of park facilities. The full obligation shall be paid by the Planning Area property owner through the private cost sharing reimbursement agreement prior to issuance of the first residential building permit in the respective Planning Area or as provided in the private cost sharing reimbursement agreement (payment shall be documented to the satisfaction of the Community Development Director).
 - Planning Areas that design and construct park facilities as specified in Table X shall be required to fulfill any cost deficit if their actual cost of park facility implementation (for design plans, construction, and value of dedicated land) is less than their obligation as calculated in subsection (2), Determining Required Level of Contribution. The property owner shall make an additional monetary contribution through the private cost sharing reimbursement agreement to fulfill the deficit prior to issuance of a Certificate of Occupancy for the last residential building permit in

the respective Planning Area (payment shall be documented to the satisfaction of the Community Development Director).

- 2) Credit
 - Planning Areas that design and construct park facilities as specified in Table X shall receive a credit if their actual cost of park facility implementation (for design plans, construction, and value of dedicated land) is more than their obligation calculated in subsection (2), Determining Required Level of Contribution. A credit shall be provided to the Planning Area property owner through the private cost sharing reimbursement agreement prior to issuance of a Certificate of Occupancy for the last residential building permit in the respective Planning Area or upon completion and acceptance of the park facility.

3.4.3(h) - Phase 2 Planning Areas - Timing of Park Facility Construction

The timing for submittal of construction plans to the City, commencement of construction, and completion of the park facility shall be as specified in Table 3.5. Prior to issuance of a Certificate of Occupancy indicated in Table 3.5, the respective park facility shall be deemed complete to the satisfaction of the Public Works Director, who shall also have the discretion to determine sufficient progress toward park facility completion to allow for issuance of Certificate of Occupancy permits prior to final park facility completion.

3.4.3(i) - Open Space and Recreation Plan Development Standards

- 1) Final park land dedication requirements for Phase 2 Planning Area shall be based on the park, open space, and trail requirements in Table 2.B of the Loma Linda General Plan and be determined by the City at the time the implementing tentative tract map(s) is submitted for review.
- 2) Private recreational facilities, such as those serving residential units within the Mixed Use and Senior Housing Planning Areas, shall be privately owned and maintained by a master homeowners' association or similar entity.
- 3) Recreational facilities and manufactured slopes within the open space areas shall be landscaped and, where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
- 4) Landscaping within recreation and open space areas shall be consistent with Section IV, *Design Guidelines*, of this Specific Plan.
- 5) Landscaping within recreation and open space areas shall conform to the standards set forth in the Loma Linda Municipal Code Chapter 13.32, *Water-Efficient Landscape*.
- 6) Conceptual landscaping plans shall be submitted to the City of Loma Linda Planning Division for review in conjunction with tentative map applications that implement any portion of this Specific Plan.

3.4.3(j) - Phase 3 Planning Areas – Park Implementation Requirements

Phase 3 Planning Areas are expected to be developed by multiple property owners' overtime. Each of the parks, open spaces, and trails within Phase 3 will be implemented as follows:

- 1) Central Park – All residential projects within Phase 3 shall be required to either contribute funding or design/construct park facilities in accordance with their fair share park dedication obligation per the Loma Linda Municipal Code. Central Park shall satisfy the public parkland obligation for Phase 3 Planning Areas. Each project shall enter into an agreement with the City at the time of approval of a subdivision map regarding the terms for meeting their requirement.
- 2) Oak Woodland Preserve – A minimum of 3-acres shall be dedicated and improved by the property owner(s) for Planning Area 3-3, in accordance with the Planning Area development standards in Chapter 4.0. The property owner(s) for Planning Area 3-3 shall enter into an agreement with the City at the time of approval of a subdivision map regarding the terms for meeting their requirement.
- 3) Heritage Park – Heritage Park is currently owned and maintained by the City. The City shall continue to own, maintain, and improve the park overtime as funding permits.

3.5 - CONSERVATION AND PRESERVATION PLAN

3.5.1 - Relevant General Plan Policy

See Appendix A for relevant General Plan policies that influence the Conservation and Preservation Plan for THE GROVES Specific Plan.

3.5.2 - Development Concept and Plan Features

3.5.2(a) - Biological Resources

The Specific Plan area includes approximate 3.5 acres of disturbed coast live oak woodland located in the northern portion of the area, predominately within Planning Areas Planning Area 2-2 and Planning Area 3-3.

The City's General Plan guiding policy for oak woodlands states to preserve, as feasible, the oak woodland areas within the City by requiring development to incorporate the trees into the development design. The Specific Plan designates this oak woodland habitat to be preserved and managed in perpetuity through an Oak Woodland Preserve Overlay. The Groves provide development standards and guidelines to preserve existing oak trees and provide for replacement at an appropriate ratio of those trees than cannot feasibly be preserved. Further, the Loma Linda Municipal Code Chapter 17.74 "Tree Placement, Landscape Materials, and Tree Removal" outlines

local policies and ordinances regulating landscape development which include protecting and maintaining significant existing trees.

The Specific Plan includes project design criteria for avoidance of removal or encroachment of coast live oak trees during development, and requires that the oak woodlands be actively managed to ensure their long-term health.

3.5.2(b) - Historic Resources

The following elements are included throughout THE GROVES community to help educate residents and visitors in the rich history of the surrounding area by providing historic information and/or visual references to one or more of the following historic uses of the project site or project area: a Mission storehouse, a Native American village, a Mexican rancho, Mormon settlements, and early citrus farming.

a. Historic Reference through Architectural Styles

The architectural styles selected for THE GROVES reflect modern interpretations of the historic architecture prevalent in the region. The designated architectural styles for THE GROVES are: Mediterranean Revival, Craftsman, Prairie, Monterey, and Italianate. These architectural styles are consistent with the Loma Linda Municipal Code, Chapter 17.82 (Historic Mission Overlay District).

b. Historic Reference through Mission District Identification

In order to convey the area's history to residents and visitors of THE GROVES, the design of the Major Monuments and Minor Monument discussed in Section IV.D.3, Monumentation, includes text identifying the "Historic Mission District" in addition to the THE GROVES community name at prominent entryways into the community.

c. Historic Reference through Public Art at Entry Monuments

As a special accent to the Monuments discussed in Section IV.D.3, Monumentation, public art elements are used to evoke the history of THE GROVES area. The theme and materials employed in the art sculpture may include references to any of the following: Mission period, Native American village, Mexican rancho, Mormon settlers, or citrus farming. The preliminary art concept for the entry monument located on the southwest corner of California Street and Citrus Avenue is a cast metal sculpture of a child riding a vintage orange crate scooter. The vision for the entry monument located on the northwest corner of California Street and Orange Avenue features a cast metal sculpture of vintage smudge pots, which were used in citrus groves to protect fruit trees from frost.

d. Historic Reference through Residential Street Naming

The residential builder(s) of the THE GROVES community will work with the City of Loma Linda to create a residential street naming program that uses words or names connected with the area’s historic past, which may include references to the Mission period, Native American village, Mexican rancho, Mormon settlers, or citrus farming.

e. Historic Reference Design Guidelines

These Historic Reference Design Guidelines apply to the locations and land uses specified below to ensure that the design of THE GROVES amenities links the present day community to the area’s past. Provisions that are followed by a parenthetical reference to a section of the Loma Linda Municipal Code shall be considered mandatory provisions. The word “shall” indicates elements required by the Loma Linda Municipal Code; whereas, “should” indicates an element that is encouraged but not required, or provides one of a variety of possibilities to implement a mandatory provision. The photographs accompanying the Historic Reference Design Guidelines provisions provide a suggestion, and are not meant to dictate the precise design of the elements.

1) *Zanja Trail*

The following are requirements pertaining to the identification and preservation of the Zanja Trail on-site.

- Establish Zanja Trail alignment based on confirmed Zanja location.
- Interpretative signage shall be provided along the Zanja Trail from South Park to Heritage Park (per 17.82.090.C.5).
- Design elements or materials that provide a visual reference to the appearance of the original Mill Creek Zanja should be considered at a key point along the Zanja Trail connection.



2) *South Park*

- Site design and amenities (e.g., play equipment, picnic shelters) should be influenced by Native American village and/or Mission themes through use of materials including clay tile pavers, barrel tile roofs, stucco, cobble, simple wrought iron, and wood rail fencing.
- Park furnishings (e.g., benches, light standards, drinking fountains, trash receptacles) shall feature styles and materials that are compatible with the historic use of the area (per 17.82.090.C.7) as a Native American village and/or Mission storehouse.



3) *Paseo*

- Interpretative signage shall be provided at the north and south entrances of the Paseo and/or along its path (per 17.82.090.C.5). Consideration should be given to using interpretative signage to create a timeline through history along the Paseo trail (i.e., representing the Mission and Native American periods along the southern portion near South Park, the Mexican rancho period and Mormon settlement in the middle, and citrus farming along the northern portion near North Park).
- Design of the landscape should be complementary to the historic theme, such as the use of native trees and shrubs in a natural pattern, stone accents, and rustic/natural materials.
- Amenities (e.g., benches, exercise stations) shall be complementary to the periods conveyed in the interpretive signage (per 17.82.090.C.7), such as through the use of simple, natural materials.



4) *Community Parks*

- Community Park should reflect the citrus farming history of THE GROVES, including the early period to the modern era, through elements that may include themed playground equipment and themed amenities such as picnic shelters.
- Consideration should be given to the use of citrus trees as an accent in the landscaping within or near Community Parks.

- Park furnishings (e.g., benches, light standards, drinking fountains, trash receptacles) shall feature styles and materials that are compatible with the historic use of the area (per 17.82.090.C.7) for citrus farming.



5) *Mixed Use and Senior Housing*

Public art should be employed within focal points in the Mixed Use and Senior Housing areas to educate residents and visitors about the area's diverse history. Appropriate historic references may include one or more of the following: Mission period, Native American village, Mexican rancho, Mormon settlers, or citrus farming.



- Signage should be compatible with the building architectural styles to reflect the historical significance of the area. Signage may include modern interpretations provided it complements the building architecture. Signage should avoid a mundane, mass-produced appearance by discouraging the use of can signs or internally illuminated channel lettering. The design of the sign program shall be able to provide at least one element or component (such as a district logo, sign shape, material, or color) that can be used to unify all future sign programs within the Historic Mission Overlay District.

3.5.2(c) - Sustainable Practices

To further the City of Loma Linda's objectives for sustainable development, The Groves concepts incorporate the following concepts:

- Encourage sustainable landscapes or landscapes that require little irrigation through the use of drought-tolerant and native vegetation in new development.
- Pursue the use of reclaimed water for the irrigation of all appropriate open space facilities and City projects, and encourage existing and new developments to tie to the reclaim water system when available and recommended by the San Bernardino Municipal Water Department (wastewater provider) to reduce demand on municipal water supplies.
- Through the development review process, encourage water conservation in all new and rehabilitated development through the use of water conserving fixtures in all new residential and commercial development.
- Require implementation of Best Management Practices to reduce drainage system discharge of non-point source pollutants originating from streets, parking lots, residential areas, businesses, industrial operations, and those open space areas involved with pesticide application.

3.5.3 - Implementation Program

[In taking action on the Specific Plan, the City Council may provide direction to City staff for revisions to the Public Hearing Draft, dated June 2018, and for incorporation into the final adopted version of the Specific Plan. This section will be completed and finalized by the Community Development Director as directed by the City Council.]

Oak Woodland Preserve

Mitigation Measure MM 4.3-1 is required as identified in the adopted Mitigation Monitoring and Reporting Program for The Groves Specific Plan. MM 4.3-1 requires the following to ensure protection of the oak woodlands area:

In accordance with the City of Loma Linda General Plan to conserve oak woodland a minimum of 3 acres of oak woodland shall be preserved in perpetuity. An Oak Woodland Protection Plan shall be

developed prior to development of the Phase Three Concept Area. A copy of the Oak Woodland Protection Plan, prepared by a qualified biologist, shall be submitted to the Community Development Director at the time grading or building plans are submitted for approval and permits. The Oak Woodland Protection Plan will include the following items:

- Responsibilities and Qualifications of the Personnel to Implement and Supervise the Plan. The responsibilities of the Landowner, Specialists, and Maintenance Personnel that would supervise and implement the Plan shall be specified.
- Site Selection. The location of the 3-acre protected oak woodland shall be clearly identified. Additionally, individual tree locations within the 3-acre preserve shall be identified.
- Site Preparation and Planting Implementation. Site preparation shall include: (1) protection of existing trees, (2) trash and weed removal, (3) native species salvage and reuse (i.e., duff), (4) signage installation at strategic locations to keep pedestrians on designated trails, and (5) selection and protection of naturally recruited oak trees.
- Maintenance Plan/Guidelines. The Maintenance Plan shall include: (1) weed control, (2) herbivory control, (3) trash removal, and (4) seedling/sapling protection.
- Monitoring Plan. The Monitoring Plan shall include: (1) qualitative monitoring (i.e., photographs and general observations); (2) quantitative monitoring and (3) annual reports which shall be submitted to the Community Development Director for five years.
- Long-Term Preservation. Long-term preservation of the site shall ensure the mitigation site is not impacted by future development. A performance bond shall be secured prior to implementation of the plan and the site shall be preserved as open space in perpetuity.

The prepared plan will be submitted to the Community Development Director for final approval prior to ground disturbance. related to implementation of any Phase Three Concept Area project activities. The Plan will then be implemented within one year of the completion of rough grading activities.

Preservation of Historic Resources

Mitigation Measures MM 4.4-1 through MM 4.4-12 are required as identified in the adopted Mitigation Monitoring and Reporting Program for The Groves Specific Plan. These measures ensure protection of historic structures and sub-surface cultural resources.

3.6 - INFRASTRUCTURE, SERVICE, UTILITIES, AND WATER QUALITY PLAN

3.6.1 - Relevant General Plan Policy

See Appendix A for relevant General Plan policies that influence the Infrastructure, Service, Utilities, and Water Quality Plan for THE GROVES Specific Plan.

3.6.2 - Development Concept and Plan Features

The Specific Plan includes guidance for the coordinated development of infrastructure, utilities and services to serve the Specific Plan site.

3.6.2(a) - Grading and Soils

The Specific Plan site is situated within a fault-bounded valley/basin, informally referred to as the San Bernardino Basin. Most of the basin surface is covered by alluvial fans emanating from the San Bernardino Mountains, as well as the neighboring San Timoteo Badlands and Crafton Hills. The Specific Plan area lies within what is known, hydrologically, as the Bunker Hill groundwater basin and encompasses all of the San Bernardino Valley Basin. Based on historic groundwater level data, groundwater at the Specific Plan site has not been encountered above a depth of 70 feet below ground surface (bgs). Topographically, the Specific Plan area occupies the mid-portion of an alluvial fan emanating from San Timoteo Canyon about one mile southeast of the Specific Plan area. The natural slope within the area displays a surface gradient of about one percent (0.01 foot/foot).

The Specific Plan site is not located within a special studies (Alquist-Priolo) zone. No known active nor potentially active faults lie within or project towards the Specific Plan site.

Surficial materials within the Specific Plan site consist of topsoil and recent alluvial deposits. Older alluvial deposits underlie the entire site at depths greater than about 50 feet. Native topsoil materials that once blanketed much of the site have been extensively disturbed due to cultivation for the citrus orchards and residential development along the southern and northern borders of the site. Where still present, these soils are described by the U.S. Department of Agriculture Soil Conservation Service (USDA, 1980) as San Emigdio fine sandy loam and Hanford sandy loam, both part of the Hanford Soils Series. These soils are typically dry, porous, loose, contain varying amounts of organic material, and are as much as five feet thick. These soils are considered to be moderately to highly permeable, and moderately erodible in their natural condition.

Any improvement projects that involve structural components tied to soils are required to submit to the City for review and approval a soils report or geotechnical report prepared by a State-licensed geotechnical engineer, and to comply with conclusions and recommendations of the soils report which ensure that the structural integrity of any future construction would not be

compromised by the underlying soils. Compliance with standard City engineering requirements, as well as the recommendations of any geotechnical and soils report is required. Construction would address the recommendations made in the geotechnical report to ensure seismic and soils stability and reliability.

3.6.2(b) - Surface Water Drainage, Storm Water and Water Quality Management

The Specific Plan site is located within the Santa Ana River Watershed and is located primarily in the Bunker Hill Basin. This water basin underlies most of the San Bernardino Valley extending from the San Bernardino Mountain range to the south hills of Loma Linda. The Bunker Hill Basin is artificially recharged by surface stream diversions made for groundwater replenishment. This aquifer supplies the majority of water to the City. The replenishment activities play an extremely important role in managing the Bunker Hill Basin to supply the current and future needs of the Basin, which includes the future needs of the City.¹

Based on historic groundwater level data, depth to groundwater beneath the Specific Plan area has reportedly never been shallower than about 70 feet from the ground surface. A Year 2000 groundwater level reading from a well located along Mission Road indicated a groundwater level of 177.9 feet below ground surface. The Basin's principal groundwater aquifer in the Specific Plan area is capable of producing as much as 4,400 gallons per minute from wells. Irrigation water to the existing and previous agricultural uses in the Specific Plan site is supplied by at least four large irrigation wells located either within or along the margins of the Specific Plan area. Although groundwater recharge from irrigation return once was significant, it has become less so with the continuing urbanization of agricultural lands.²

According to Federal Emergency Management Agency Flood Insurance Rate Maps, the Specific Plan site is located within Flood Zone X, which is defined as outside the zone with 0.2% annual chance floodplain, and is not located in the flood zones for either the Zanja flood control channel, located immediately to the east, or San Timoteo Creek, located approximately 0.17 mile to the south.³ According to the Loma Linda General Plan and the San Bernardino County General Plan Hazard Overlay Map FH31B, the Specific Plan site is not located within a flood hazard zone, except

¹ Loma Linda General Plan, Chapter 9.6 (Water Resources). 2006.

² Magorien, C.E.G., Geology, Soils and Seismicity Report. 2003.

³ FEMA, FIRM No. 06071C8711H. 2008.

for a small area on the border of the northeast corner of the Specific Plan site.^{4, 5} This area is defined as Zone X, Inside 500 Year Flood Plain.

The Specific Plan site has mild slopes of less than two percent which drain in a northwesterly direction.⁶ Under existing conditions, the Specific Plan site is not subject to off-site stormwater flowing onto the Specific Plan site because off-site stormwater flows are captured within existing street rights-of-way bordering the Specific Plan site and are conveyed to the Mission Zanja Creek/San Bernardino Flood Control Channel located northeast of the site. Therefore, off-site flows are not present under existing conditions.⁷ Because the Specific Plan site is relatively flat, it is not subject to significant erosion by water through surface drainage during construction.

The San Bernardino County Flood Control District services the City for local and regional flood control and drainage facilities. The Specific Plan site and surrounding area is currently served by existing storm drains. The County Flood Control District is responsible for flood protection on major streams, water conservation, and storm drain construction.⁸

Development of THE GROVES will increase the amount of impervious area, thereby necessitating the need for a comprehensively designed surface water run-off and stormwater drain system to collect the increased runoff from the site. In accordance to the NPDES permit program and to accommodate the increase in stormwater flow, THE GROVES development would be required to have designed a stormwater collection system to control water pollution by regulating point sources that discharge pollutants into the water.

Under the developed condition, stormwater will be captured within road rights-of-way and conveyed to onsite self-treating facilities that will release clean water to an underground storm drain system, before being transported to the City's existing storm drain system off-site. Water features, basins, open spaces and park sites incorporated throughout THE GROVES will provide ample groundwater recharge. In addition, a reclaimed water system will be installed to irrigate the parks, paseo, and parkways along Park, Citrus and Orange Avenues, Mission Road, and California Street and potentially to field areas of the future middle school and designated park areas.

The drainage system for managing stormwater flows within The Groves is shown in Exhibit 3-11: *Master Drainage Plan* and Exhibit 3-12, *Master Storm Drain Plan*. Each individual development

⁴ Loma Linda General Plan, Chapter 10.2 (Flooding Hazards). 2006.

⁵ San Bernardino County General Plan, Land Use Plan, Hazards Overlays. 2010.

⁶ Magorien, C.E.G., Geology, Soils and Seismicity Report. 2003.

⁷ Citrus Trails Master Plan, Drainage Plan. 2016

⁸ Loma Linda General Plan, Chapter 10.2.1. 2006.

implementing project within THE GROVES (which could involve multiple Planning Areas), will be required to prepare a Water Quality Management Plan (WQMP). Each WQMP will be designed in accordance with the adopted County of San Bernardino Area Wide Stormwater Program and will utilize the associated Technical Guidance Document for Water Quality Management Plans as the basis for the WQMP design. Low Impact Development (LID) is one of the guiding principles of the WQMP and is defined in the San Bernardino County Stormwater Program as: “a stormwater management and land development strategy that combines a hydrologically functional site design with pollution prevention measures to compensate for land development impacts on hydrology and water quality.

LID techniques mimic the pre-development site hydrology by using site design techniques that store, infiltrate, evapo-transpire, bio-filter or detain runoff close to its source”. Potential benefits of implementing LID practices include:

- 1) Maintaining pre-development hydrology – Maintaining the predevelopment hydrology reduces the volume of water that must be conveyed offsite.
- 2) Water quality benefits – Pollutant loads carried by stormwater runoff can be greatly reduced through retention of stormwater and pollutants onsite and use of BMPs that biofilter pollutants onsite, thus reducing pollutants that would normally be discharged directly to the storm drain system.
- 3) Groundwater recharge – LID emphasizes infiltration of runoff onsite, which has the potential to increase local water supply availability from groundwater sources.
- 4) Aesthetic appeal – LID involves the use of site design practices that minimize the footprint of proposed developments, which increases preservation of open space, including over 20 percent of the site for open space, parks, paseos, and basins.

Construction of drainage infrastructure facilities shall occur commensurate with what is warranted at the time of a development project. The facilities that are warranted will be determined by the development project’s specific hydrology study and WQMP. Therefore, timing of construction of any given project is a relevant factor in determining its facility requirement since the requirement will rely on the storm drain facilities in existence at that time. Consequently, an upstream planning area may trigger the need for storm drain improvements on downstream planning areas in advance of their development. In any event, the following Storm Drain Master Plan serves as a guide for implementation for the proposed Project.

Figure 3.11 – Master Drainage Plan

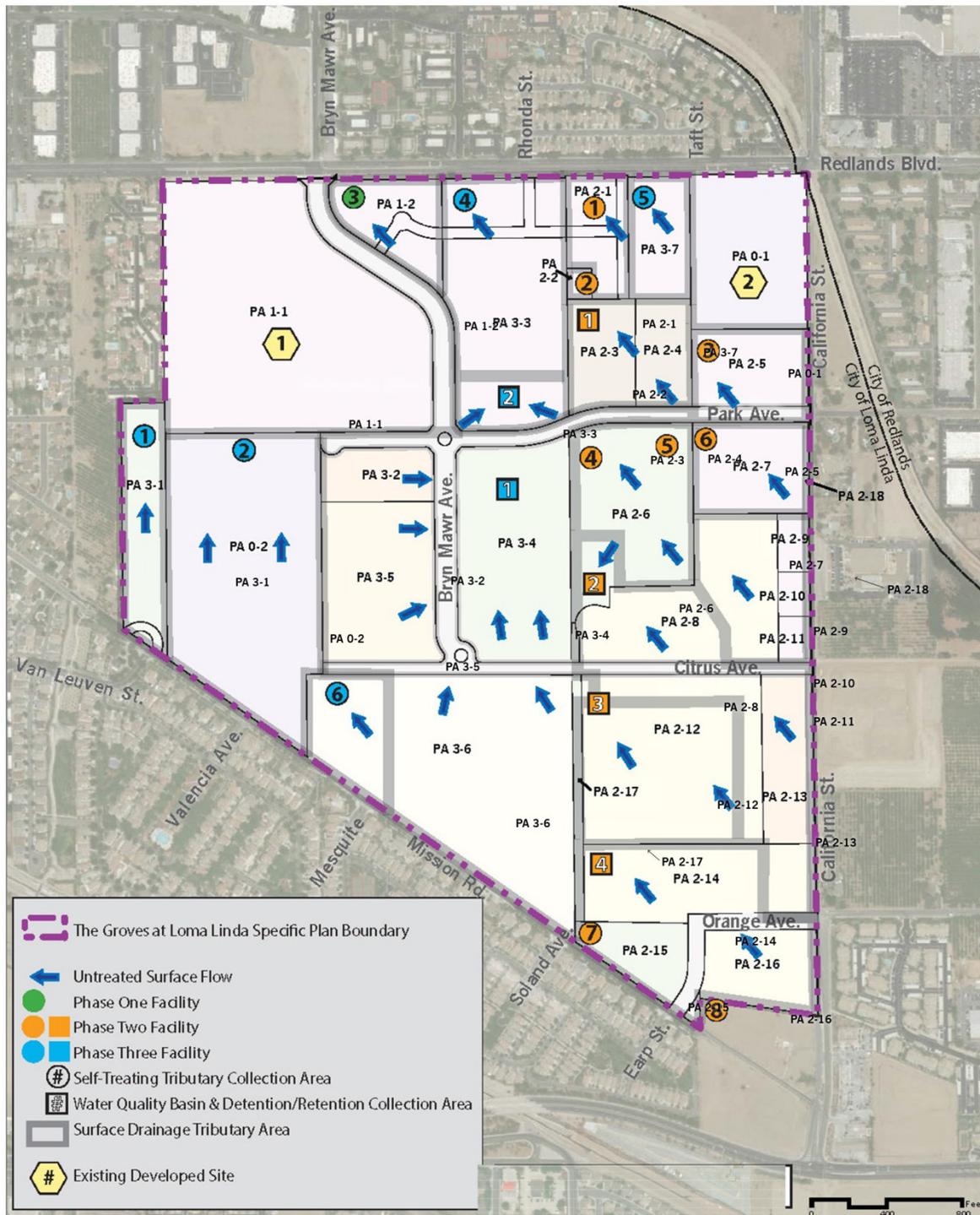
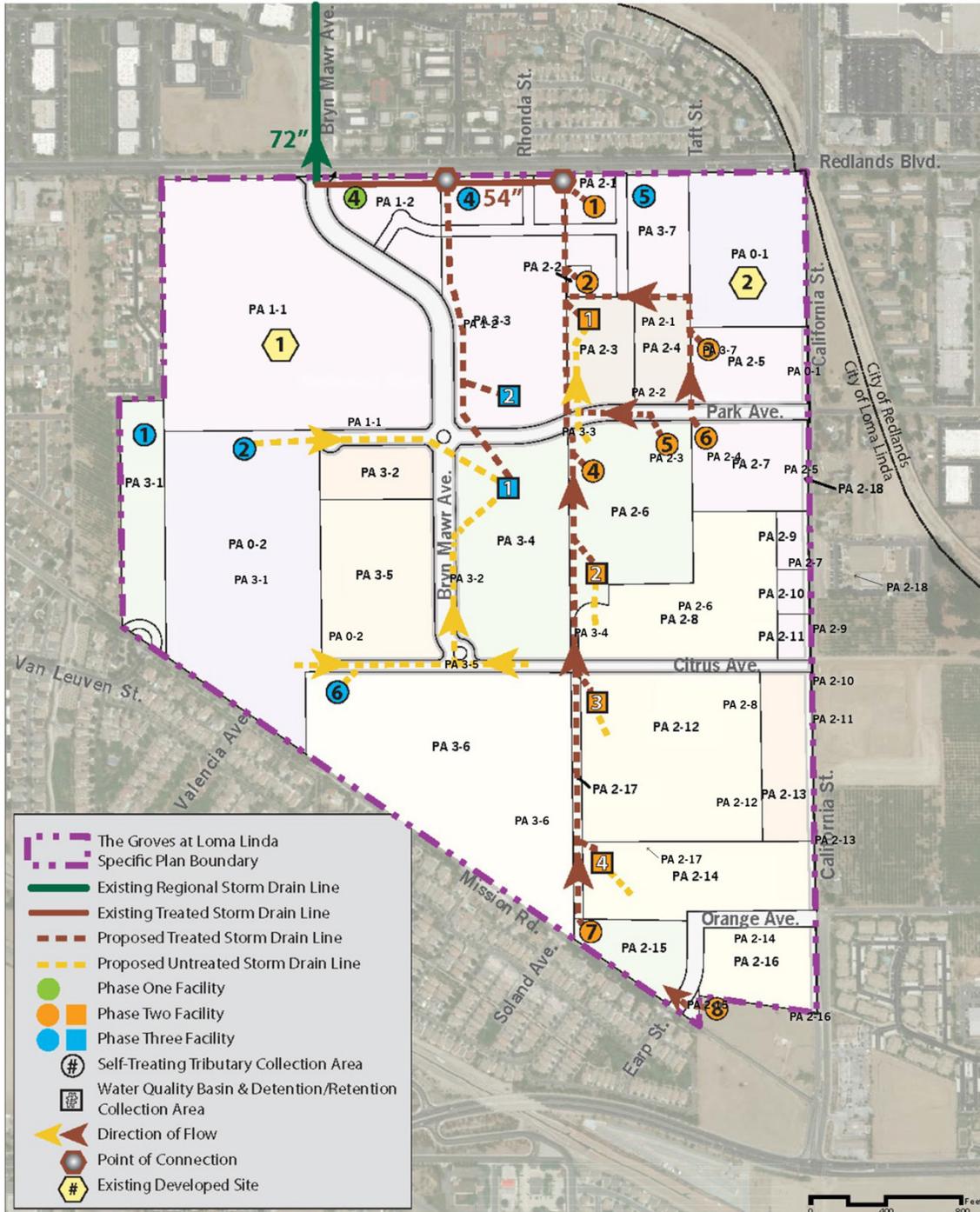


Figure 3.12 – Master Storm Drain Plan



The Specific Plan site consists of three types of sub-areas: Type 1, existing development in which no new or additional drainage facilities are envisioned; Type 2, Phase Two Concept Area (Citrus Trails Master Plan), a 111.7-acre master planned development that has been entitled but not yet constructed; and Type 3, the balance of the Specific Plan site that is currently either partially developed or undeveloped. These three sub-areas can be broken down into their respective Planning Areas as follows:

- 5) Sub-area Type 1
 - Planning Area 0-1: Existing Mission Elementary School
 - Planning Area 1-1: Existing VA Ambulatory Care Center
 - Planning Area 3-7: Existing Mission RV Park and Cha-Cha's Tacos
- 6) Sub-area Type 2
 - Planning Area 2-1 through Planning Area 2-17: Phase Two Concept Area (currently entitled but not constructed)
- 7) Sub-area Type 3
 - Planning Area 0-2: Redlands Unified School District future school site (currently undeveloped)
 - Planning Area 1-2: Vacant, undeveloped land
 - Planning Area 3-1: Heritage Park (currently partially developed)
 - Planning Area 3-2 through 3-5: Undeveloped, partially covered with orange groves
 - Planning Area 3-6: Existing single-family residences and undeveloped, partially covered with orange groves

Sub-area Type 1

The existing developed site within Planning Area 0-1 is the Mission Elementary School that underwent site and building renovation in recent years. Renovation included addressing its drainage and water quality requirements, which implemented significant open landscaped areas. The site is unlikely to have any additional alterations in the foreseeable future.

The existing developed site within Planning Area 1-1 is a recently constructed VA Ambulatory Care Center. The project complied with current water quality requirements as well as constructed a 54-inch storm drain in Redlands Boulevard that ultimately connects to the Mission Zanja Channel. The storm drain system was analyzed and sized to accommodate upstream tributary areas within the Specific Plan site. The site is unlikely to have any alterations in the foreseeable future.

The only site within this sub-area that has a potential for redevelopment in the future is Planning Area 3-7. This Planning Area is currently fully developed and surface drains from south to north to Redlands Boulevard. In the event of future redevelopment, the Planning Area will be responsible to

address its Water Quality and drainage responsibilities without reliance on facilities proposed by the Specific Plan.

Sub-area Type 2

The Phase Two Concept Area has received approval of entitlements by the City of Loma Linda (Planning Area 2-1 through Planning Area 2-17). The approval included an EIR which, among other issues, included a Master Drainage Plan. The master plan addresses all drainage and water quality design requirements that must be implemented as part of the construction in the Phase Two Concept Area (Citrus Trails Master Plan). THE GROVES at Loma Linda Specific Plan builds on the Master Drainage Plan as defined by the Citrus Trails Master Plan and does not propose any alterations to that plan. However, in the event that all or any portion of the Specific Plan is constructed prior to construction of Citrus Trails Master Plan drainage facilities, a hydrologic study will be required to address how storm water from upstream areas within Phase Two Concept Area will be carried through or diverted around the Specific Plan site in a manner acceptable to the City of Loma Linda.

Sub-area Type 3

Planning Area 0-2 is a future school site owned by Redlands Unified School District. The site plan and construction schedule for the school is indeterminate at this time. Preliminary concepts suggest that the northerly portion of the site will be sport fields. The existing drainage pattern of the Planning Area is generally to the northwest of the site so that the conceptual location of the fields is ideal for retention and self-treating landscaping. When a commitment is made to a site plan and construction date, a hydrologic study and WQMP will be required to address how storm water and water quality features will address the then current State and Local standards. The Planning Area will be responsible to address its water quality and drainage responsibilities onsite without reliance on facilities proposed by the Specific Plan. The provisions will include retention and self-treating areas that shall be designed to not increase or alter the historic stormwater flows to downstream properties.

The southeast corner of Redlands Boulevard and Bryn Mawr Avenue is designated Planning Area 1-2. The existing drainage pattern is from south to the northwestern corner of the site. Upon submittal for a specific development scheme, this Planning Area will be responsible to address its water quality and drainage responsibilities with onsite self-treating facilities that will release clean water to the existing 54-inch storm drain in Redlands Boulevard through an underground storm drain.

Heritage Park (Planning Area 3-1) is a City of Loma Linda owned park and business center that is partially occupied with historic structures, drive access and parking for visitors and business

patrons. Almost half of the site is currently vacant or occupied by orange grove. The existing site drains from south to north. This Planning Area will be responsible to address its water quality and drainage responsibilities with on-site retention and self-treating facilities that shall be designed to not increase or alter the historic stormwater flows to downstream properties.

The majority of sub-area Type 3 is undeveloped land, mostly occupied by orange groves (Planning Area 3-2 through Planning Area 3-5). Proposed within Planning Area 3-3 and Planning Area 3-4 is a public park that is intended to serve multiple purposes. While its primary emphasis is for passive and active recreation for the public, it will also serve as a stormwater retention basin and water quality feature. There is a potential under consideration to incorporate a year-round lake in this area that will be sized to accommodate stormwater requirements. If so, the stormwater that will reach the lake from impervious areas due to development will require some form of pre-treatment prior to entering the lake. In the event a lake is not implemented, then the same general area will be designed as a self-treating landscaped retention basin, only having water present during a storm event. Once the storm water has been appropriately treated, it will be released to an underground storm drain that will connect to the existing 54-inch storm drain in Redlands Boulevard. Planning Areas Planning Area 3-2 through Planning Area 3-5 will all rely on the basin and/or lake to handle the stormwater and water quality features necessary for their development. The northern portion of Planning Area 3-3 will address its water quality and drainage responsibilities with onsite self-treating facilities that will release clean water to the existing 54-inch storm drain in Redlands Boulevard through an underground storm drain.

Planning Area 3-6 has existing single-family homes that have access from Mission Road. The existing drainage pattern is away from Mission Road, generally in a northwesterly direction. The majority of this Planning Area will also drain to the above mentioned basin and/or lake. The exception is the westerly parcels having existing residences as shown on Exhibit 3-3. Those parcels will be responsible to address their water quality and drainage responsibilities onsite without reliance on facilities proposed by the Specific Plan should they decide to redevelop their properties.

THE GROVES will comply with General Plan Implementing Policies for Water Resources through: the use of drought-tolerant and native vegetation; the use of reclaimed water for the irrigation of all appropriate open space facilities, and; implementation of Best Management Practices to reduce drainage system discharge of non-point source pollutants originating from streets, parking lots, residential areas, businesses, industrial operations, and those open space areas involved with pesticide application.

Projects that disturb greater than one acre are required to be in compliance with the National Pollution Discharge Elimination System (NPDES) stormwater permit. The purpose of the NPDES is to contain and control sediment on a short-term basis during construction by preventing soil from

leaving the site and entering storm drain facilities to impact downstream sources. To comply with NPDES requirements, the Municipal Stormwater Permit (MS4) for San Bernardino County was adopted by the Santa Ana Regional Water Quality Control Board on January 29, 2010 (R8-2010-036, NPDES CAS618036) and as required by the Clean Water Act. Development with THE GROVES would be required to adhere to and comply with the MS4 Permit, and thus NPDES General Construction Permit and implement an effective Stormwater Pollution Prevention Plan (SWPPP) during construction.

The City of Loma Linda requires the preparation of a WQMP for development projects that fall within one of eight project categories established by the RWQCB. According to the San Bernardino County WQMP template, development of the Phase Three Concept Area would require a WQMP because it involves development of more than 10 residential units. Further, each development project greater than one acre in size within THE GROVES will be required to prepare a WQMP. Each WQMP will be designed in accordance with the adopted County of San Bernardino Area Wide Stormwater Program and will utilize the associated Technical Guidance Document for Water Quality Management Plans as the basis for the WQMP design.

THE GROVES development will incorporate drainage features and best management practices (BMPs) identified in a WQMP to minimize runoff and erosion. During site construction, measures would be taken to minimize fugitive dust and thus minimize the potential for exposed soils to be carried off-site due to wind. Construction activity related to development of THE GROVES may cause soil sedimentation and water pollution during grading and other construction activities. Following buildout of THE GROVES, ongoing maintenance and irrigation of the related landscaped areas and parks could lead to sedimentation and water contamination.

In accordance with best management practices, development of the Phase Three Concept Area would protect water quality by complying with City standards and a SWPPP. All physical improvements related to development of THE GROVES would be consistent with appropriate best management practices, low-impact development requirements and applicable water quality considerations typical of all development carried out within the City.

Any improvements to the current off-site drainage system will be determined by the City engineer. Costs for these improvements will be covered by the developer. Although no significant amount of additional stormwater is anticipated, drainage plans would still be reviewed by the City Engineer to ensure the system would have sufficient carrying capacity.

The provision of storm drain facilities to serve THE GROVES is assured through the designation of Improvement Districts that delineate facilities to be constructed in support of all development, or interim development implementing phases, within an Improvement District. Construction of

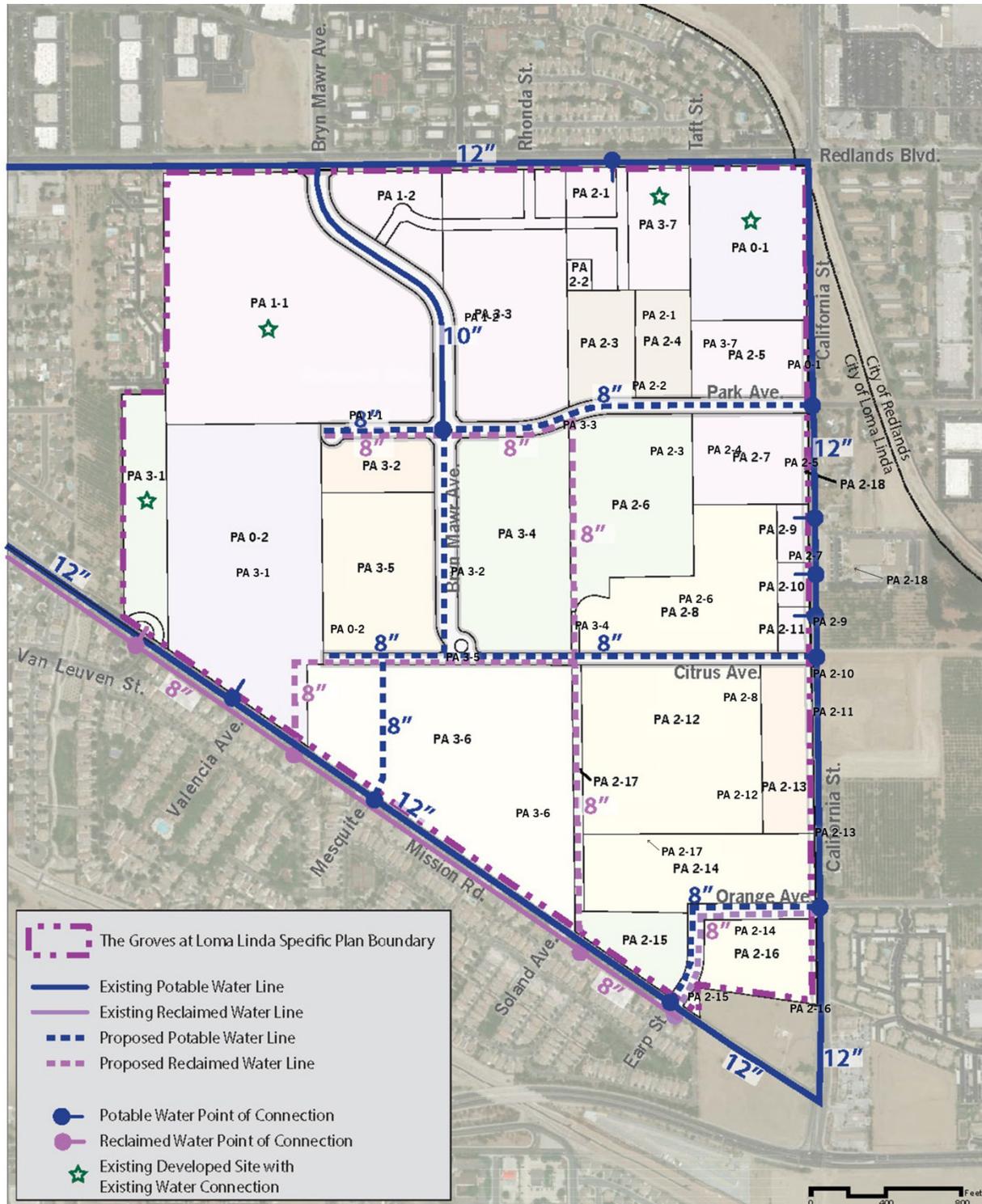
drainage infrastructure facilities shall be timed to adequately service each development project, which may require construction of drainage facilities to provide water quality treatment and connection leading to the regional storm drain. Required facilities must be constructed by the development project if the facilities are not already existing. See Section 3.6.3 below for discussion of the Improvement Districts.

3.6.2(c) - Domestic Water Service

The City of Loma Linda provides the production and distribution of water within the City. The City obtains its water from groundwater wells in the Bunker Hill Basin, an aquifer underlying the eastern San Bernardino Valley. The City operates five groundwater wells: Richardson Wells 1, 3, and 4 and Mountain View Wells 3 and 5. These production wells have a combined capacity of 14 million gallons per day. The City also has emergency water connections with the City of San Bernardino as well as the City of Redlands water systems. In addition to the existing wells, a water-treatment plant, located on a City of Loma Linda-owned land surrounded by the City of San Bernardino opened in October 2010. This treatment plant provides Loma Linda's water customers with an additional supply of water. The new plant is capable of pumping and filtering 4,800 gallons of water per minute or about 6.9 million gallons per day (mgd).

THE GROVES Water Plan is presented on Exhibit 3-13, *Master Water Plan*. The Specific Plan's domestic water system is comprised of an 8-inch backbone system within major internal roadways that connects off-site to the west with the existing 10-inch potable water line located in Bryn Mawr Avenue, as well as connects to the existing 12-inch potable water lines located within Redland Boulevard, California Street, and Mission Road. As shown on Exhibit 3-13, six primary connections occur: California Street at the intersection with Park Avenue, Citrus Avenue and Orange Avenue; Mission Road at Earp Drive and Mesquite Avenue; and at the southerly terminus of the existing 10-inch line in Bryn Mawr. Additional minor connections along Redlands Boulevard, California Street and Mission Road will serve Planning Area 1-2, Planning Area 2-1, Planning Area 3-3, Planning Area 2-9, Planning Area 2-10, Planning Area 2-11, and Planning Area 0-2. Additional 8-inch waterlines are provided within local streets, and within easements where necessary, to provide service to the Planning Areas.

Figure 3.13 – Master Water Plan



While not yet supplied by reclaimed water, a reclaimed water system exists in Mission Road. It is anticipated the source of reclaimed water will ultimately be supplied by reclaimed water from the City of Redlands treatment plant. Timing for completion of this system is unknown at this time. However, the City of Loma Linda requires installation of a reclaimed system in anticipation of reclaimed water eventually being available. The proposed system is an 8-inch backbone grid with three primary connections to the existing reclaimed water line in Mission Road. The system will provide reclaimed water to irrigate the parks, paseo, and parkways along Orange Avenue, Mission Road, and California Street and potentially to field areas of the future school.

Implementing polices of the General Plan addressing the City's water distribution include maintaining the existing level of service with the addition of new development and providing for future distribution demands. THE GROVES will provide water distribution facilities for the Specific Plan area and connection to existing lines. Construction plans shall be reviewed by the City Engineer to ensure the design will have sufficient carrying capacity to meet development needs.

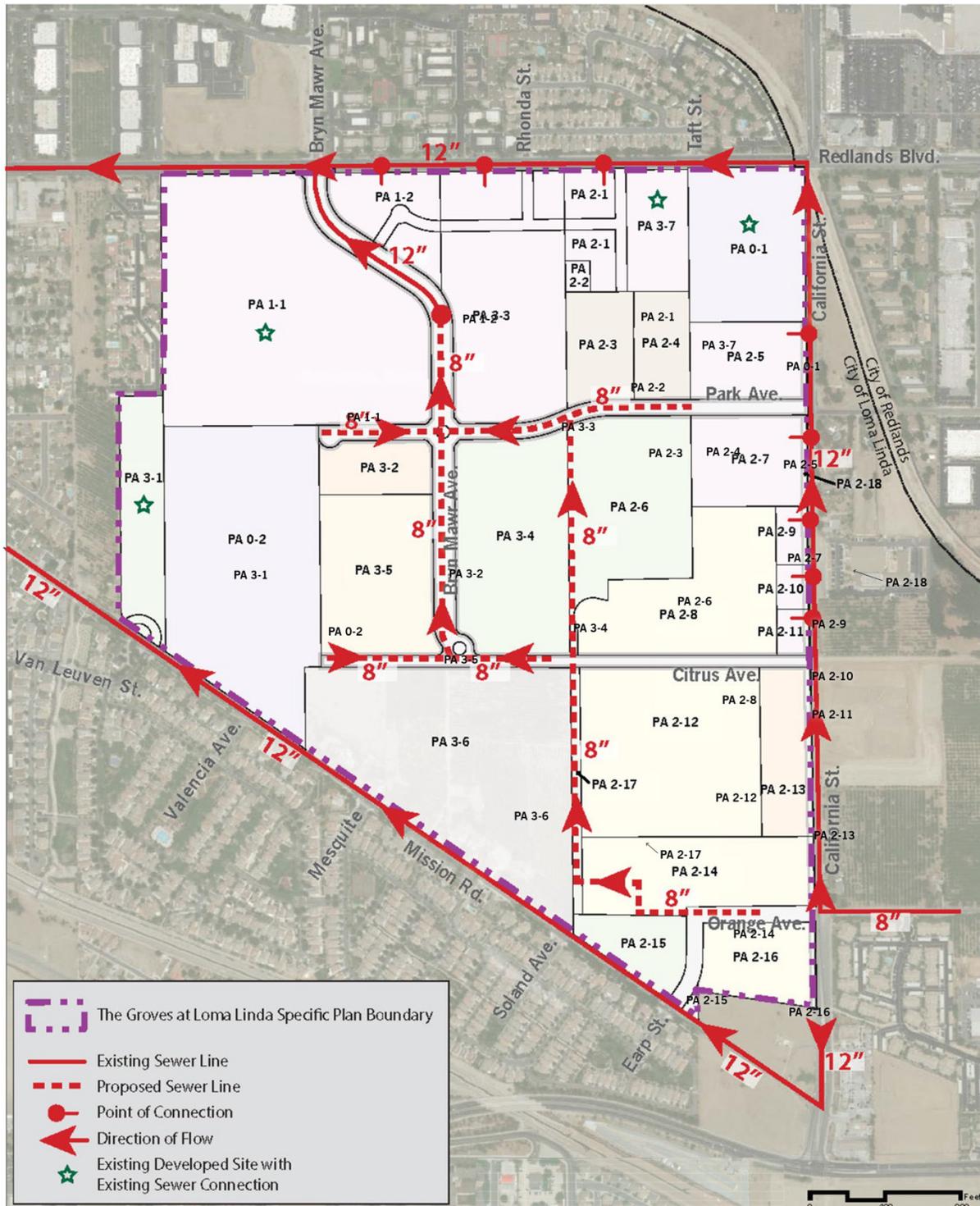
The provision of water distribution facilities to serve THE GROVES is assured through the designation of Improvement Districts that delineate facilities to be constructed in support of all development, or interim development implementing phases, within an Improvement District. Construction of water distribution infrastructure facilities shall be timed to adequately service each development project, which may require construction of water service lines and connection to off-site feeders. Required facilities must be constructed by the development project if the facilities are not already existing. See Section 3.6.3 below for discussion of the Improvement Districts.

3.6.2(d) - Sewer Service

Sewer facilities are provided by City of Loma Linda's Public Works, Utilities Division. Wastewater treatment services are provided under provisions outlined in a Joint Powers Agreement (JPA) with the City of San Bernardino and provided by the San Bernardino Municipal Water Department wastewater facility and the Rapid Infiltration/Extraction tertiary treatment facility. Wastewater is treated by both the San Bernardino Municipal Water Department wastewater facility and the Rapid Infiltration/Extraction facility located in Colton both having capacity to serve the City at ultimate buildout conditions.⁹

⁹ Loma Linda General Plan, Chapter 8.8. 2006.

Figure 3.14 – Master Sewer Plan



The Specific Plan site would be served by the existing sewer facilities in Redlands Boulevard and California Street and existing water facilities in California Street, Mission Road and Redlands Boulevard. The City operates an existing 15-inch sanitary sewer main within Redlands Boulevard along the subject site frontage. The developers of any development within THE GROVES would be responsible for connecting the proposed development to the City's sewer system.

THE GROVES Sewer Plan is presented in Exhibit 3-14, *Master Sewer Plan*. There are existing 12-inch sewer mains in all three major roads surrounding the Specific Plan site. A system of 8-inch mains within major internal roadways will connect to the existing 12-inch sewer line in Bryn Mawr Avenue. Other minor or service connections will occur for Planning Areas that have frontage on Redlands Boulevard, California Street and Mission Road.

The provision of sewer collection facilities to serve THE GROVES is assured through the designation of Improvement Districts that delineate facilities to be constructed in support of all development, or interim development implementing phases, within an Improvement District. Construction of sewer collection infrastructure facilities shall be timed to adequately service each development project, which may require construction of sewer service lines and connection to off-site trunk lines. Required facilities must be constructed by the development project if the facilities are not already existing. See Section 3.6.3 below for discussion of the Improvement Districts.

3.6.2(e) - Dry Utilities and Services

Power

Electricity is provided to the Specific Plan site by Southern California Edison. Existing nearby lines include an electric overhead system located on the south side of Redlands Boulevard (66, 33, and 12 kV), on the west side of California Street (12 kV), and overhead and underground lines located along the south side of Mission Road.

Natural Gas

The Specific Plan site is served by nearby existing 12-inch natural gas lines located in Redlands Boulevard and along the south side of Mission Road, which proceeds north approximately 200 feet and turns east at Orange Avenue, continuing approximately 600 feet to California Street.

Communication and Technology Services

Telephone service is provided to the Specific Plan area by Verizon. Existing nearby lines are located on the south side of Redlands Boulevard, the intersection of California Street and Park Avenue, the intersection of California Street and Orange Avenue, and along the south side of Mission Road.

Cable television service is provided to the Specific Plan area by Time Warner Cable along existing nearby lines located on Redlands Boulevard, the west side of California Street, and the south side of Mission Road. Satellite television service is also provided to the Specific Plan site by Direct TV and others.

Consistent with the Loma Linda Connected Community Program (LLCCP), THE GROVES development will be served by infrastructure and connection to the City's fiber optic network, which the City operates as a utility. The Loma Linda Building Code establishes the provisions and requirements for the infrastructure and service expectations.

Solid Waste Service and Disposal

The City of Loma Linda contracts with Waste Management to provide solid waste collection services. Solid waste not diverted to recycling, compost or hazardous waste facilities is transported to the San Timoteo Sanitary Landfill located in the city of Redlands.¹⁰

During construction (short-term) and operation (long-term), bulk solid waste, excess building material, fill, etc., shall be disposed of in a manner consistent with State of California Integrated Waste Management Act of 1989 (CIWMA) and shall be removed from THE GROVES properties. Additionally, every municipality in the State is required by CIWMA to divert 50 percent of its waste from landfills by the year 2000. The Loma Linda Municipal Code Title 15 requires that at least sixty (60) percent of the estimated tonnage of construction and demolition material be diverted from disposal. Additionally, a waste management plan is required as part of the building permit process.

3.6.2(f) - Community Services

Fire Station and Fire Protection Services

Fire protection services are provided by the City of Loma Linda, Fire and Rescue Division of the Department of Public Safety. The City maintains a joint response/automatic aid agreement with fire departments in neighboring cities including Colton, Redlands and San Bernardino to ensure adequate fire protection services in an emergency. Loma Linda Fire Station 251 located at 11325 Loma Linda Drive, approximately 0.8 mile southwest of the Specific Plan site.¹¹ In addition, a new fire station will be located within the Specific Plan site.

¹⁰ Loma Linda General Plan, Chapter 8.9. 2006.

¹¹ Loma Linda General Plan, Chapter 8.1. 2006.

The City has determined that a new fire station shall be established within the Specific Plan site. The new fire station may be located in either the Phase Two Concept Area or in the Phase Three Concept Area. As part of the Phase Two (Citrus Trails Master Plan) approval, it was conditioned that prior to the issuance of a certificate of occupancy for the one hundredth residential unit within Phase Two, a location for an interim or permanent fire station within the Specific Plan boundary shall be offered to the City. If the City chooses to develop an interim fire station, the Fire Department retains the right of first refusal in locating a site for a permanent fire station.

Potential locations for the siting of a fire station are at the discretion of the City of Loma Linda and may be located either in Phase Two or Phase Three. The following criteria should be used to determine as minimum criteria for establishing a fire station site.

- 1) Lot size should be a minimum of 0.75 acres, preferably one acre.
- 2) Lot configuration should be either generally rectangular or square.
- 3) Minimum length of the side lot line should be 120 feet.
 - o Site access along one side is sufficient provided the following can be accommodated in the site layout: apparatus apron for response out of the apparatus bays
 - o side drive for apparatus and employees to access the rear of the station
 - o driveway access for small public parking area on opposite side of apparatus/employee entrance.
- 4) Site should be located on the periphery of a residential area or in a commercial area because of siren noise.
- 5) Site should not be located under power lines that could prevent response.
- 6) Site should provide access to main transportation arteries to facilitate response times.

Development associated with THE GROVES shall be subject to City of Loma Linda Fire Department review and consideration per the design criteria listed in the Specific Plan. Prior to submittal of an application for a Precise Plan of Design, each applicant shall consult with the Fire Department to determine if the current development shall be required to incorporate a fire station pad into the site design.

THE GROVES development contribution to the demand for additional fire protection services would be offset by payment of the City's Residential Development Impact Fees to cover 100 percent of THE GROVES pro-rata share of the estimated cost of public infrastructure, facilities, and services.¹² Each implementing development phase (i.e., each Planning Area development) will be

¹² Loma Linda General Plan, Chapter 8.0. 2006.

required to pay its pro-rata share of these fees upon approval of and prior to development of each Precise Plan of Design.

Police Services

Police protection is provided by and contracted through the San Bernardino County Sheriff's Department (SBSD). The City of Loma Linda provides deputies and a sheriff's service specialist with an area at City Hall for completing reports, conducting interviews, and coordinating crime prevention activities. The City shares the cost of law enforcement personnel and equipment with the City of Grand Terrace. The SBSBD currently has 12 sworn officers assigned to Loma Linda.¹³ With an estimated 2017 population of 24,528 people, the ratio of officer to citizen is approximately 1:2,044. Upon buildout of the Phase Three Concept Area, an addition of approximately 1,620 new residents would be added to the City. This would result in a demand increase of approximately seven percent in total officers to maintain the City's current level of service.

Development of THE GROVES shall be subject to design criteria listed in the Specific Plan. Criteria includes: circulation for pedestrians, vehicles, and police patrols; lighting of streets and parking areas; front doors into residences that face toward or are visible from the street and allow for easy drive-by surveillance by law enforcement personnel, where practical.

THE GROVES' contribution to the demand for additional police protection services would be offset by the City's requirement for new developments to pay a Residential Development Impact Fees to cover 100 percent of the development's pro-rata share of the estimated cost of public infrastructure, facilities, and services.

Schools

School services for the Specific Plan site are currently provided by the Redlands Unified School District.¹⁴ The City mitigates impacts on school services through the collection of development fees. Under Section 65995 of the California Government Code, school districts may charge development fees to help finance local school services. However, the code prohibits State or local agencies from imposing school impact fees, dedications, or other requirements in excess of the maximum allowable fee. Collection of school impacts fees are required by the Redlands Unified School District.

¹³ Loma Linda General Plan, Chapter 8.2. 2006.

¹⁴ Loma Linda General Plan, Chapter 8.3. 2006.

3.6.3 - IMPLEMENTATION PROGRAM

3.6.3(a) - Infrastructure Implementation Improvement Districts

THE GROVES development area is divided into Infrastructure Implementation Improvement Districts, which serve to establish a means for coordinating improvements for areas that share common infrastructure components. Phase Two and Phase Three are each divided into distinct Improvement Districts that represent guidance and expectations for the implementation requirements of infrastructure improvements established by the Specific Plan (see Exhibit 3-15: *Infrastructure Implementation Improvement Districts*). Phase Two (Citrus Trails Master Plan) is divided into five Improvement Districts (A, B, C, C-1 and D), while Phase Three is divided into three Improvement Districts (A, B and C).

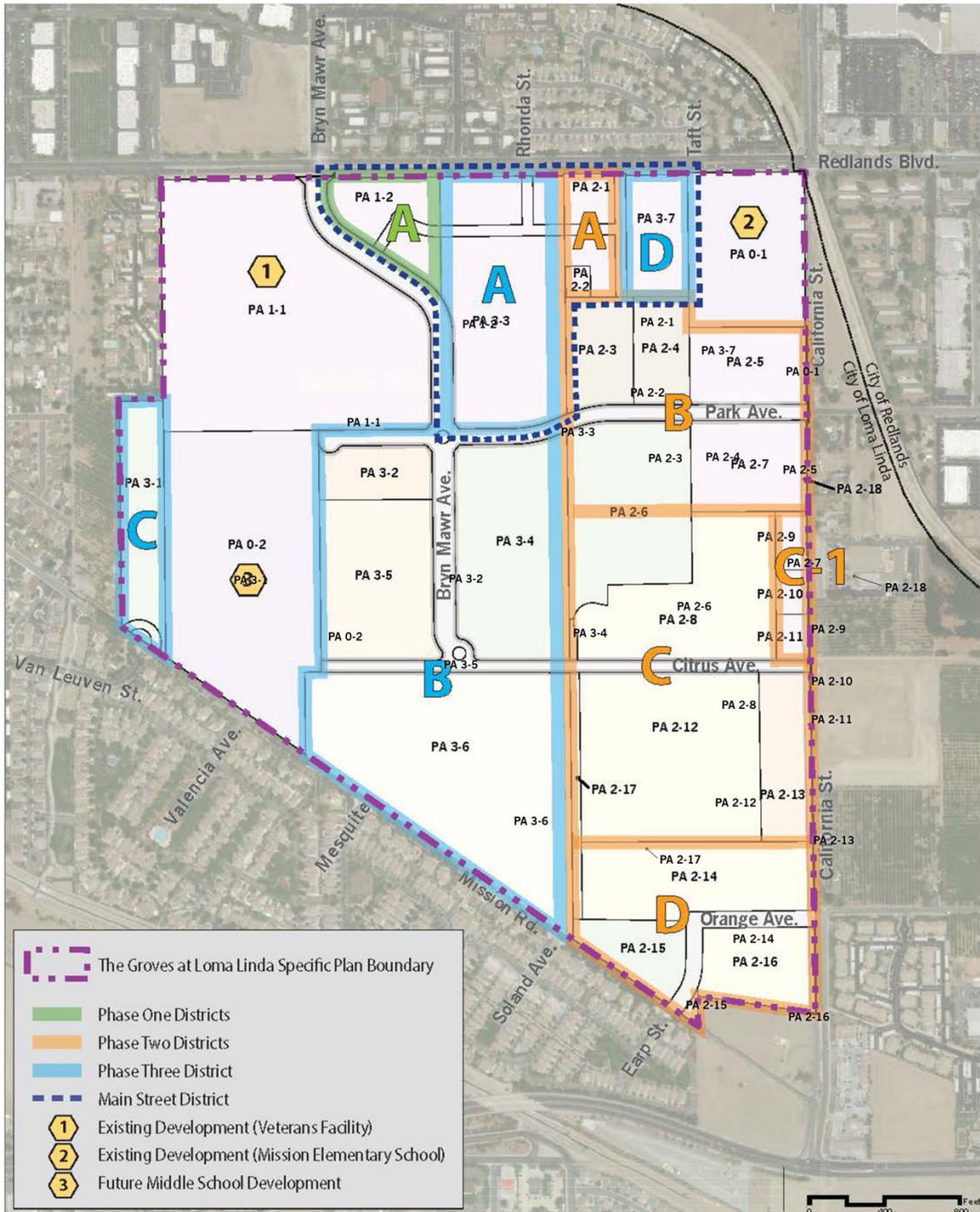
The Improvement District concept provides flexibility in the timing of the construction of the infrastructure improvements required to support the development of any individual Planning Area, regardless of sequence. Therefore, the Improvement Districts allow for Planning Areas to be developed in any order, provided however, that the necessary supporting infrastructure improvements within a particular Improvement District(s) and the infrastructure in any other Improvement District that is necessary to support the improvements, is in place or is constructed.

Development construction phasing has not been determined at this time. For the purposes of this EIR, the proposed Project has been analyzed for Opening Year 2030 at which time it is anticipated that THE GROVES will be built out.

The provision of storm drain facilities, water distribution facilities and sewer collection facilities to serve THE GROVES is assured through the designation of Improvement Districts that delineate facilities to be constructed in support of all development, or interim development implementing phases, within an Improvement District.

Construction of each of these facilities shall be timed to adequately service each individual development project. As such, this may require construction of the facilities both on-site (within or adjacent to the PA) and/or off-site (within other PAs or outside of the Specific Plan area) to connect with existing trunk or regional systems. Required facilities must be constructed by the development project if the facilities are not already in place to serve an implementing development project (e.g. development of a Planning Area).

Figure 3.15 – Infrastructure Implementation Improvement Districts



3.6.3(b) - Impact Development Fees

Each implementing development phase and/or project associated with THE GROVES will be required to offset the provision of City services and support through the payment of the City's Residential Development Impact Fees to cover 100 percent of THE GROVES pro-rata share of the estimated cost of public infrastructure, facilities, and services.¹⁵ Each implementing development phase (i.e., each Planning Area development) will be required to pay its pro-rata share of these fees upon approval of and prior to development of each Precise Plan of Design.

3.6.3(c) - Public Use Site Reservation

Each development project within THE GROVES will comply with the LLMC Section 16.04.240, **Public use site reservation-Standards, which requires:**

"Where a park, recreational facilities, fire station, library, or other public use is shown on an adopted specific plan or adopted general plan containing a community facilities element, recreation and parks element and/or a public building element, the subdivider may be required by the city council to reserve sites as so determined by the city or county in accordance with the definite principals and standards contained in the above specific plan or general plan. The reserved area must be of such size and shape as to permit the balance of the property within which the reservation is located to develop in an orderly and efficient manner. The amount of land to be reserved shall not make development of the remaining land held by the subdivider economically unfeasible. The reserved area shall conform to the adopted specific plan or general plan and shall be in such multiples of streets and parcels as to permit an efficient division of the reserved area in the event that it is not acquired within the prescribed period. (Ord. 109 § 15(B), 1975)"

The City has determined that a new fire station shall be located within THE GROVES. Prior issuance of a certificate of occupancy for the one-hundredth residential unit within THE GROVES, a location for an interim or permanent fire station within the Specific Plan area (either Phase Two or Phase Three) shall be offered to the City. If the City chooses to develop an interim fire station, the Fire Department retains the right of first refusal in locating a site for a permanent fire station.

¹⁵ Loma Linda General Plan, Chapter 8.0. 2006.

4

DEVELOPMENT STANDARDS AND GUIDELINES



Chapter 4 - Development Standards and Guidelines

4.1 - APPLICABILITY

Implementation of THE GROVES Specific Plan is accomplished through a set of development standards and design guidelines as set forth herein.

- Whenever the regulations set forth in this Specific Plan differ from the regulations of the LLMC, the regulations of this Specific Plan shall take precedence. When specific regulations are not established through this Specific Plan, the provisions of the LLMC shall apply.
- All grading plans shall comply with the grading requirements of the City of Loma Linda and standards established by this Specific Plan. A preliminary geotechnical engineering report and soil engineering investigations identifying recommendations for safe and stable construction are to be submitted with all development applications. The recommendations of the engineering geologist and soils engineer shall be incorporated into the grading plan design prior to grading plan approval. The stability of the development site must be certified by the engineering geologist and soil engineer prior to the issuance of grading permits.
- All construction shall comply with all provisions of applicable building codes and the various mechanical, electrical, fire, energy and other codes related thereto.
- Any proposed site plans, agreements or any other development approvals within THE GROVES must be consistent with this Specific Plan. Land uses and Site Plans which are found to be consistent with the Specific Plan will be deemed consistent with the City's General Plan and its adopted elements.
- Any development or physical condition within THE GROVES plan area existing prior to the adoption of this Specific Plan and that may be inconsistent with the development standards and development guidelines established in this Specific Plan, shall be allowed to continue as a legal nonconforming condition consistent with the provisions of Zoning Code. Purpose and Intent

4.2 - ALLOWED LAND USES

Table 4.1, *Permitted and Conditionally Permitted Uses*, identifies the Permitted (P), Conditionally Permitted (C), or Prohibited Uses within each land use designation. The following definitions of each allowed use category shall apply:

- A Permitted Use does not require discretionary approval for the use itself (however, other approvals are required for the development of a site or modifications to a building);
- A Conditionally Permitted Use requires approval of a Conditional Use Permit per the Loma Linda Municipal Code, Title 17, Zoning. According to Chapter 17.30, Administration, uses requiring approval of a Conditional Use Permit are those “that must be located, planned, and used in such a manner as not to be detrimental to the property abutting such uses and to the community as a whole”.
- A Prohibited Use is not allowed within the specified land use category because it is deemed to be inconsistent with the concepts of THE GROVES Specific Plan.

Table 4.1 – Permitted and Conditionally Permitted Uses

Land Use	Special Planning Area “D”				
	Very Low and Low Density Residential	Medium and High Density Residential	Senior Housing	Mixed Use	Parks/ Open Space/ Trails
Residential (Category A)					
Single-family detached homes with normal accessory structures, of a permanent character and in a permanent location	P	P	C	X	X
Two or more attached single-family and multi-family dwellings, including townhomes, stacked flats, motor courts, garden courts, walk-ups, and apartments (condominium or apartment style), and their associated accessory structures (i.e., parking garages, carports, trash enclosures, community room, pool house, etc.)	X	P	P	P	X
Home occupations as specified in Chapter 17.12, Home Occupations, of the Loma Linda Land Use Development Code	P	P	P	P	X
Second units for senior citizens	P	P	X	X	X

Land Use	Special Planning Area "D"				
	Very Low and Low Density Residential	Medium and High Density Residential	Senior Housing	Mixed Use	Parks/Open Space/ Trails
Combination of residential and nonresidential uses within the same building or on the same parcel	X	X	X	P	X
Housing for special needs or seniors, including special-care assisted living	X	X	P	P	X
Mobile Housing Units	X	X	X	X	X
Foster homes limited to a total of not more than four foster children	P	P	X	X	X
Day care facilities within the residence of the licensee not exceeding six children in addition to children residing at the residence	P	P	X	X	X
Residential care facilities for the elderly within the residence of the licensee serving six or fewer persons	P	P	X	X	X
Residential care facilities for the elderly within the residence of the licensee serving between seven to ten persons	C	C	X	X	X
Retail (Category B)					
Antique shops	X	X	X	P	X
Art galleries	X	X	X	P	X
Astrology, card or tea leaf reading, palmistry, and other similar businesses or art	X	X	X	X	X
Bicycle shops, sales and repair (no outdoor display)	X	X	X	P	X
Book and stationery stores	X	X	X	P	X

Land Use	Special Planning Area "D"				
	Very Low and Low Density Residential	Medium and High Density Residential	Senior Housing	Mixed Use	Parks/ Open Space/ Trails
Clothing stores	X	X	X	P	X
Craft and hobby stores	X	X	X	P	X
Dollar stores	X	X	X	P	X
Drugstores	X	X	X	P	X
Gift shops, boutiques, and specialty stores	X	X	X	P	X
Grocery stores	X	X	X	P	X
Hardware stores	X	X	X	C	X
Health food stores	X	X	X	P	X
Jewelry stores	X	X	X	P	X
Kiosks or temporary carts for retail sales	X	X	X	P	X
Liquor sales (off-site)	X	X	X	X	X
News and magazine stands	X	X	X	P	X
Pet supply shops (not including pet sales)	X	X	X	P	X
Pet supply shops including pet sales, doggie daycare (indoor), or boarding (indoor)	X	X	X	C	X
Pharmacies	X	X	P	P	X
Sporting goods stores	X	X	X	P	X
Smoke and vapor shops	X	X	X	X	X
Toy stores	X	X	X	P	X
Services (Category C)					
Barbershops, hair salons, nail salons	X	X	P	P	X
Day spas	X	X	P	P	X
Dry cleaners (drop-off location only)	X	X	X	P	X
Fitness centers, gyms (< 5,000 s.f.)	X	X	P	P	X
Laundromats and self-service laundries	X	X	P	C	X

Land Use	Special Planning Area "D"				
	Very Low and Low Density Residential	Medium and High Density Residential	Senior Housing	Mixed Use	Parks/Open Space/ Trails
Pet grooming shops (no overnight boarding allowed)	X	X	X	P	X
Postal services	X	X	X	P	X
Studios – art, dance, martial arts, music, photography, and yoga	X	X	X	P	X
Tattoo and body piercing shops	X	X	X	X	X
Tutoring centers	X	X	X	P	X
Veterinary Services (with overnight boarding limited to as required for veterinary care)	X	X	X	P	X
Eating Establishments (Category D)					
Bakery, donut shops	X	X	X	P	X
Coffee and tea shops	X	X	P	P	X
Cafes, sandwich shops, and order-at-the-counter establishments	X	X	X	P	X
Ice cream and frozen yogurt shops	X	X	X	P	X
Restaurants, sit-down	X	X	X	P	X
Sale of beer and wine for on-site consumption when in association with a food-service use ¹	X	X	X	C	X
Sale of alcoholic beverages for on-site consumption when in association with a food-service use ¹	X	X	X	C	X
Outdoor seating/dining	X	X	X	P	X
Recreation/Entertainment (Category E)					
Family entertainment and children's party facilities (indoor	X	X	X	P	X

Land Use	Special Planning Area "D"				
	Very Low and Low Density Residential	Medium and High Density Residential	Senior Housing	Mixed Use	Parks/ Open Space/ Trails
activities only, limited food service, no alcohol)					
Bowling alleys	X	X	X	C	X
Game arcades	X	X	X	C	X
Health fitness facilities (>5,000 s.f.)	X	X	X	C	X
Movie theaters	X	X	X	C	X
Skate facilities	X	X	X	C	X
Rock climbing or obstacle course facilities	X	X	X	C	X
Parks, playgrounds, and outdoor recreation facilities	P	P	P	P	P
Riding and hiking trails	P	P	P	P	P
Local and buffer greenbelts	P	P	P	P	P
Historical preserves/structures	P	P	X	X	P
Picnic shelters, shade shelters and picnic facilities	P	P	P	P	P
Community gathering areas	X	X	P	P	P
Hospitality (Category F)					
Hotels/motels	X	X	X	P	X
Long-term hotels (i.e., extended stay)	X	X	X	P	X
Bed & breakfast establishments (commercial-scale)	X	X	X	P	X
Office (Category G)					
Financial and business services (banks, real estate offices, insurance services, employment services)	X	X	X	P	X
Non-medical professional services (attorneys, engineering, accounting)	X	X	X	P	X

Land Use	Special Planning Area "D"				
	Very Low and Low Density Residential	Medium and High Density Residential	Senior Housing	Mixed Use	Parks/Open Space/ Trails
Medical professional services (non-surgical offices)	X	X	X	P	X
Health/Social Services (Category H)					
Convalescent care, congregate care, and assisted living facilities	X	X	P	P	X
Day cares (child or elder care) and preschools	X	X	X	P	X
Emergency/urgent care clinics	X	X	X	P	X
Health clinics (general health and specialized care)	X	X	X	P	X
Hospitals	X	X	X	C	X
Outpatient surgery/care facilities	X	X	X	P	X
Rehabilitation/physical therapy (outpatient) facilities	X	X	X	P	X
Community/Education (Category I)					
Churches and places of worship	X	X	X	C	X
Library	X	X	X	P	X
Museum	X	X	X	P	X
Cultural institution	X	X	X	P	X
College/university satellite campus	X	X	X	C	X
Community theater	X	X	X	C	X
Senior center	X	X	P	P	P
Government/Public Facilities (Category J)					
Fire station	C	C	C	C	C
Post office	X	X	X	C	X
Police/sheriff substation	X	X	X	P	X

Land Use	Special Planning Area "D"				
	Very Low and Low Density Residential	Medium and High Density Residential	Senior Housing	Mixed Use	Parks/ Open Space/ Trails
Accessory Uses (in conjunction with a primary use in Category A through J)					
ATM	X	X	P	P	X
Bus stops, bicycle racks, bike-share stations, and similar public transit accessory uses	P	P	P	P	P
Utilities and Utility Service Boxes	P	P	P	P	P
Water quality management and detention facilities	P	P	P	P	P

Key:

P = Permitted Use

C = Approval of a Conditional Use Permit required in compliance with the Loma Linda Municipal Code

X = Prohibited Use

Notes:

- 1) Standards for restaurants serving beer and wine:
 - a. The restaurant shall have a minimum floor area of 2,000 square feet (including food preparation and dining areas).
 - b. Service of beer and wine shall be in conjunction with the service of food.
 - c. No separate bar service for the sale of beer or wine shall be permitted.

4.3 - SITE PLANNING

4.3.1 - Residential Uses

Variety of Residential Design - Provide quality design and visual interest within a development by alternating the massing, layout, architectural details, accent materials, and colors so that adjacent dwelling units are not nearly identical.

Residential Orientation on Corner Lots - To reduce architectural massing, orient the shortest and lowest side of a corner residential dwelling unit toward the side street.

Residential Garage Placement - Where feasible, orient garages so that garage doors do not directly face the street (e.g., use of "side-on" garage configuration and side loaded corner lots). Garage

doors should be set back from the front face of the house so that residential tracts are more pedestrian/neighborhood friendly.

Multi-family Development Building Orientation and Design Diversity - Within multi-family developments:

Cluster residential buildings around open space and/or recreational features;

- Design the common space associated with each cluster of multi-family dwelling units to provide differences in size, dimensions, grading, amenities, and site furniture in order to create variety;
- In higher density projects with tuck-under parking and/or opposing garages, avoid the monotony of long parking corridors by turning individual units, staggering parking areas, and/or using an interesting variety of landscaping within parking areas;
- Provide each unit with some unique elements to create a sense of place and identity;
- Individual units should be distinguishable from each other, and should have separate entrances and entry paths, where feasible.
- Buildings should be oriented to avoid instances where the living spaces of one unit face the living spaces of another and significantly reduce indoor privacy.

4.3.2 - General Mixed Uses

Mixed Use Development Design - Design multiple buildings within a single Mixed Use Planning Area or development project to create a unified image that also helps to define primary and secondary functions among the buildings. Also, site individual buildings/developments to acknowledge and contribute to the development and/or Planning Area as a whole. Refrain from siting buildings so that they turn their "back" on other buildings. Employ architectural detail and rhythm using patterns (e.g., window design/placement/ repetition) to give a human scale to large buildings by reducing large blank areas on the façade. Visually break up buildings into several components and/or use a mix of materials to further reduce the appearance of bulk.

Pedestrian Orientation - Facilitate pedestrian access from off-site. Encourage the grouping of buildings or the configuration of a building to create courtyards, plazas, or seating areas where people can gather. Large landscaped setbacks are discouraged as they establish a barrier for pedestrian access. Provide wide sidewalks/walkways for pedestrian circulation and bicycle lanes or paths for bicycle travel. Employ awnings, covered archways, covered patios, arcades, or trees to provide shade and to offer protection from sun and rain.

Pedestrian-Oriented Development - Pedestrian-oriented development is designed around the pedestrian, and facilitates walking and bicycling as a primary means of travel for short trips within the development area. Pedestrian-oriented development is typically characterized by the location of buildings close to streets, building architecture that is detailed and scaled to the pedestrian, and a variety of amenities (e.g., benches, fountains, awnings, plazas). Orient buildings so that they are always the primary element as seen from the street, as opposed to parking areas. Encourage the

use of architectural elements that define the main entrance of buildings and organize space at the ground plane (e.g., arcades, colonnades, and covered walkways) is encouraged. Such elements help to reinforce the pedestrian scale of the building and contribute to its overall neighborhood character. Feature architectural details that relate to the building's scale and acknowledge pedestrian entryways through the use of detailed rooflines, enhanced entry statements for principal buildings, and building ornamentation. Feature prominent display windows on the first floor of buildings with commercial and commercial service uses.

"Main Street" District Development - The traditional small town "Main Street" is the prototype for modern pedestrian-oriented development, which provides a mix of land uses and builds a synergy that is necessary for successful pedestrian oriented development that is in use 24 hours a day. The form along Main Street should be quite different from that of more traditional commercial development that is otherwise designed around the car and requires separation of different types of uses (e.g., residential, commercial). In particular to the Main Street, design buildings so as to locate retail uses on the first floor in order to benefit from street activity and to generate activity themselves by providing convenient shopping opportunities and attractive window displays. Within horizontally mixed-use buildings, provide professional services offered directly to the public on the first floor with other office-based employment reserved office uses for the second floor of pedestrian-oriented buildings. Keep private residential areas on the upper floors of mixed-use buildings distinct from public spaces and public uses, providing separate entries where feasible.

"Main Street" District Access and Circulation - Design Main Street to accommodate slow to moderate moving local traffic (e.g., two lanes maximum each direction) and incorporate abundant pedestrian crossings throughout. While pedestrian access is a primary focus, also provide convenient vehicular parking via nearby parking in an adjacent parking lot located to the side or rear of the building and/or on-street diagonal parking. Permit off-street parking standards to be met with a convenient off-site parking structure or lot that serves the area.

"Main Street" District Amenities - Encourage public open areas such as plazas that are designed for gathering and ancillary outdoor uses such as outdoor dining. Provide seating areas (e.g., benches, tables and chairs, low walled planters) and trash receptacles for convenience and that encourage use of these outdoor public areas. Encourage the provision of amenities such as water features (e.g., fountains), public art, and enhanced paving (e.g., colored paving, special paving designs) throughout the length of Main Street, and in particular within designated public gathering spaces. Encourage the use of pedestrian-scale landscaping (e.g., walled planters, window boxes, pots, trellised plants, and/or arbors) to add color, fragrance, and soften the appearance of the buildings and invite public lingering. Design lighting so that it provides adequate levels of lighting for security and safety, and to create a "comfortable" atmosphere (e.g., use lighting to highlight landscaping or wall murals). Utilize streetlights that are pedestrian-oriented, attractively designed, compatible in design with other street furniture, and provide adequate visibility and security. Install "street furniture" (benches, bus shelters, planters, bike racks, trash receptacles, newspaper racks, water fountains, and bollards) within streetscapes to enhance the pedestrian experience and embellish pedestrian gathering places (places for sitting, meeting people, relaxing, people

watching, etc.). It should be compatible with the streetscape theme, durable, easily maintained and easily replaced. The design and location of street furniture should avoid conflicts with driver sight lines and utilities. As pedestrian furniture is both in the public right-of-way and on private property, the style and placement of furniture should be coordinated on public and private property, and should avoid blocking travel on the sidewalk.

4.3.3 - Special Uses

Hospitality and Visitor-Serving Development - Hospitality development includes uses such as hotels, which may have ancillary services such as restaurants and meeting rooms, and extended stay hotels (which typically feature “suites” that provide kitchen facilities and living areas in addition to sleeping areas). Design hotels and extended stay hotels to evoke a residential feel (i.e., through roofline forms, choice of materials), in contrast to a hi-tech, high rise look. For example, encourage roofs to be gabled or hipped styles in order to further convey a residential aspect (as opposed to flat roofs). Select exterior materials and colors that are typical in traditional residential construction, such as wood siding (or wood-look vinyl siding), brick, stucco, terra cotta roof tiles, and wood-look roof shingles (i.e., fire resistant materials made to look like wood), as well as compatible with the historic district guidelines. Also, it is recommended that the design feature enhanced architectural elements (e.g., tower, projecting arch, columns, pilasters) on the main building entry. Special exterior treatments may be provided for restaurant and meeting room entrances. Distribute landscape planters throughout the development and the parking lot so that landscaping highlights the building entries, provides shade for pedestrians and cars, and breaks up the visual mass of the asphalt parking lot.

Convenience Development - There are many types of “convenience” developments (e.g., service stations, car washes and drive-up windows) today that provide for modern necessities, but that can pose design dilemmas because of their unconventional layouts or building forms. If not properly designed, such “convenience” uses could become design eyesores and result in both pedestrian and vehicular access conflicts. Design “convenience” development to be of a high quality and visually compatible with traditional types of development (such as those that feature fully enclosed buildings).

Auto-Oriented Development -The name of this type of development refers to its vehicular-oriented design, not refer to the type of business conducted on the site. Thus, “auto-oriented” development refers to businesses and development that are designed to be primarily accessed via the automobile (e.g., traditional suburban shopping centers, commercial, and office uses). When auto-oriented commercial and small offices are located within a Mixed Use Planning Area, promote designs that facilitate easy auto access and parking and create pleasing buildings that are easily visible from the street. For commercial or small office development that is immediately adjacent to the street, place parking wherever feasible at the side of the building or at the rear of the building. For a building immediately adjacent to the street (i.e., no parking area intervening between the building and the street), design the building elevation facing the street so it is the main architectural focus. A building may place its main entrance adjacent to the parking lot; however,

the elevation facing the street should still receive the main (or at least equal) architectural focus. However, building elevations visible from the street should feature architectural elements and details of a scale that can be noticed from a passing vehicle, and should feature building articulation and detail to make it easy to identify access/entrances. Design parking lots to ensure safe and convenient circulation for both vehicles and pedestrians.

Franchise Architecture Limitations - Avoid the use of “franchise architecture” by requiring that buildings be specifically designed to meet the needs of the subject site consistent with the development standards, design guidelines and community structure elements intended for the Planning Area in which a franchised use will be located.

Institutional Development Design - Institutional uses are unique, often with special architectural requirements and style preferences that reflect the buildings’ users and function, and thus flexibility is required. For institutional building types and uses located within the Mixed Use designation, ensure that site and building design reduce traffic and circulation conflicts, minimize disruption to adjacent sensitive uses, and promote high quality architectural design. For example, it is desired that vehicular access be provided via a collector road, instead of from an arterial, wherever feasible, and that vehicular access points be consolidated and designed for efficient ingress/egress. Further, it is recommended that access to schools be designed with sufficient staging areas such that vehicles waiting to drop off or pick up a student do not block travel lanes on public streets. Feature architectural details that relate to the building’s scale and acknowledge pedestrian entryways through the use of detailed rooflines, enhanced entry statements for principal buildings, and building ornamentation.

Parking Lot Configuration and Design - Site the buildings so that when viewed from the street, the major focus is on an attractive building elevation(s) instead of a “sea of asphalt” parking lot. Improve the appearance of parking areas by using landscaping and/or building placement to screen them from the street. Design parking lots as clusters of spaces rather than large parking areas with row upon row of parking stalls. Provide abundant landscaping at street edges, parking lot and building entries, and throughout the parking lot so that it provides shade for pedestrians and cars and breaks up the visual mass of the asphalt parking lot.

Traffic Calming Guidelines - Implement traffic calming to improve neighborhood livability, pedestrian safety and school children safety. Traffic calming techniques such as narrower than standard streets, speed humps, neck-downs and traffic diverters, rough-paved crosswalks, roundabouts, and planted median islands at the entries into neighborhoods can successfully reduce undesirable through traffic within residential neighborhoods and along Main Street.

Paseo and Trail Guidelines

- Provide trail amenities such as signage, benches, and trash receptacles. Signage should identify the entrances to the riding and hiking trail. Benches and trash receptacles should be spaced along the trail.

- Maintain the privacy of adjacent dwellings by allowing walls and fences of a standard height along existing residential property lines that are located adjacent to the perimeter of the Paseo or California Trail.
- Encourage public visibility of the Paseo and trail system in order to promote safety for the users by designing new adjacent residential development with windows that overlook the trail system.
- Design trail entrances to promote visibility and safety by placing them in prominent locations and minimizing obstacles (e.g., walls, tall plant materials) immediately adjacent to the entrances.
- Retain, maintain, and irrigate clusters of the existing orange trees within the designated trail areas to serve as landscaping adjacent to the pathway, since these trees help promote the community's sense of place and reflect the community's agricultural past.

Adaptive Reuse and Preservation with New Development

Within THE GROVES are a number of structures, features, and other cultural resources that warrant adaptive reuse and/or preservation (or rehabilitation or re-creation, when appropriate) so that they are not "lost" as the community develops. Adaptive reuse of structures that have local historic value because of their scientific, aesthetic, educational, cultural, architectural, or historical significance is strongly encouraged in order to incorporate them into new development and prevent their demolition. Adaptive reuse can be accomplished through preserve in-place (and reuse) or relocate (e.g., to the Heritage Park), adapt and reuse. Preservation of other physical elements that are cultural resources (e.g., the Zanja) by incorporating them (either in their entirety or through a representative sample/re-creation if it would carry the same merit) into future development of the area is also strongly encouraged. Key considerations for the preservation, adaption or reuse of historic structures and valued cultural resources include the following:

- Retain the historic and architectural integrity when pursuing adaptive reuse of buildings, while aiming to meet the design policies set forth within the applicable category of the intended new use to the greatest extent feasible.
- Sensitively site and design new adjacent buildings in order to preserve historic buildings, allow for viable access to them, and create a cohesive architectural character that reflects, and is compatible with, the historic building.
- Preserve the character of the existing citrus groves by preserving and incorporating strategically located existing trees or rows of existing trees into new development (i.e., in the form of landscaped setbacks and/or landscape treatments).
- Include new citrus trees of a hearty variety and/or other species that are similar to resemble citrus trees within appropriate new or re-landscaped City rights-of-way.
- Encourage private development to use new citrus trees as landscape materials on any private property when feasible.
- Incorporate the palm tree rows into future development, especially in the vicinity of Citrus Avenue, to reflect older established palm trees located along Citrus Avenue east of California Street.

4.4 - DEVELOPMENT STANDARDS

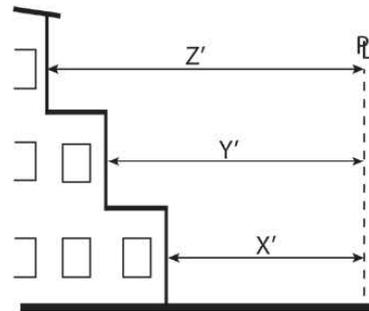
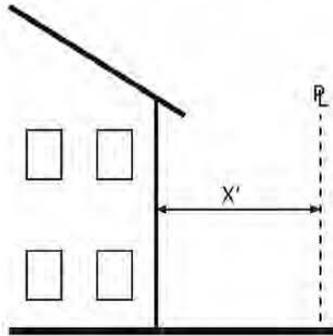
4.4.1 - Introduction

General Development Standards and Terms:

1. **Setbacks:** Building setbacks from streets are measure from back of rights-of-way for ground-floor uses.
 - a. Maximum setback may be increased to allow for additional outdoor uses at the discretion of the Planning Director.
 - b. Pedestrian walkways within a project shall be a minimum of five (5) ft. in width.
 - c. Walkways and outdoor seating allowed within required setback if a pedestrian walkway with a minimum of five (5) feet in width is provided.
2. **Building Height:** Building height is defined as number of stories above grade. Measurement of height does not include to underground parking, rooftop uses, or architectural features such as a tower or archway.
 - a. For planning areas designated exclusively for residential use architectural components of a building may exceed 35 feet. Up to 25% of the building footprint may exceed 35 feet but must not be more than 3 stories.
 - b. For planning areas with a non-residential use, up to 25% of the building footprint may extend up to 4 stories/ 45 feet. Building footprints include all buildings within a planning area. If a residential use is also included in a planning area, the maximum height may not exceed 35 feet or 3 stories.
3. **Open Space**
 - a. Commercial open space shall be defined as public plazas, seating nodes, outdoor dining, or landscaped pedestrian pathways within commercial areas.
 - b. Required front, side and rear yard setback areas may not be included in the calculation of open space.
 - c. Open space areas shall have no parking, driveway, or right-of-way encroachments.
 - d. Percentage of lot not covered by building or parking shall be useable open space.
 - e. Minimum dimension for private open space shall be 7 ft.
 - f. Minimum dimension for common open space shall be 20 ft. or based on the minimum building separation requirements as set forth in the State Building Code, whichever is greater.
 - g. Courtyard internal to a project, or enclosed on at least three (3) sides, shall have a minimum of width of forty (40) ft.
 - h. All residential common areas shall be improved as either active or passive facilities, with landscaping or hardscape elements designed to serve the residents of the project.

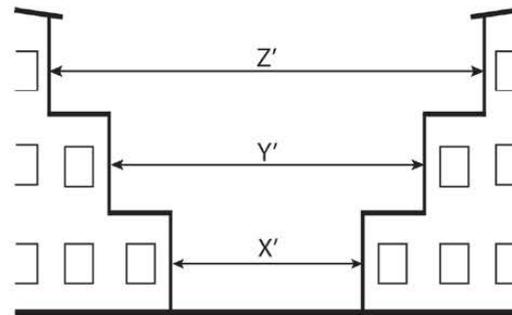
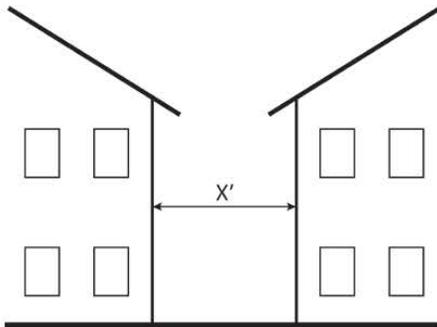
-
- i. All common areas shall be developed and professionally maintained in accordance with approved landscape and irrigation plans.
 4. **Gross Acreage:** Calculations shall use Planning Area gross acreages as shown in Table 3.1.
 5. **Calculating Density**
 - a. Calculating Density in Horizontal Mixed Use. Residential density for buildings designed in a horizontal mixed use pattern shall be calculated as the ratio of the number of dwelling units to the gross acreage of residential use within each Planning Area (including associated parking and non-recreation landscape areas, but excluding recreation areas/facilities).
 - b. Calculating Density in Vertical or Integrated Mixed Use. Residential density for buildings designed in a vertical or integrated mixed use pattern shall be calculated as the ratio of the residential square footage to the Planning Area square footage (after deducting the commercial square footage and required commercial parking area), converted into acres and divided by the number of dwelling units in the building.
 6. **Calculating Floor Area Ratio (FAR):** The Floor Area Ratio for commercial uses developed in a horizontal mixed use pattern or commercial-residential uses developed in a vertical/integrated mixed use pattern shall be calculated as the ratio of the square footage of the respective building to the square footage of the Assigned Commercial Component (ACC) of the Planning Area.
 7. **Measuring Building Setback:** A building setback shall be the measurement (in feet) from a public or private street right-of-way or a property line to the building plane. Separation distance between two structures shall be the distance (in feet) between the building planes. The minimum setback and minimum separation requirements for multi-story buildings shall be measured from the first floor when all floors have the same aligned building plane, or from the upper stories of buildings that have stepped-back building planes, as demonstrated in the following illustration. (Fire Department regulations may limit the depth of upper floor building step-backs to 5 feet, unless alternative emergency access is provided to the satisfaction of the Fire Department.)

MEASURING BUILDING SETBACK



(Fire Department regulations may limit the depth of upper floor building step-backs to 5 feet, unless alternative emergency access is provided to the satisfaction of the Fire Department.)

MEASURING BUILDING SEPARATION



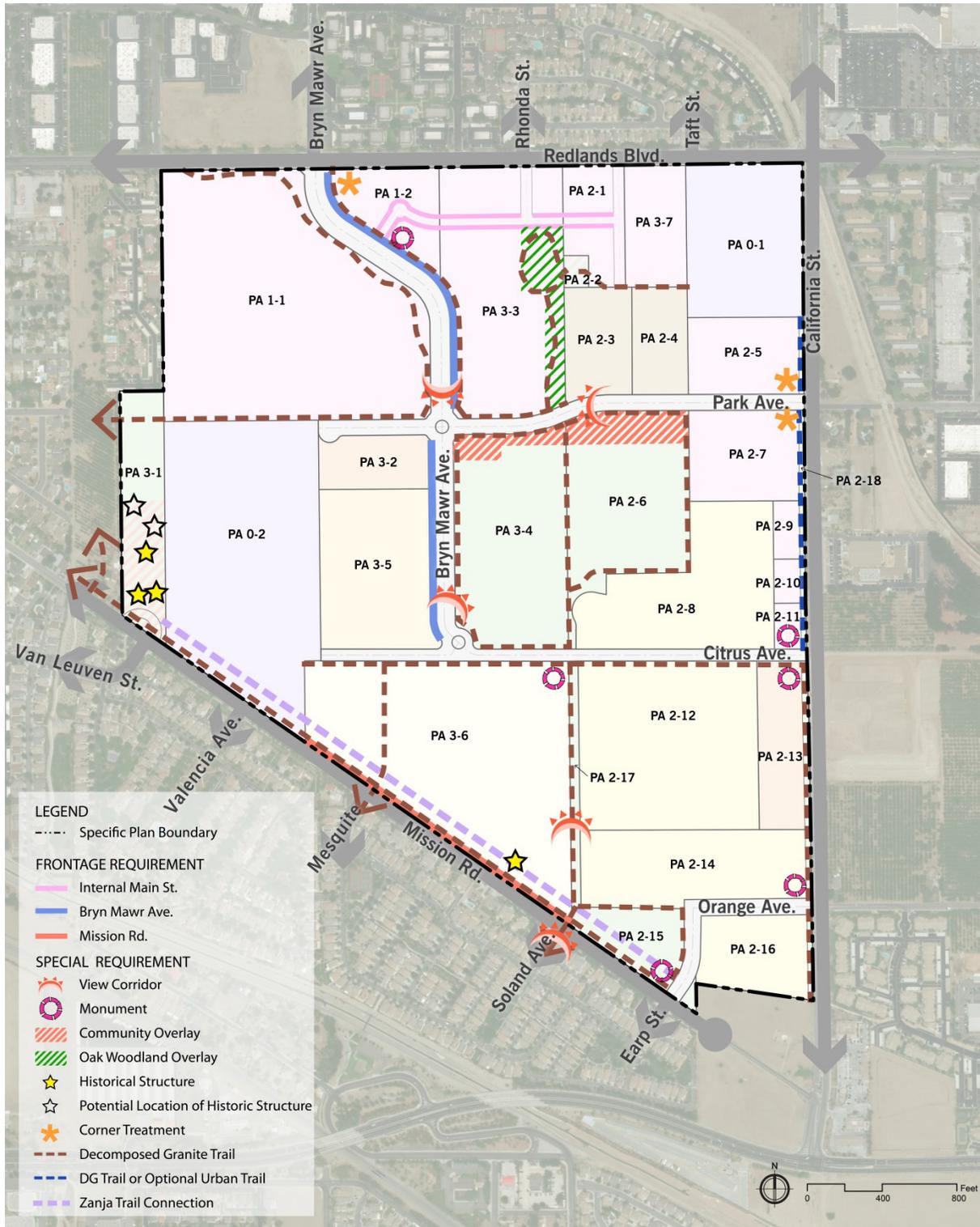
(Fire Department regulations may limit the depth of upper floor building step-backs to 5 feet, unless alternative emergency access is provided to the satisfaction of the Fire Department.)

4.4.2 - Planning Area Standards

Figure 4.1, *Community Structure Plan* contains special requirements that are applied to planning areas that will further shape the final urban form as development occurs overtime, as well as connectivity between projects. The Community Structure exhibit addresses the following:

- Frontage requirements for key roadway segments, which give direction to the design of the area between the public right-of-way and the adjacent building façade;
- View corridors into the site at key locations that should be maintained and enhanced through future site planning and design;
- The location of key entry monuments;
- The area to be set aside for the preservation of the oak woodlands onsite;
- The general locations for historic structures;
- A special requirement for an enhanced corner treatment at the primary entry into THE GROVES from Redlands Boulevard; and
- A connected system of trails within THE GROVES and to adjacent local and regional trails.

Figure 4.1 – Community Structure Plan



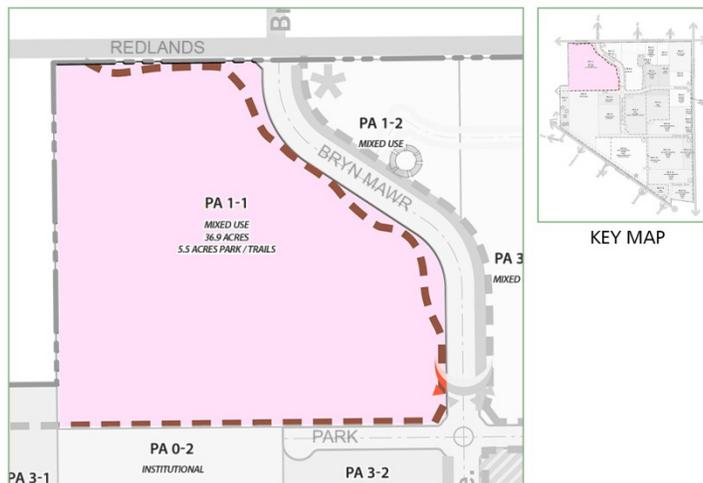
Planning Area 1-1: MIXED USE

PURPOSE AND INTENT

Planning Area 1-1 includes the VA Ambulatory Care Center that includes approximately 271,000 square feet of medical offices and healthcare related uses. The VA Ambulatory Care Center is located at the intersection of Redlands Boulevard and Bryn Mawr Avenue at the primary entrance to THE GROVES from Redlands Boulevard. The VA Ambulatory Care Center is in a campus-like setting in the northwest corner of the Specific Plan area. Although largely self-contained, PLANNING AREA 1-1 will serve as an activity center that draws people to the Specific Plan area and helps support adjacent commercial and retail uses. In addition, a recreation trail will be created on the west side of a portion of Bryn Mawr Avenue, the south side of a portion of Redlands Boulevard west of Bryn Mawr Avenue, and along the north side of Park Avenue extending to the west to provide pedestrian connectivity. Design standards and guidelines have been developed to address how future development could be integrated as part of the VA Ambulatory Care Center.

DEVELOPMENT POTENTIAL SUMMARY

- Planning Area 1-1 is 36.9 total acres and includes the following:
- Existing: 271,000 square feet of medial office / healthcare as part of existing VA Ambulatory Care Center
 - Potential: 412,892 square feet of commercial, office, medical, healthcare services, community services or lodging.
 - 5.5 acres of parks and open space shall be provided.
 - No residential development potential is included in Planning Area 1-1. However, residential uses are permitted if development rights are transferred from another planning area.



Planning Area 1-1: MIXED USE

DEVELOPMENT STANDARDS

Development standards regulate new development by establishing standards that control site configuration (i.e., lot size and setbacks from adjacent streets and uses), and building form (i.e., density and intensity, and building heights). Development standards based on the Institutional-Health Care (I-HC) designation in the Loma Linda Zoning Code (Municipal Code 17.44.040) are applied to Planning Area 1-1. See Section 4.4.31 for certain deviations from building setbacks, building height, and the floor-area-ratio (FAR) standards shown below.

TYPE	MINIMUM	MAXIMUM
SITE CONFIGURATION REQUIREMENTS		
Lot Size	None	None
Lot Width	100 ft	None
Building Lot Coverage	50%	None
SETBACK REQUIREMENTS		
From Mission Rd.	25 ft	None
Front	25 ft	None
Side - Abutting Parcel Zoned for Residential	2 ft	None
Side - Abutting Parcel Zoned for Non-Residential	10 ft	None
Side - Abutting Street	25 ft	None
Rear - Abutting Parcel Zoned for Residential	20 ft	None
Rear - Abutting Parcel Zoned for Non-Residential	10 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	None	.5 FAR
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 Feet

FRONTAGE TYPE REQUIREMENTS

Any future development within Planning Area 1-1 adjacent to Park Avenue and the walking trail should have a primary building façade and entry from the identified street.

SPECIAL REQUIREMENTS

Parking Structure: Existing surface parking may be consolidated into a parking structure to increase the developable area of Planning Area 1-1.

Planning Area 1-2: MIXED USE

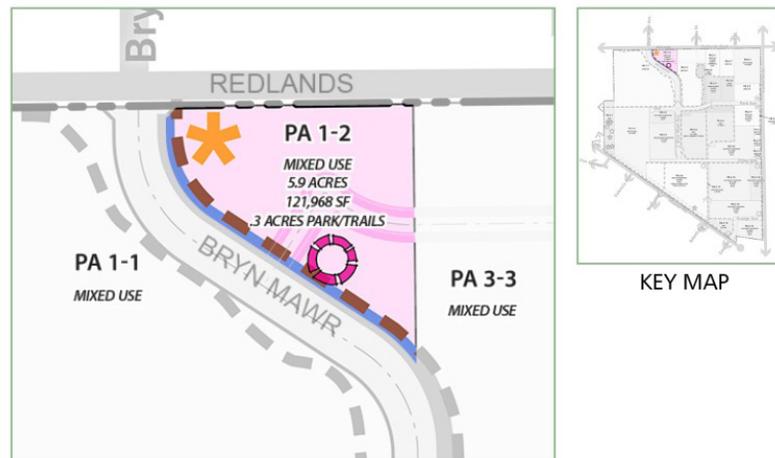
PURPOSE AND INTENT

Planning Area 1-2 is envisioned as a commercial hub located at the primary entrance to THE GROVES from Redlands Boulevard. It is expected to contain a mix of shopping, dining, and hospitality uses located on “Main Street.” It will to serve the nearby VA Ambulatory Care Center, as well as the surrounding neighborhoods in the Specific Plan area. Planning Area 1-2 also provides a recreation trail along the east side of Bryn Mawr Avenue that will connect to the larger trail system within the Specific Plan area. Planning Area 1-2 contains a segment of the internal “Main Street” that will connect to Planning Area 3-3 and Planning Area 2-1. Design standards and guidelines have been developed address how the individual buildings interact with “Main Street” and Bryn Mawr Avenue in particular, to create an active, pedestrian-friendly environment.

DEVELOPMENT POTENTIAL SUMMARY

The 5.9 total acres in Planning Area 1-2 include the following:

- 121,968 square footage of non-residential
- Public open space: 0.3 acres to be maintained as a recreation trail.
- No residential development potential is included in Planning Area 1-2. However, residential uses are permitted if development rights are transferred from another planning area.



Planning Area 1-2: MIXED USE

DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements. Development standards include street-based frontage standards for building facades along “Main Street” and Bryn Mawr Avenue, as well as provisions for entry monumentation and corner treatment. See Section 4.4.31 for certain deviations from building setbacks, building height, and the floor-area-ratio (FAR) standards shown below.

Planning Area 1-2: MIXED USE

TYPE	MINIMUM	MAXIMUM
SITE CONFIGURATION REQUIREMENTS		
Lot Size	None	None
Lot Width	35 ft	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From Bryn Mawr Avenue – Commercial	5 ft	20 ft
From Redlands Boulevard – Commercial	10 ft	20 ft
From “Main Street” - Commercial	0 ft	15 ft
Private Drive or Street	5ft	None
Abutting Off-Site One-Story Building	10 ft	None
Abutting Off-Site Multi-Story Building	20 ft	None
Abutting Park/Open Space	5 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	.3 FAR	.5 FAR
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 Feet

FRONTAGE TYPE REQUIREMENTS

Frontage types address the design elements of the building’s ground floor front façade and the area in front of it extending to the street. It is an essential element of urban design because it is the way a building relates to the sidewalk and either creates a walkable/welcoming environment, or not. All new development adjacent to a street with frontage requirements as shown in Figure 4.1, *Community Structure Map*, shall have a primary building façade and entry from the identified street. These frontages dictate the relationship between the street (back of the right-of-way) and the façade of the ground-floor of the building (see Section 4.5.4 Building Design, for building frontage design guidelines). The following frontage types in Table 4-6 identify the distinct types of front facades that are permitted along Bryn Mawr Avenue and the internal “Main Street”. For streets where there is not a designated frontage (such as Redlands Boulevard), all building sides abutting the public right-of-way shall require architectural treatment (see Section 4.5.4, Building Design).

Planning Area 1-2: MIXED USE

TYPE	PERMITTED FRONTAGE TYPES ALONG "MAIN STREET"	PERMITTED FRONTAGE TYPES ALONG BRYN MAWR AVENUE
Ground Floor Residential	Stoop, Terrace, Forecourt/Courtyard	Stoop, Terrace, Forecourt/Courtyard, Porch, Yard
Ground Floor Commercial	Shopfront, Forecourt, Gallery/Arcade	Shopfront, Forecourt, Gallery/Arcade

Parking Requirements

The following parking requirements shall apply to new development within Planning Area 1-2. Where feasible, shared parking is encouraged throughout Planning Area 1-2, as well as with adjacent parking areas with an approved Shared Parking Agreement in accordance with Section 17.24.110 of the LLMC. Bike parking should be consolidated, and racks should be in a convenient location

TYPE	MINIMUM PARKING SPACES
NON-RESIDENTIAL USES	
Uses < 3,000 sf	1.6 spaces / 1,000 sf
Uses > 3,000 sf	5 spaces / 1,000 sf
BICYCLE RACKS	1 space / 25 required parking spaces with a minimum of 1 space / commercial tenant space

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 1-2.

1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking.
2. **Open Space for Commercial Uses:** 25% of lot not covered by building or parking shall be useable open space (e.g., public plazas, seating nodes, outdoor dining, pedestrian pathways).
3. **Landscape Requirement for Non-Residential Uses:** For ground-floor commercial or live/work units, up to 80% of the setback area may be paved.
4. **Corner Treatment at Redlands Boulevard and Bryn Mawr Avenue:** As shown on Figure 4.1,

Planning Area 1-2: MIXED USE

Community Structure Plan, a Corner Treatment has been identified for the corner of Redlands Boulevard and Bryn Mawr Avenue. As this is the primary entrance to the Specific Plan area from Redlands Boulevard, the design of this corner is an essential element in branding the area. Buildings shall have a major presence at the corner to enhance the pedestrian experience and create character and appropriate massing along the roadway. See Section X, Design Guidelines for architectural design standards for corner treatments.

5. **Entry Monumentation:** As shown in Figure 4.1, *Community Structure Plan*, the entrance from Bryn Mawr Avenue should include some type of entry monumentation that denotes the entrance to "Main Street".
6. **View Corridor:** Figure 4.1, *Community Structure Plan*, identifies a view corridor at Park Avenue and Bryn Mawr Avenue. People traveling south on Bryn Mawr will have an opportunity to view the large central park and amenities associated with Planning Area 3-4 and Planning Area 2-6. Future development within Planning Area 1-1 shall provide a view window at the north-west corner of Park Avenue and Bryn Mawr. This can be accomplished through the arrangement of buildings, a corner cut-off, a public plaza or landscape treatment at the corner.



Planning Area 2-1: MIXED USE

PURPOSE AND INTENT

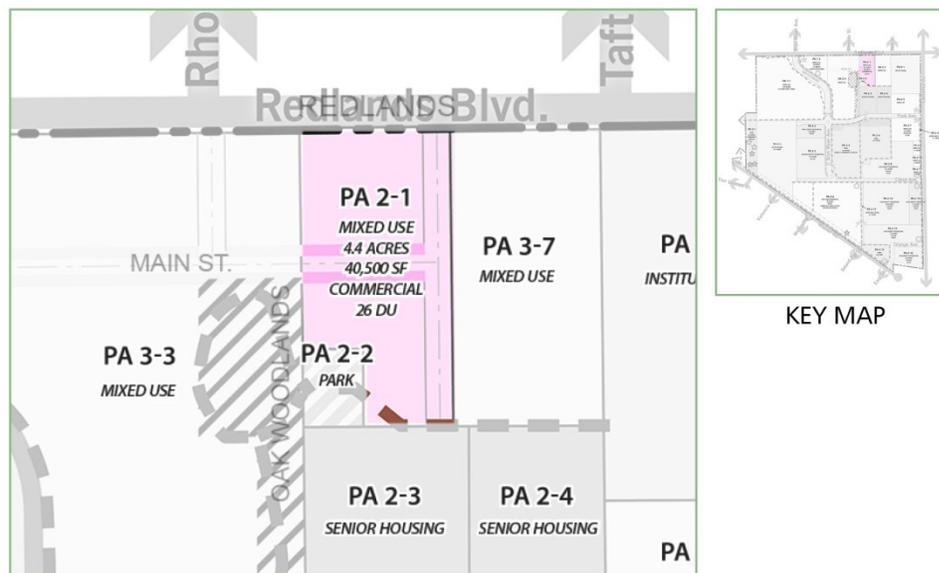
Planning Area 2-1 is envisioned as an active living, shopping, dining, and potential office environment. The standards are intended to result in an interconnected network of streets and drives the promote walkability within and to adjacent planning areas. The internal “Main Street” is expected to contain many of the retail and restaurant uses in either a stand-alone or mixed-use configuration with residential above. Live-work and walk-up townhomes may also be incorporated onto “Main Street”. Design standards and guidelines have been developed to address how the individual buildings interact with the street and create an active, pedestrian-friendly environment.

DEVELOPMENT POTENTIAL SUMMARY

The 4.4 total acres in Planning Area 2-1 include the following:

- 26 dwelling units
- 40,500 square feet of non-residential

Additional development for residential and non-residential development is permitted if development rights are transferred from another planning area.



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements. Development standards include street-based frontage standards for building facades along “Main Street”. These regulate building frontage design to form adequate and pedestrian-friendly building faces. See Section 4.4.31 for certain deviations from building setbacks, building height, and the floor-area-ratio (FAR) standards shown below.

Planning Area 2-1: MIXED USE		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size – Non-Residential	None	None
Lot Width	35ft	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From Redlands Boulevard: Commercial & Residential	10 ft	20 ft
From "Main Street": Commercial	0 ft	20 ft
From "Main Street": Residential	5 ft	15 ft
Private Drive or Street	5ft	None
Abutting Off-Site One-Story Building	10 ft	None
Abutting Off-Site Multi-Story Building	20 ft	None
Abutting Park/Open Space	5 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	.3 FAR	.5 FAR
Residential	20 du/ac averages	20 du/ac average
Senior Housing	25 du/ac average	25 du/ac average
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 Feet
Residential	2 Stories	3 Stories and 35 Feet
FRONTAGE TYPE REQUIREMENTS		
<p>Frontage type addresses the design elements of the building's ground floor front façade and the area in front of it extending to the street. It is an essential element of urban design because it is the way a building relates to the sidewalk and either creates a walkable/welcoming environment, or not. All new development adjacent to a street with frontage requirements as shown in Figure 4.1, <i>Community Structure Plan</i>, shall have a primary building façade and entry from the identified street. These frontages dictate the relationship between the street (back of the right-of-way) and the façade of the ground-floor of the building (see Section 4.5.4 Building Design, for building frontage design guidelines). The following frontage types identify the distinct types of front facades that are permitted along the internal "Main Street". For streets where there is not a designated frontage (such as Redlands Boulevard), all building sides abutting the public right-of-way shall require architectural treatment (see Section 4.5.4, Building Design).</p>		

Planning Area 2-1: MIXED USE	
Type	Permitted Frontage Types Along "Main Street"
Ground Floor Residential	Stoop, Terrace, Forecourt/Courtyard
Ground Floor Commercial	Shopfront, Forecourt, Gallery/Arcade
OPEN SPACE AND LANDSCAPING REGULATIONS	
<p>The following open space and landscaping requirements shall apply to new development within Planning Area 2-1.</p> <ol style="list-style-type: none"> Landscaping within setback areas of private development adjacent to the Oak Woodland or public park should be designed to maximize views to the open space amenity. The landscape palette should be sensitive to the natural habitat or park landscaping. 	
Type	Minimum Open Space Requirement
NON-RESIDENTIAL USES	25% of lot not covered by building or parking shall be useable open space (e.g., public plazas, seating nodes, outdoor dining, pedestrian pathways).
RESIDENTIAL USES	
Private Open Space	50 sf / unit
Common Open Space	50 sf / unit
PARKING REQUIREMENTS	
<p>The following parking requirements shall apply to new development within Planning Area 2-1. Where feasible, shared parking is encouraged throughout Planning Area 2-1, as well as with adjacent parking areas with an approved Shared Parking Agreement in accordance with Section 17.24.110 of the LLMC. Bike parking should be consolidated, and racks should be located in a convenient location.</p>	
Type	Minimum Parking Spaces
RESIDENTIAL USES	
Studio Unit	1.0 space / unit
One-Bedroom Unit	1.5 spaces / unit
Two-Bedroom Unit or Larger	2.0 spaces / unit
NON-RESIDENTIAL USES	
Uses < 3,000 sf	1.6 spaces / 1,000 sf
Uses > 3,000 sf	5 spaces / 1,000 sf
BICYCLE RACKS	1 space / 25 required parking spaces with a minimum of 1 space / commercial tenant space

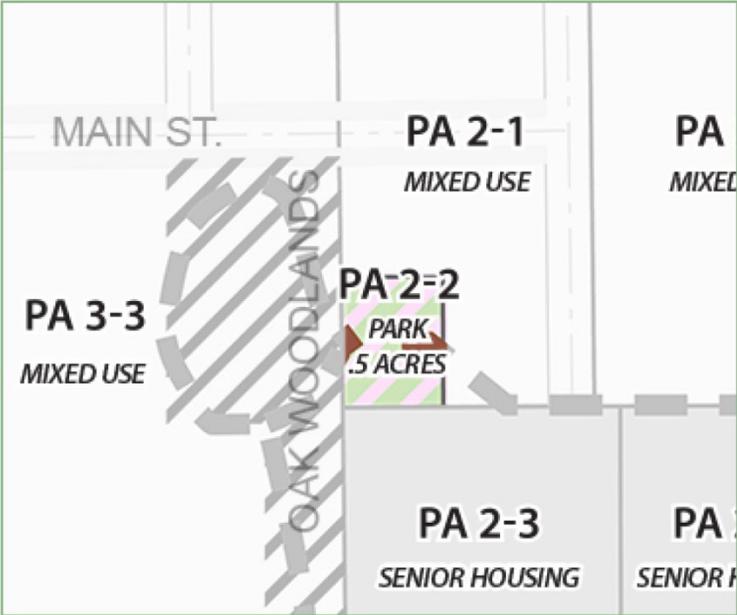
Planning Area 2-1: MIXED USE

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 2-1.

1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking.
2. **Minimum Number of Uses:** A minimum of 3 separate uses of the use types listed in Table 3.3 shall be included in Planning Area 2-1.
3. **Oak Woodland Preserve:** Any development in Planning Area 2-1 must be planned in conjunction with the Oak Woodland Preserve (Planning Area 2-2)



Planning Area 2-2: MIXED USE	
PURPOSE AND INTENT	
<p>Planning Area 2-2 is a small 0.5-acre site that is designated as part of the Oak Woodland Preserve within the Specific Plan area. The Oak Woodland Preserve is expected to be incorporated into the design of any adjacent development project, with uses opening onto the open space area and integrated as part a trail system that is generally depicted in Figure 3.8. The final boundary of the Oak Woodland area shall include the necessary drainage area to ensure the health of the trees, as determined by an arborist. Improvements may include benches, picnic tables and additional native landscaping consistent with the coast oak woodland habitat.</p>	
DEVELOPMENT POTENTIAL SUMMARY	
<p>In addition to the General Landscape Standards in Chapter 4, the following additional requirements shall apply.</p> <ol style="list-style-type: none"> 1. The boundary of the Oak Woodland Preserve should contain the priority trees and the drip line area identified by an arborist or licensed landscape architect. 2. A detailed plan showing all improvements, including trails, fencing, and other amenities shall be prepared by a licensed landscape architect and approved by the City. 	
	 <p>KEY MAP</p>

Planning Area 2-2: MIXED USE

DEVELOPMENT STANDARDS

The following requirements shall apply to new development within Planning Area 2-1.

1. **Oak Woodland Preserve:** Any development in Planning Area 2-1 must be planned in conjunction with the Oak Woodland Preserve (Planning Area 2-2).
2. **Trail:** A 5 foot wide trail is required to meander along or within the Oak Woodland Preserve and is required to connect to the adjacent trails in Planning Area 3-3 and Planning Area 2-1.



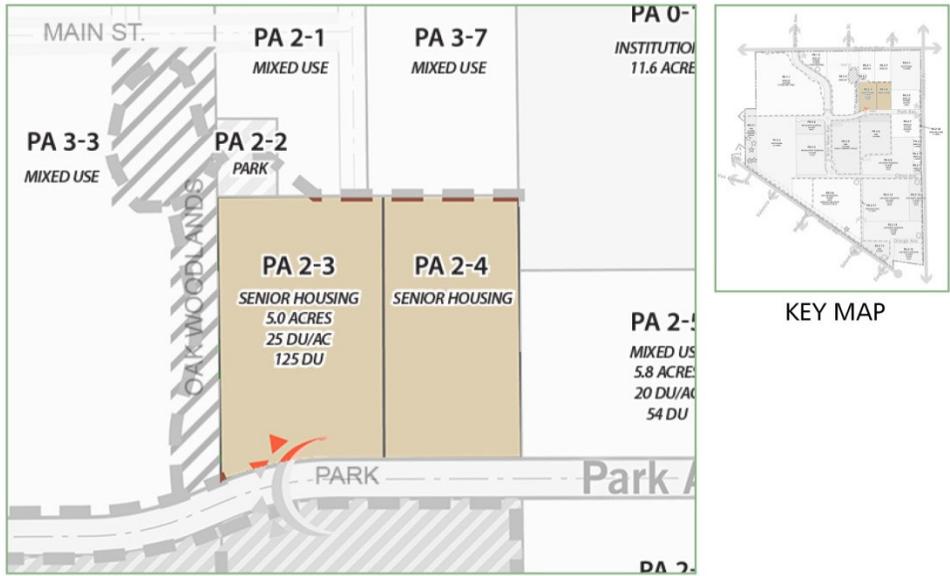
Planning Area 2-3 and 2-4: SENIOR HOUSING

PURPOSE AND INTENT

Planning Area 2-3 and 2-4 are located on the north side of Park Avenue and are envisioned as an age-restricted multi-family community designed to meet the unique needs of seniors, such as relatively small unit sizes, minimizing stairs, and providing elevators to upper floors. The Planning Areas will also have access on the north to a walking trail that provides access to the Oak Woodland Preserve and connects to the “Main Street” for nearby goods and services.

DEVELOPMENT POTENTIAL SUMMARY

The 9.0 total acres in Planning Area 2-3 and Planning Area 2-4 allow the development of up to 213 senior housing units. No other development potential is assumed for Planning Area 2-3. Development potential from other planning areas may not be transferred to this planning area.



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements. These regulate building frontage design to form adequate and pedestrian-friendly building faces.

Planning Area 2-3 and 2-4: SENIOR HOUSING		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size – Non-Residential	None	None
Lot Width	None	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From Park Avenue	15 ft	None
Private Drive or Street	10 ft	None
Abutting Off-Site One-Story Building	10 ft	None
Abutting Off-Site Multi-Story Building	20 ft	None
Abutting Park/Open Space	5 ft	None
Abutting Water Quality Basin – One Story Building	10 ft	None
Abutting Water Quality Basin – Multi-Story Building	20 ft	None
BUILDING DENSITY / INTENSITY		
Senior Housing	25 du/ac average	25 du/ac average
BUILDING HEIGHTS		
Senior Housing	2 Stories	3 Stories and 35 Feet
OPEN SPACE AND LANDSCAPING REGULATIONS		
The following open space and landscaping requirements shall apply to new development within Planning Area 2-3 and Planning Area 2-4.		
Type	Minimum	
NON-RESIDENTIAL USES	25% of lot not covered by building or parking shall be useable open space (e.g., public plazas, seating nodes, outdoor dining, pedestrian pathways).	
RESIDENTIAL USES		
Private Open Space	50 sf / unit	
Common Open Space	50 sf / unit	
PARKING REQUIREMENTS		

Planning Area 2-3 and 2-4: SENIOR HOUSING

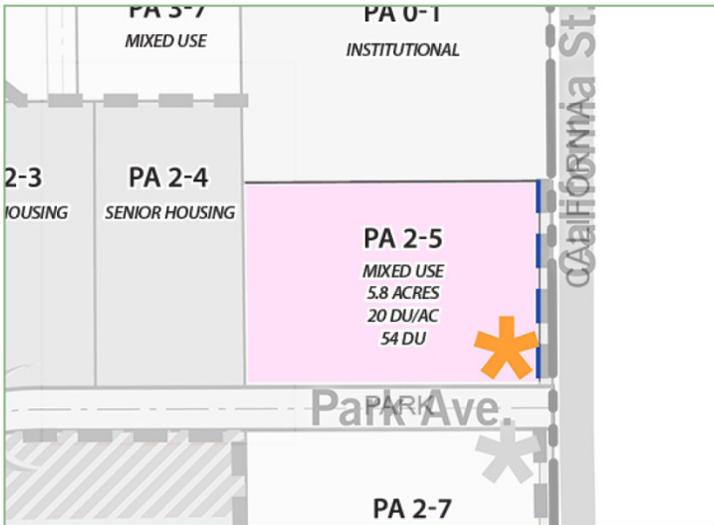
The following parking requirements shall apply to new development within Planning Area 2-3 and Planning Area 2-4. Where feasible, shared parking is encouraged throughout, as well as with adjacent parking areas with an approved Shared Parking Agreement in accordance with Section 17.24.110 of the LLMC. Bike parking should be consolidated, and racks should be located in a convenient location.

Type	Minimum # of Spaces
RESIDENTIAL USES	
Senior Housing Unit	1 space / unit

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 2-3 and Planning Area 2-4.

1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking.
2. **Shared Access:** A primary driveway from Park Avenue is required to serve both Planning Area 2-3 and Planning Area 2-4 in order to minimize curb cuts. Planning for Planning Area 2-3 must be coordinated with Planning Area 2-4 to provide reciprocal access.
3. **Non-Vehicular Access:** A walking trail with a minimum width of 10 feet should be provided on the north side of Planning Area 2-3. This trail should also serve as a safe-route-to-school.
4. **Frontages:** Although no specific frontage type requirements are required for Planning Area 2-4, development should include building placement and design along the northern part along the walking trail and the east edge of the planning area adjacent to Planning Area 2-5 so that development enhances the public realm and has appropriate bulk, scale, setbacks, and fenestration.
5. **Oak Woodland Preserve Adjacency:** Landscaping within setback areas of private development adjacent to the Oak Woodland or public park should be designed to maximize views to the open space amenity. The landscape palette should be sensitive to the natural habitat or park landscaping.

Planning Area 2-5: MIXED USE	
PURPOSE AND INTENT	
<p>Planning Area 2-5 is envisioned as an active living, shopping, dining, and potential office environment. The standards are intended to result in an interconnected network of streets and drives the promote walkability within and to adjacent planning areas. Planning Area 2-5 is located at the intersection of California Street and Park Avenue at one of the primary entrances to the Specific Plan area. Design standards and guidelines have been developed to address how the individual buildings interact with the street and create an active, pedestrian-friendly environment.</p>	
DEVELOPMENT POTENTIAL SUMMARY	
<p>The 5.8 total acres in Planning Area 2-5 includes the following:</p> <ul style="list-style-type: none"> • 54 dwelling units • 67,520 square feet of non-residential <p>Additional development for residential and non-residential development is permitted if development rights are transferred from another planning area.</p>	
	 <p>KEY MAP</p>
DEVELOPMENT STANDARDS	
<p>The following development standards shown in Table 4-15 regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.</p>	

Planning Area 2-5: MIXED USE		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size – Non-Residential	None	None
Lot Width	35ft	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From California Street: Commercial & Residential	10 ft	20 ft
From Park Avenue: Commercial & Residential	5 ft	None
Private Drive or Street	5ft	None
Abutting Off-Site One-Story Building	10 ft	None
Abutting Off-Site Multi-Story Building	20 ft	None
Abutting Park/Open Space	5 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	.3 FAR	.5 FAR
Residential	20 du/ac averages	20 du/ac average
Senior Housing	25 du/ac average	25 du/ac average
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 Feet
Residential	2 Stories	3 Stories and 35 Feet
OPEN SPACE AND LANDSCAPING REGULATIONS		
The following open space and landscaping requirements shall apply to new development within Planning Area 2-5.		
Type	Minimum	
NON-RESIDENTIAL USES	25% of lot not covered by building or parking shall be useable open space (e.g., public plazas, seating nodes, outdoor dining, pedestrian pathways).	
RESIDENTIAL USES		
Private Open Space	50 sf / unit	
Common Open Space	50 sf / unit	
PARKING REQUIREMENTS		
The following parking requirements shall apply to new development within Planning Area 2-5. Where feasible, shared parking is encouraged throughout Planning Area 2-5, as well as with adjacent parking areas with an approved Shared Parking Agreement. Bike parking should be consolidated, and racks should be located in a convenient location.		

Planning Area 2-5: MIXED USE	
Type	Minimum # of Spaces
RESIDENTIAL USES	
Studio Unit	1.0 space / unit
One-Bedroom Unit	1.5 spaces / unit
Two-Bedroom Unit or Larger	2.0 spaces / unit
NON-RESIDENTIAL USES	
Uses < 3,000 sf	1.6 spaces / 1,000 sf
Uses > 3,000 sf	5 spaces / 1,000 sf
BICYCLE RACKS	1 space / 25 required parking spaces with a minimum of 1 space / commercial tenant space
SPECIAL REQUIREMENTS	
<p>The following requirements shall apply to new development within Planning Area 2-5.</p> <ol style="list-style-type: none"> Comprehensive Planning: A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking. Minimum Number of Uses: A minimum of 4 separate uses of the use types listed in Table 3.3 shall be included in Planning Area 2-5. Vehicular Access: Secondary access to Planning Area 0-1 should be provided via Park Avenue to reduce potential turning movement and safety conflicts at the entrances to Mission Elementary School along California Street. To provide secondary access to Planning Area 0-1, coordination is encouraged as part of any proposed development in Planning Area 2-5. Urban Trail: A walking trail at least 10 feet wide is required along California Street to provide pedestrian pathway and compliment the mixed-use orientation. Active Uses: Active uses should front California Street and the urban trail to provide enhanced public spaces and active uses. Corner Treatment at California Street and Park Avenue: As shown on Figure 4.1, <i>Community Structure Plan</i>, a Corner Treatment has been identified for the corner of California Street and Park Avenue. As one of the primary entrances to the Specific Plan area from California Street, the design of this corner is an essential element in branding the area. Buildings shall have a major presence at the corner to enhance the pedestrian experience and create character and appropriate massing along the roadway. See Section X, Design Guidelines for architectural design standards for corner treatments. 	

Planning Area 2-6: PARK	
PURPOSE AND INTENT	
<p>Planning Area 2-6 includes the 13.9-acre North Park, which provides active recreational opportunities for residents and the greater Loma Linda community. North Park includes recreational amenities such as basketball courts, bocce ball courts, pickle ball courts, horseshoe pits, and a children’s playground. A large open area designed for use as a dog park is located in the northeast corner of North Park. The majority of the turf area within the park is allocated for youth soccer fields, sized to provide game facilities for a variety of ages. Conveniently located throughout North Park, picnic shelters provide shaded seating and a 10-foot wide decomposed granite trail encircles the North Park boundary. North Park also provides a parking lot for vehicles and a restroom building. Evergreen canopy trees, deciduous trees, and accent trees that include pockets of orange trees are located along the park periphery and clustered within the northern portion of the park.</p>	
DEVELOPMENT POTENTIAL SUMMARY	
<p>Planning Area 2-6 includes the 13.9-acre park. No residential or non-residential development is allowed within this planning area.</p>	
DEVELOPMENT STANDARDS	
<p>The following development standards regulate the apply to the development of Planning Area 2-6.</p> <ul style="list-style-type: none"> • Community Overlay: A variety of community-serving uses including a fire station, community multi-purpose building/facility, concession areas or restaurants, and commercial recreation uses such as fitness studios and batting cages are allowed within the community overlay. This overlay provides an optional range of uses to be considered in the final design of the park. • Parking: A parking study shall be prepared to determine the total number of space and location based on the mix of activities in the final Park Plan. Parking for Planning Area 2-6 shall be shared with Planning Area 3-4. Parking along the streets may account toward meeting the parking requirement. • Stormwater Management: Any required storm water management facilities such as stormwater detention basins, should be integrated as functioning portions of the park that provide recreational amenities. 	
	

Planning Area 2-7: MIXED USE	
PURPOSE AND INTENT	
<p>Planning Area 2-7 is envisioned as an active living, shopping, dining, and potential office environment. The standards are intended to result in an interconnected network of streets and drives the promote walkability within and to adjacent planning areas. Planning Area 2-7 is located at the intersection of California Street and Park Avenue at one of the primary entrances to the Specific Plan area. Design standards and guidelines have been developed to address how the individual buildings interact with the street and create an active, pedestrian-friendly environment.</p>	
DEVELOPMENT POTENTIAL SUMMARY	
<p>The 6.7 total acres in Planning Area 2-7 includes the following:</p> <ul style="list-style-type: none"> • 62 dwelling units • 78,410 square feet of non-residential <p>Additional development for residential and non-residential development is permitted if development rights are transferred from another planning area.</p>	
DEVELOPMENT STANDARDS	
<p>The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements. See Section 4.4.31 for certain deviations from building setbacks, building height, and the floor-area-ratio (FAR) standards shown below.</p>	

Planning Area 2-7: MIXED USE		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size – Non-Residential	None	None
Lot Width	35ft	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From California Street: Commercial & Residential	10 ft	20 ft
From Park Avenue: Commercial & Residential	5 ft	None
Private Drive or Street	5ft	None
Abutting Off-Site One-Story Building	10 ft	None
Abutting Off-Site Multi-Story Building	20 ft	None
Abutting Park/Open Space	5 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	.3 FAR	.5 FAR
Residential	20 du/ac averages	20 du/ac average
Senior Housing	25 du/ac average	25 du/ac average
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 Feet
Residential	2 Stories	3 Stories and 35 Feet
OPEN SPACE AND LANDSCAPING REGULATIONS		
The following open space and landscaping requirements shall apply to new development within Planning Area 2-7.		
Type	Minimum	
NON-RESIDENTIAL USES	25% of lot not covered by building or parking shall be useable open space (e.g., public plazas, seating nodes, outdoor dining, pedestrian pathways).	
RESIDENTIAL USES		
Private Open Space	50 sf / unit	
Common Open Space	50 sf / unit	
PARKING REQUIREMENTS		
The following parking requirements shown shall apply to new development within Planning Area 2-5. Where feasible, shared parking is encouraged throughout Planning Area 2-7, as well as with adjacent parking areas with an approved Shared Parking Agreement in accordance with Section		

Planning Area 2-7: MIXED USE

17.24.110 of the LLMC. Bike parking should be consolidated, and racks should be located in a convenient location.

Type	Minimum # of Spaces
RESIDENTIAL USES	
Studio Unit	1.0 space / unit
One-Bedroom Unit	1.5 spaces / unit
Two-Bedroom Unit or Larger	2.0 spaces / unit
NON-RESIDENTIAL USES	
Uses < 3,000 sf	1.6 spaces / 1,000 sf
Uses > 3,000 sf	5 spaces / 1,000 sf
BICYCLE RACKS	1 space / 25 required parking spaces with a minimum of 1 space / commercial tenant space

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 2-7.

1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking.
2. **Minimum Number of Uses:** A minimum of 4 separate uses of the use types listed in Table 3.3 shall be included in Planning Area 2-7.
3. **Primary Shared Access:** A driveway from California Street is required to serve both Planning Area 2-7 and Planning Area 2-9 in order to minimize curb cuts. Planning for Planning Area 2-7 must be coordinated with Planning Area 2-9 to provide reciprocal access.
4. **Secondary Reciprocal Access:** Internal circulation should be provided between Planning Area 2-9 and Planning Area 2-7, and Planning Area 2-9 and Planning Area 2-10 via drive aisles, alleys, or internal roadways at least 25 feet in width.
5. **Urban Trail:** A walking trail at least 10 feet wide is required along California Street to provide pedestrian pathway and compliment the mixed-use orientation.
6. **Active Uses:** Active uses should front California Street and the urban trail to provide enhanced public spaces and active uses.
7. **Corner Treatment at California Street and Park Avenue:** As shown on Figure 4.1, *Community Structure Plan*, a Corner Treatment has been identified for the corner of California Street and Park Avenue. As one of the primary entrances to the Specific Plan area from California Street, the design of this corner is an essential element in branding the area. Buildings shall have a major presence at the corner to enhance the pedestrian experience and create

Planning Area 2-7: MIXED USE

character and appropriate massing along the roadway. See Section X, Design Guidelines for architectural design standards for corner treatments.



Planning Area 2-8: LOW DENSITY RESIDENTIAL

PURPOSE AND INTENT

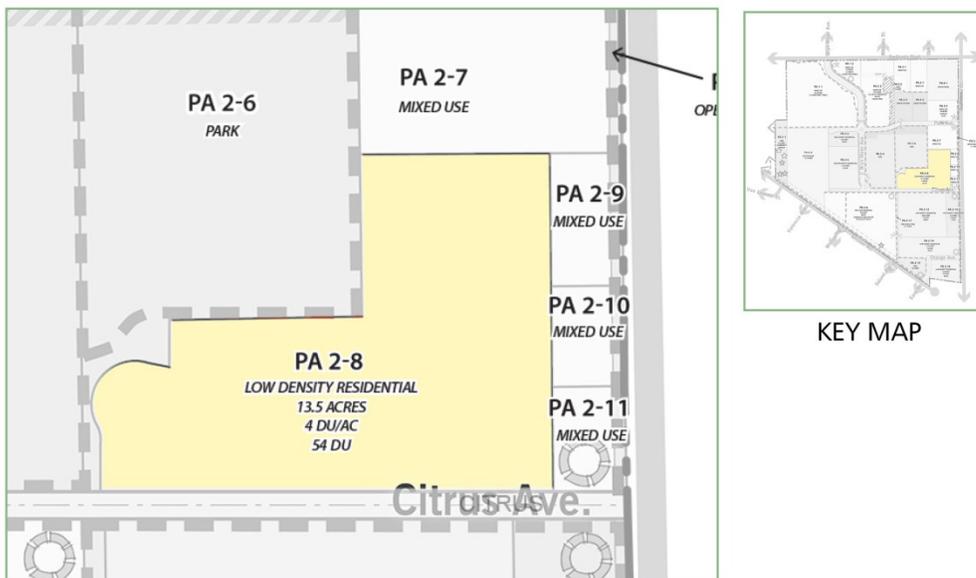
Planning Area 2-8 is located north of Citrus Avenue and is envisioned as a community of low density residential homes. Planning Area 2-8 is surrounded by amenities, including the neighborhood park to the west and the mixed-use commercial to the east. The community will have access to trails that provide opportunities for walking to other parts of the Specific Plan area. Although Planning Area 2-8 has an approved tentative tract map, development standards are provided to assist in any subsequent reviews or any proposed changes to the map.

DEVELOPMENT POTENTIAL SUMMARY

The 13.5 total acres in Planning Area 2-8 include the following:

- 54 dwelling units

Non-residential development is not allowed within this planning area.



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.

Planning Area 2-8: LOW DENSITY RESIDENTIAL		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size*	7,200 sf	None
Lot Width	None	None
Building Lot Coverage	None	40%
SETBACK REQUIREMENTS		
Front: To Front Facing Garage	18 ft	None
Front: To Side-On Garage or Livable Space	12 ft	None
Front: To Door or Architectural Projections	10 ft	None
Interior Side	5 ft	None
Exterior Side	10 ft	None
Rear	15 ft	None
BUILDING DENSITY / INTENSITY		
Residential	0 du/ac	4 du/ac average
BUILDING HEIGHTS		
Residential	None	3 Stories and 35 Feet
* Within the planning area, a maximum of 60% of lots between 7,200 – 7,400 sf and a minimum of 40% of lots may be greater than 7,4000 sf.		
PARKING REQUIREMENTS		
The following parking requirements shall apply to new development within Planning Area 2-8.		
Type	Minimum # of Spaces	
RESIDENTIAL USES		
Enclosed Garage	2.0 spaces / unit	
SPECIAL REQUIREMENTS		
The following requirements shall apply to new development within Planning Area 2-8.		
<ol style="list-style-type: none"> Comprehensive Planning: A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking. Vehicular Access: Two primary access points should be provided to Planning Area 2-8 from Citrus Avenue. Non-Vehicular Access: Access and connections should be provided to the trail in Planning Area 2-6. 		

Planning Area 2-9, 2-10 and 2-11: MIXED USE

PURPOSE AND INTENT

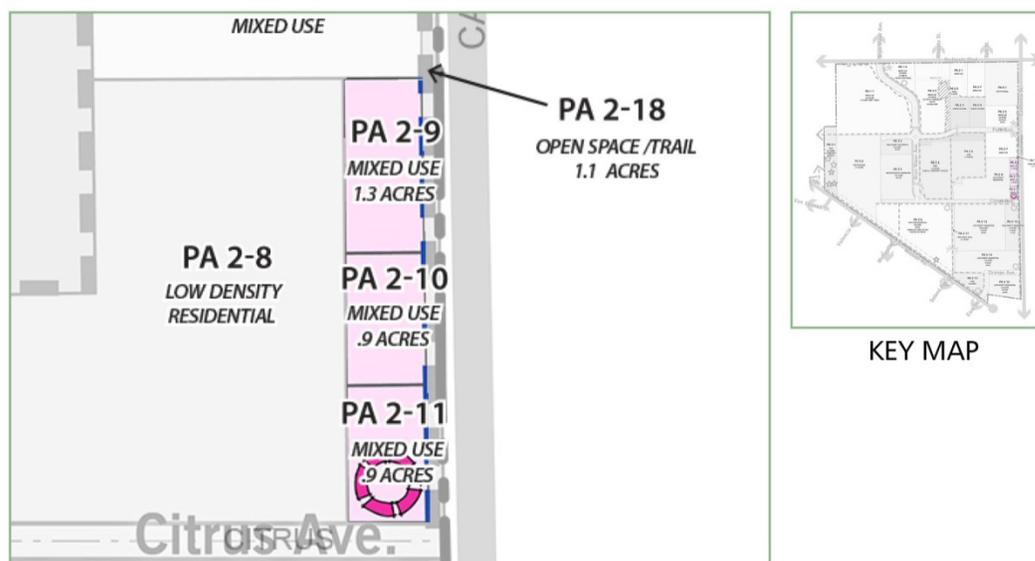
Planning Area 2-9 is located along California Street and is envisioned as a neighborhood serving commercial area in a walkable setting. A walking trail along California Street will provide a link the internal areas of the Specific Plan area. Design standards and guidelines have been developed to address how the individual buildings interact with the street and create an active, pedestrian-friendly environment.

DEVELOPMENT POTENTIAL SUMMARY

The 3.1 total acres in Planning Area 2-9, Planning Area 2-10, and Planning Area 2-11 include the following:

- No residential development potential is assumed as part of Planning Area 2-9, Planning Area 2-10, and Planning Area 2-11. Residential uses are permitted, but not required.
- 67,515 square feet of non-residential

Development rights for residential and additional non-residential may be transferred from another Planning Area.



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.

Planning Area 2-9, 2-10 and 2-11: MIXED USE		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size – Non-Residential	None	None
Lot Width	35ft	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From California Street: Commercial & Residential	10 ft	20 ft
Private Drive or Street	5ft	None
Abutting Off-Site One-Story Building	10 ft	None
Abutting Off-Site Multi-Story Building	20 ft	None
Abutting Park/Open Space	5 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	.3 FAR	.5 FAR
Residential	20 du/ac averages	20 du/ac average
Senior Housing	25 du/ac average	25 du/ac average
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 Feet
Residential	2 Stories	3 Stories and 35 Feet
OPEN SPACE AND LANDSCAPING REGULATIONS		
The following open space and landscaping requirements shall apply to new development within Planning Area 2-9, Planning Area 2-10, and Planning Area 2-11.		
Type	Minimum	
NON-RESIDENTIAL USES	25% of lot not covered by building or parking shall be useable open space (e.g., public plazas, seating nodes, outdoor dining, pedestrian pathways).	
RESIDENTIAL USES		
Private Open Space	50 sf / unit	
Common Open Space	50 sf / unit	
PARKING REQUIREMENTS		
The following parking requirements shall apply to new development within Planning Area 2-9, 2-10, and 2-11. Where feasible, shared parking is encouraged throughout, as well as with adjacent parking areas with an approved Shared Parking Agreement in accordance with Section 17.24.110 of the LLMC. Bike parking should be consolidated, and racks should be located in a convenient		

Planning Area 2-9, 2-10 and 2-11: MIXED USE

location.

Type	Minimum # of Spaces
RESIDENTIAL USES	
Studio Unit	1.0 space / unit
One-Bedroom Unit	1.5 spaces / unit
Two-Bedroom Unit or Larger	2.0 spaces / unit
NON-RESIDENTIAL USES	
Uses < 3,000 sf	1.6 spaces / 1,000 sf
Uses > 3,000 sf	5 spaces / 1,000 sf
BICYCLE RACKS	1 space / 25 required parking spaces with a minimum of 1 space / commercial tenant space

SPECIAL REQUIREMENTS

1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking.
2. **Minimum Number of Uses:** A minimum of 2 separate uses of the use types listed in Table 3.3 shall be included in Planning Area 2-9. A minimum of 1 separate uses of the use types listed in Table 3.3 shall be included in Planning Area 2-11.
3. **Primary Shared Access:** A driveway from California Street is required to serve both Planning Area 2-7 and Planning Area 2-9 in order to minimize curb cuts.
4. **Secondary Reciprocal Access:** Internal circulation should be provided between Planning Area 2-9 and Planning Area 2-7, Planning Area 2-9 and Planning Area 2-10, and Planning Area 2-10 and Planning Area 2-11 via drive aisles, alleys, or internal roadways at least 25 feet in width.
5. **Urban Trail:** A walking trail at least 10 feet wide is required along California Street to provide pedestrian pathway and compliment the mixed-use orientation.
6. **Active Uses:** Active uses should front California Street and the urban trail to provide enhanced public spaces and active uses.
7. **Entry Monumentation:** As shown in Figure 4.1, *Community Structure Plan*, the entrance from California Street should include some type of entry monumentation that denotes the entrance to the Specific Plan area.

Planning Area 2-12: LOW DENSITY RESIDENTIAL

PURPOSE AND INTENT

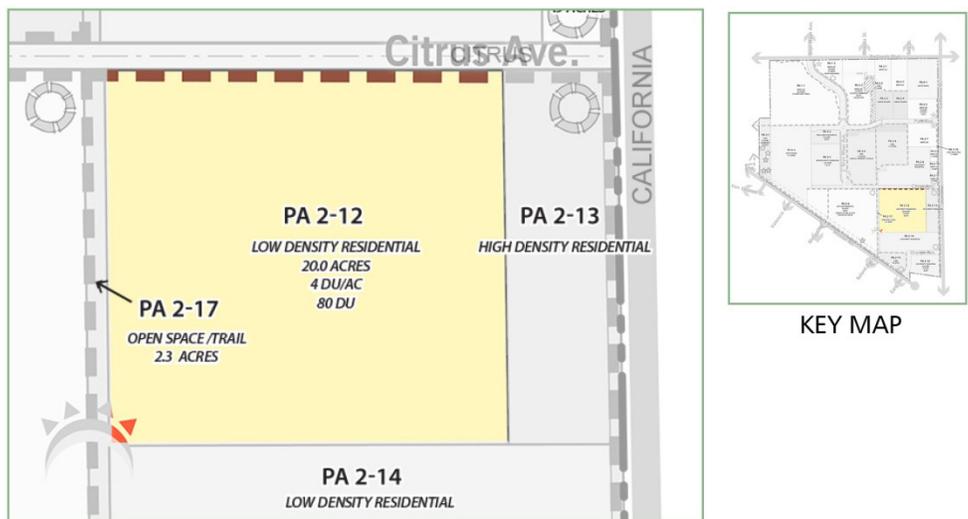
Planning Area 2-12 is located south of Citrus Avenue and is envisioned as a community of low density residential homes. The community will have access to trails that provide an opportunity for walking to other parts of the Specific Plan area. Although Planning Area 2-12 has an approved tentative tract map, development standards are provided to assist in any subsequent reviews or any proposed changes to the map.

DEVELOPMENT POTENTIAL SUMMARY

The 20.0 total acres in Planning Area 2-12 include the following:

- 80 dwelling units

No Non-residential development is allowed within this planning area.



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.

Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size*	7,200 sf	None
Lot Width	None	None

Planning Area 2-12: LOW DENSITY RESIDENTIAL		
Building Lot Coverage	None	40%
SETBACK REQUIREMENTS		
Front: To Front Facing Garage	18 ft	None
Front: To Side-On Garage or Livable Space	12 ft	None
Front: To Door or Architectural Projections	10 ft	None
Interior Side	5 ft	None
Exterior Side	10 ft	None
Rear	15 ft	None
BUILDING DENSITY / INTENSITY		
Residential	0 du/ac	4 du/ac average
BUILDING HEIGHTS		
Residential	None	3 Stories and 35 Feet
* Within the planning area, a maximum of 60% of lots between 7,200 – 7,400 sf and a minimum of 40% of lots may be greater than 7,4000 sf.		
PARKING REQUIREMENTS		
The following parking requirements shall apply to new development within Planning Area 2-12.		
Type	Minimum # of Spaces	
RESIDENTIAL USES		
Enclosed Garage	2.0 spaces / unit	
SPECIAL REQUIREMENTS		
The following requirements shall apply to new development within Planning Area 2-12.		
<ol style="list-style-type: none"> 1. Comprehensive Planning: A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking. 2. Trail: A 10-foot-wide decomposed trail is required on the north side of Planning Area 2-12 along Citrus Avenue. 		

Planning Area 2-13: HIGH DENSITY RESIDENTIAL

PURPOSE AND INTENT

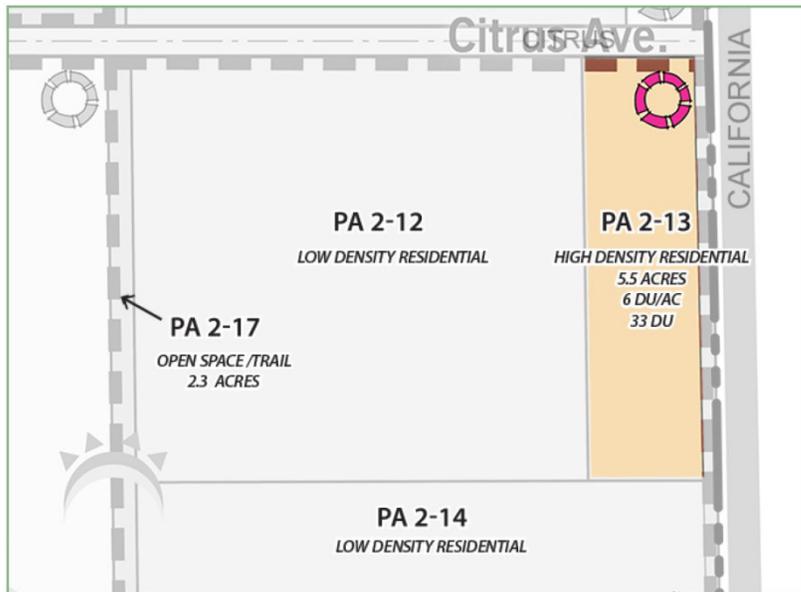
Planning Area 2-13 is located at the corner of Citrus Avenue and California Street and is envisioned as a neighborhood of multi-family homes. The high density residential designation allows for a variety of housing types, including walk-up townhomes, duplex or triplex units, courtyard and motor court products, and attached single-family housing. Although Planning Area 2-13 has an approved tentative tract map, development standards are provided to assist in any subsequent reviews or any proposed changes to the map.

DEVELOPMENT POTENTIAL SUMMARY

The 5.5 total acres in Planning Area 2-12 include the following:

- 33 dwelling units

No Non-residential development is allowed within this planning area.



KEY MAP

DEVELOPMENT STANDARDS

development by establishing standards for intensity, density, building height, open space, and other elements.

Planning Area 2-13: HIGH DENSITY RESIDENTIAL		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size	None	None
Lot Width	None	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From California Street	20 ft	None
From Citrus Ave	10 ft	None
Private Street or Drive	10 ft	None
Building-to-Building Separation	Per California Building Code	
Abutting Off-Site One-Story Building	10 Ft	None
Abutting Off-Site Multi-Story Building	15 ft	None
BUILDING DENSITY / INTENSITY		
Residential	6 du/ac	13 du/ac
BUILDING HEIGHTS		
Residential	2 Stories	3 Stories and 35 Feet
OPEN SPACE AND LANDSCAPING REGULATIONS		
The following open space and landscaping requirements shall apply to new development within Planning Area 2-13.		
Type	Minimum	
RESIDENTIAL USES		
Open Space	100 sf / unit	
PARKING REQUIREMENTS		
The following parking requirements shall apply to new development within Planning Area 2-13.		
Type	Minimum # of Spaces	
RESIDENTIAL USES		
Studio Unit	1.0 space / unit	
One-Bedroom Unit	1.5 spaces / unit	
Two-Bedroom Unit or Larger	2.0 spaces / unit 0.5 spaces for each bedroom over 2 bedrooms	
Guest Parking	0.5 spaces / unit	

Planning Area 2-13: HIGH DENSITY RESIDENTIAL

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 2-13.

1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking.
2. **Urban Trail:** A walking trail at least 10 feet wide is required along California Street to provide pedestrian pathway and compliment the mixed-use orientation.



Planning Area 2-14: LOW DENSITY RESIDENTIAL

PURPOSE AND INTENT

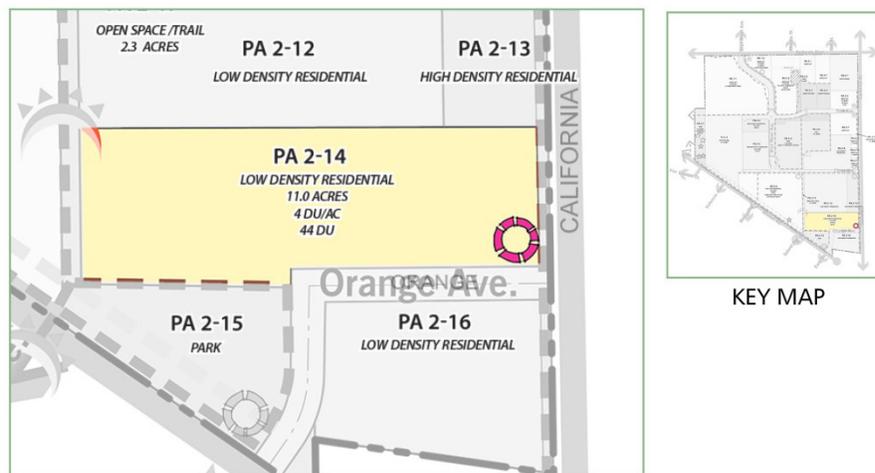
Planning Area 2-14 is located in the southwest portion of the Specific Plan area and is envisioned as a community of low density residential homes. Primary access will be provided by two locations on Orange Avenue. The planning area will be bordered on the south and west by a trail to provide access to other parts of the Specific Plan area. Although Planning Area 2-14 has an approved tentative tract map, development standards are provided to assist in any subsequent reviews or any proposed changes to the map.

DEVELOPMENT POTENTIAL SUMMARY

The 11.0 total acres in Planning Area 2-14 include the following:

- 44 dwelling units

No Non-residential development is allowed within this planning area.



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.

Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size*	7,200 sf	None
Lot Width	None	None
Building Lot Coverage	None	40%
SETBACK REQUIREMENTS		
Front: To Front Facing Garage	18 ft	None
Front: To Side-On Garage or Livable Space	12 ft	None

Planning Area 2-14: LOW DENSITY RESIDENTIAL		
Front: To Door or Architectural Projections	10 ft	None
Interior Side	5 ft	None
Exterior Side	10 ft	None
Rear	15 ft	None
BUILDING DENSITY / INTENSITY		
Residential	0 du/ac	4 du/ac average
BUILDING HEIGHTS		
Residential	None	3 Stories and 35 Feet
* Within the planning area, a maximum of 60% of lots between 7,200 – 7,400 sf and a minimum of 40% of lots may be greater than 7,4000 sf.		
PARKING REQUIREMENTS		
The following parking requirements shall apply to new development within Planning Area 2-14.		
Type	Minimum # of Spaces	
Enclosed Garage	2.0 spaces / unit	
SPECIAL REQUIREMENTS		
The following requirements shall apply to new development within Planning Area 2-14.		
<ol style="list-style-type: none"> 1. Comprehensive Planning: A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking. 		
		

Planning Area 2-15: PARK	
PURPOSE AND INTENT	
<p>Planning Area 2-15 includes the 4.0-acre South Park that provides convenient recreational opportunities for residents of THE GROVES and neighborhoods located south of Mission Road. The concept plan for South Park, features amenities for group use including a picnic shelter and gathering areas. Additional facilities include bocce ball courts, a children’s playground, and open play areas. A 10-foot wide decomposed granite trail, which leads past picnic benches and exercise stations, encircles South Park and ties into the pedestrian Paseo that leads to North Park. The Zanja Regional Trail, which bisects South Park and continues off-site along Mission Road, includes interpretive signage to educates users about the importance of the Zanja irrigation ditch to the history of the area. A parking lot and restrooms are also provided within South Park. Evergreen canopy trees and accent trees consistent with the landscape theme are located throughout South Park, creating a distinct community identity.</p>	
DEVELOPMENT POTENTIAL SUMMARY	
<p>Planning Area 2-15 includes the 4.0-acre park. No residential or non-residential development is not allowed within this planning area.</p>	

Planning Area 2-16: LOW DENSITY RESIDENTIAL

PURPOSE AND INTENT

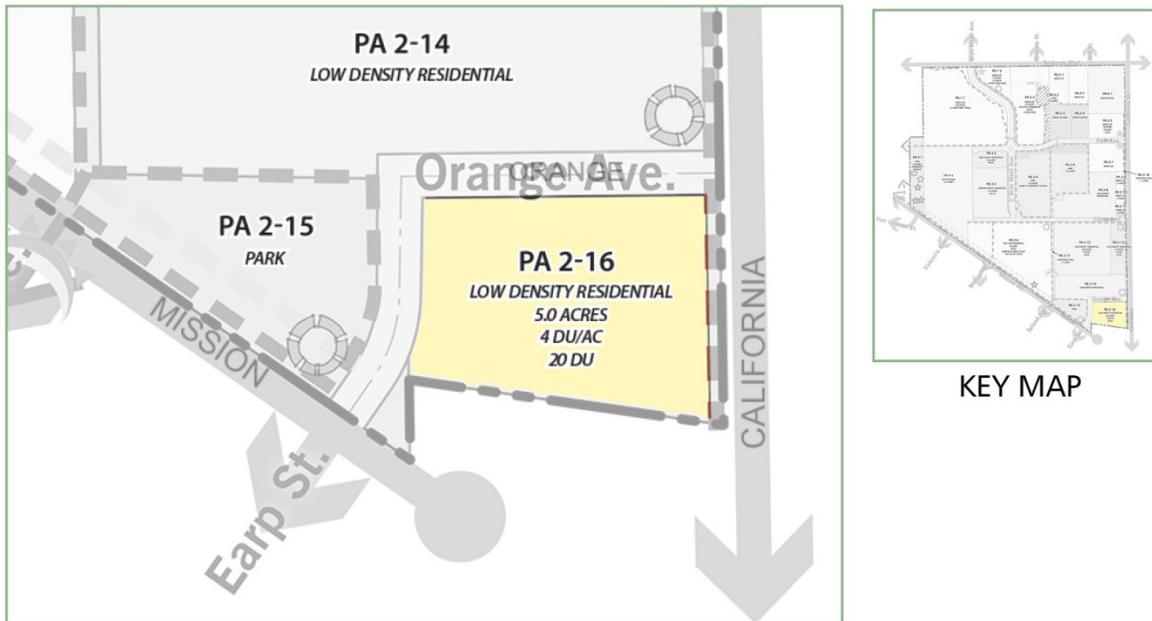
Planning Area 2-16 is in the southwest corner of the Specific Plan area and is envisioned as a community of low density residential homes. Primary access will be provided by two locations on Orange Avenue. The planning area will be bordered on the east by a trail along California Street. Although Planning Area 2-16 has an approved tentative tract map, development standards are provided to assist in any subsequent reviews or any proposed changes to the map.

DEVELOPMENT POTENTIAL SUMMARY

The 5.0 total acres in Planning Area 2-16 include the following:

- 20 dwelling units

No Non-residential development is allowed within this planning area.



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.

Planning Area 2-16: LOW DENSITY RESIDENTIAL		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size*	7,200 sf	None
Lot Width	None	None
Building Lot Coverage	None	40%
SETBACK REQUIREMENTS		
Front: To Front Facing Garage	18 ft	None
Front: To Side-On Garage or Livable Space	12 ft	None
Front: To Door or Architectural Projections	10 ft	None
Interior Side	5 ft	None
Exterior Side	10 ft	None
Rear	15 ft	None
BUILDING DENSITY / INTENSITY		
Residential	0 du/ac	4 du/ac average
BUILDING HEIGHTS		
Residential	None	3 Stories and 35 Feet
* Within the planning area, a maximum of 60% of lots between 7,200 – 7,400 sf and a minimum of 40% of lots may be greater than 7,4000 sf.		
PARKING REQUIREMENTS		
The following parking requirements shall apply to new development within Planning Area 2-16.		
Type	Minimum # of Spaces	
Enclosed Garage	2.0 spaces / unit	
SPECIAL REQUIREMENTS		
The following requirements shall apply to new development within Planning Area 2-16.		
<ol style="list-style-type: none"> Comprehensive Planning: A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking. Trail: A 10-foot-wide decomposed trail is required along California Street. 		

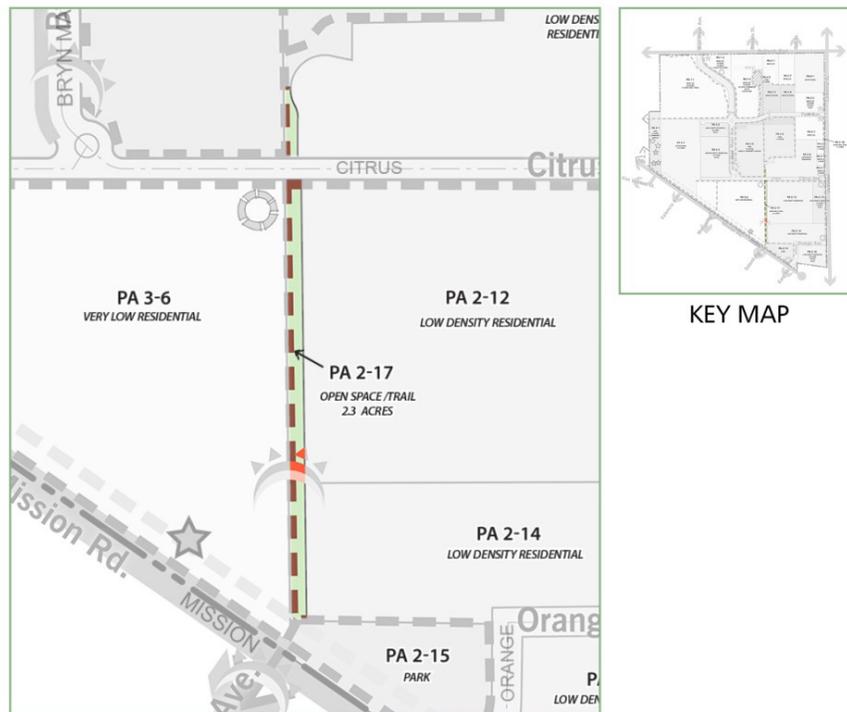
Planning Area 2-17: PASEO

PURPOSE AND INTENT

Planning Area 2-17 includes 2.3-acre of open space / trail (paseo), which varies in width from 27 to 40 feet, provides a pedestrian amenity and facilitates access between North Park and South Park. The Paseo is located along the western boundary of Planning Area 2-12 and Planning Area 2-14 and features a 10-foot wide meandering decomposed granite trail surrounded by evergreen canopy and accent trees. Picnic tables and exercise stations are sited along the Paseo, adding to the function of this community amenity. Interpretive signage educates users of the Paseo about the history of the local area.

DEVELOPMENT POTENTIAL SUMMARY

The 2.3 total acres in Planning Area 2-17 are limited to open space / trail use. No residential or non-residential development is allowed within this planning area.



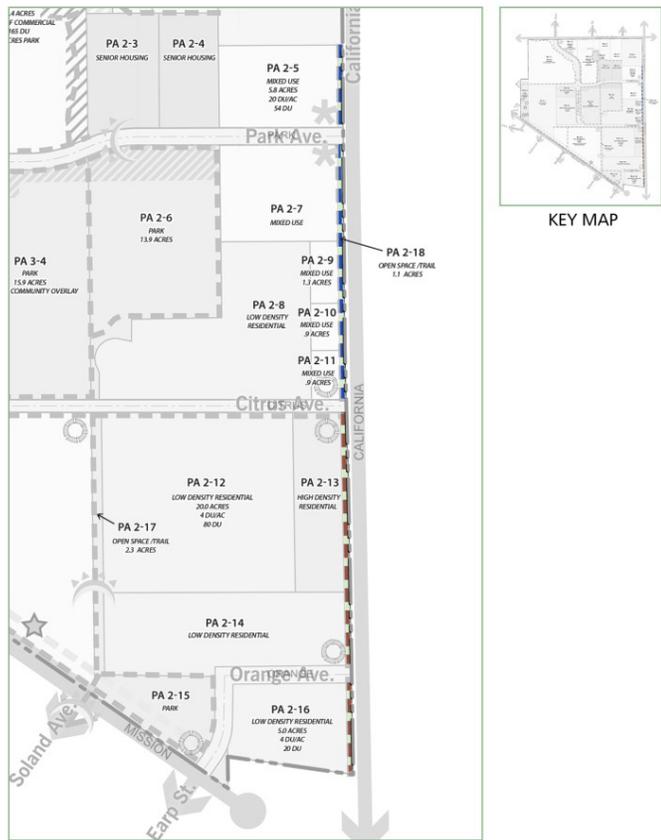
Planning Area 2-18: TRAIL

PURPOSE AND INTENT

Planning Area 2-18 includes 1.1-acres of open space / trail (paseo) along California Street. It provides a pedestrian amenity and facilitates access along the eastern boundary of the Specific Plan abutting Planning Area 2-5, Planning Area 2-7, Planning Area 2-9, Planning Area 2-10, Planning Area 2-11, Planning Area 2-13, Planning Area 2-14, Planning Area 2-16. The paseo features a 10-foot wide meandering decomposed granite trail, enhancing the public realm for adjacent development that includes mixed use development and high, and low density residential.

DEVELOPMENT POTENTIAL SUMMARY

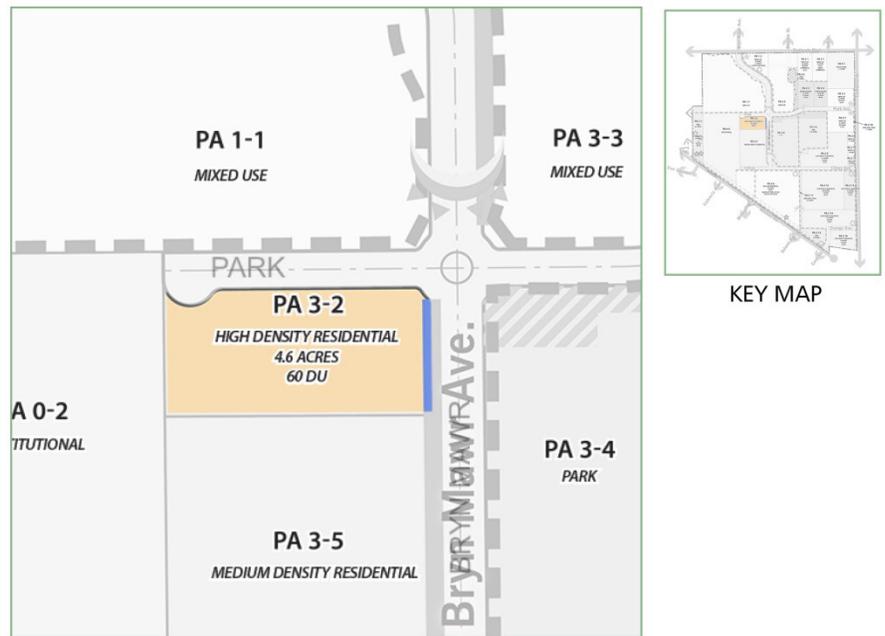
The 1.1 total acres in Planning Area 2-18 are limited to open space / trail use. No residential or non-residential development is allowed within this planning area.



Planning Area 3-1: PARK

PURPOSE AND INTENT

Planning Area 3-1 includes a total of 6.6 acres of park area located on the eastern edge of THE GROVES just north of Mission Road. The existing Heritage Park includes the existing historic land mark, provides a vista point, and serves as a connector between the Zanja Trail and SCE regional trail corridor. Further north, historic structures relocated to the site that will serve as an interpretive area and provide an office location for community-serving organization. To the north of the historic structures, Planning Area 3-1 should provide a designated-purpose park/recreation use, including the possibility of a nature center, educational outdoor amphitheater, archery center, community garden, or another use that is programmed for the use of small groups.



DEVELOPMENT POTENTIAL SUMMARY

The 6.6 total acres in Planning Area 3-1 are limited to open space / trail use. No residential or non-residential development is allowed within this planning area.

DEVELOPMENT STANDARDS

- The following development standards regulate the apply to the development of Planning Area 3-1.
- **Trail:** A trail should be provided on the northern edge of Planning Area 3-1 to provide an extension of the decomposed granite trail that extends from the northern side of Park Avenue. The trail will also connect to the SCE regional trail corridor. Citrus groves along the

Planning Area 3-1: PARK

north side of the trail should be used to provide privacy and buffer from existing homes.

- **Community Overlay:** A variety of community-serving uses including a fire station, community multi-purpose building/facility, concession areas or restaurants, and commercial recreation uses such as fitness studios and batting cages are allowed within the community overlay. This overlay provides an optional range of uses to be considered in the final design of the park.
- **Citrus Groves:** A variety of community-serving uses including a fire station, community multi-purpose building.
- **View Corridor:** Figure 4.1, *Community Structure Plan*, identifies a view corridor along the paseo in Planning Area 2-17 to provide a visual connection to the central park in Planning Area 3-4.
- **Parking:** A parking study shall be prepared to determine the total number of space and location based on the mix of activities in the final Park Plan.



Planning Area 3-2: HIGH DENSITY RESIDENTIAL		
PURPOSE AND INTENT		
<p>Planning Area 3-2 is envisioned as a residential neighborhood across from the central park on Bryn Mawr Avenue. It is also located adjacent to the future RUSD school site and just south of the VA Center. This designation allows for a variety of product types, including: walk-up townhomes, duplex or triplex units, courtyard and motor court products, and attached single-family housing ranging from 6 to 13 dwelling units per acre. Dwelling units are required to front or side-on to Bryn Mawr Avenue to take advantage of views to the park, create an attractive street edge, and to eliminate the possibility of a residential wall along Bryn Mawr Avenue. This site contains an easement for the extension of Park Avenue along the northern edge of the property. Park Avenue will enable access to the future school as well as the residential neighborhood.</p>		
DEVELOPMENT POTENTIAL SUMMARY		
<p>The 4.6 total acres in Planning Area 3-2 include the following:</p> <ul style="list-style-type: none"> • 60 dwelling units <p>No Non-residential development is allowed within this planning area.</p>		
DEVELOPMENT STANDARDS		
<p>The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.</p>		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size	None	None
Lot Width	None	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From Bryn Mawr Avenue	5 ft	10 ft
Private Street or Drive	10 ft	None
Building-to-Building Separation	Per California Building Code	
Abutting Off-Site One-Story Building	10 Ft	None
Abutting Off-Site Multi-Story Building	15 ft	None
BUILDING DENSITY / INTENSITY		
Residential	6 du/ac	13 du/ac
BUILDING HEIGHTS		
Residential	2 Stories	3 Stories and 35 feet

Planning Area 3-2: HIGH DENSITY RESIDENTIAL

FRONTAGE TYPE REQUIREMENTS

Frontage types address the design elements of the building's ground floor front façade and the area in front of it extending to the street. It is an essential element of urban design because it is the way a building relates to the sidewalk and either creates a walkable/welcoming environment, or not. All new development adjacent to a street with frontage requirements as shown in Figure 4.1, *Community Structure Plan*, shall have a primary building façade and entry from the identified street. These frontages dictate the relationship between the street (back of the right-of-way) and the façade of the ground-floor of the building (see Section 4.5.3, Building Design, for building frontage design guidelines). The following frontage types identify the distinct types of front facades that are permitted along Bryn Mawr Avenue. For streets where there is not a designated frontage (such as Park Avenue), all building sides abutting the public right-of-way shall require architectural treatment (see Section 4.5.3, Building Design).

Type	Permitted Frontage Types Along Bryn Mawr Avenue
Residential	Stoop, Terrace, Forecourt/Courtyard

OPEN SPACE AND LANDSCAPING REGULATIONS

The following open space and landscaping requirements shall apply to new development within Planning Area 3-2.

Type	Minimum
RESIDENTIAL USES	
Open Space	100 sf / unit

PARKING REQUIREMENTS

The following parking requirements shall apply to new development within Planning Area 3-2.

Type	Minimum # of Spaces
RESIDENTIAL USES	
Enclosed Garage	2.0 spaces / unit

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 3-2.

1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking.

Planning Area 3-3: MIXED USE

PURPOSE AND INTENT

Planning Area 3-3 is envisioned as an active living, shopping, dining, and recreational environment. The standards are intended to result in an interconnected network of streets and drives the promote walkability within and to adjacent planning areas. The internal “Main Street” is expected to contain many of the retail and restaurant uses in either a stand-alone or mixed-use configuration with residential above. Live-work and walk-up townhomes may also be incorporated onto “Main Street”. Design standards and guidelines have been developed to address how the individual buildings interact with the street and create an active, pedestrian-friendly environment.

This area also contains the Oak Woodland Overlay which requires preservation of a minimum of 3 acres of the existing oak trees. The Oak Woodland is expected to be incorporated into the design of any adjacent development project, with uses opening onto the open space area with a trail system as generally depicted in Figure 3.8. The final boundary of the Oak Woodland area shall include the necessary drainage area to ensure the health of the trees, as determined by an arborist. Improvements may include benches, picnic tables and additional native landscaping consistent with the coast oak woodland habitat.

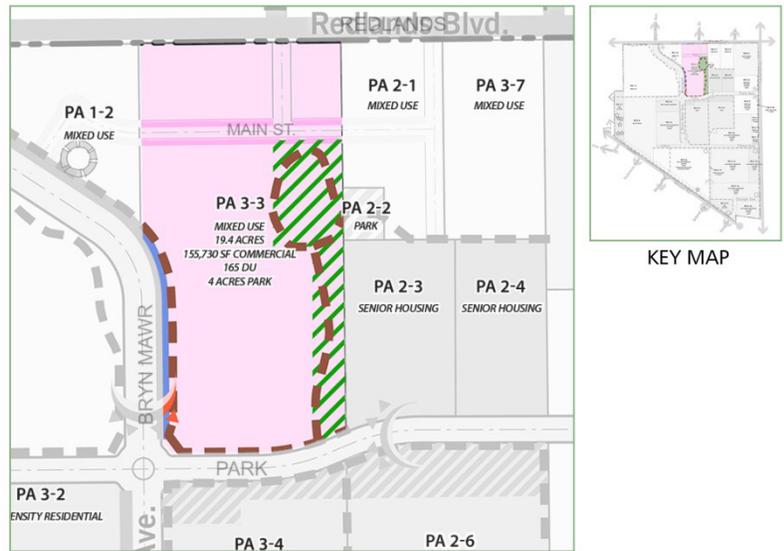
This area may also contain a public recreation/open space area that is an extension of the park south of Park Avenue.

DEVELOPMENT POTENTIAL SUMMARY

The 19.4 total acres in Planning Area 3-3 include the following.

- 165 dwelling units
- 175,000 square feet of commercial
- Oak Woodland Overlay: Minimum 3 acres dedicated with a public easement
- Public Open Space: Minimum 1 acre to be focused along Park Avenue and connected to the Oak Woodland Overlay.

Planning Area 3-3: MIXED USE



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.

Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size	None	None
Lot Width	35 ft	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From Bryn Mawr Avenue – Commercial	5 ft	20 ft
From Bryn Mawr Avenue – Residential	10 ft	20 ft
From Redlands Boulevard – Residential & Commercial	10 ft	20 ft
From “Main Street” - Commercial	0 ft	15 ft
From “Main Street” - Residential	5 ft	15 ft
From Rhonda Street - Commercial	0 ft	15 ft
From Rhonda Street – Residential	10 ft	15 ft
From Park Avenue – Commercial, Residential, Open Space	10 ft	20 ft
Private Drive or Street	5ft	None
Abutting Off-Site One-Story Building	10 ft	None

Planning Area 3-3: MIXED USE		
Abutting Off-Site Multi-Story Building	20 ft	None
Abutting Park/Open Space	5 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	.3 FAR	.5 FAR
Residential	20 du/ac average	20 du/ac average
Senior Housing	25 du/ac average	25 du/ac average
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 ft
Residential	2 stories	3 Stories and 35 ft
FRONTAGE TYPE REQUIREMENTS		
<p>Frontage types address the design elements of the building’s ground floor front façade and the area in front of it extending to the street. It is an essential element of urban design because it is the way a building relates to the sidewalk and either creates a walkable/welcoming environment, or not.</p> <p>All new development within Planning Area 3-3 adjacent to “Main Street” and Bryn Mawr Avenue should have a primary building façade and entry from the identified street. These frontages dictate the relationship between the street (back of the right-of-way) and the façade of the ground-floor of the building (see Section 4.5.4, Building Design, for building frontage design guidelines). The following frontage types identify the distinct types of front facades that are recommended along “Main Street” and Bryn Mawr Avenue. For streets where there is not a designated frontage, all building sides abutting the public right-of-way shall require architectural treatment (see Section 4.5.4, Building Design).</p>		
Type	Permitted Frontage Types Along “Main Street”	Permitted Frontage Types Along Bryn Mawr Avenue
Ground Floor Residential	Stoop, Terrace, Forecourt/Courtyard	Stoop, Terrace, Forecourt/Courtyard, Porch, Yard
Ground Floor Commercial	Shopfront, Forecourt, Gallery/Arcade	Shopfront, Forecourt, Gallery/Arcade
OPEN SPACE AND LANDSCAPING REGULATIONS		
<p>The following open space and landscaping requirements shall apply to new development within Planning Area 3-3.</p> <ol style="list-style-type: none"> Coast Live Oak Woodland Area: The boundary of the oak woodland area should contain the priority trees and the drip line area identified by an arborist or licensed landscape 		

Planning Area 3-3: MIXED USE

architect. A detailed plan showing all improvements, including trails, fencing, other amenities shall be prepared by a licensed landscape architect and approved by the City.

2. **Non-Residential Uses:** For ground-floor commercial or live/work units, up to 80% of the setback area may be paved.
3. **Development Adjacent to Park/Open Space:** Landscaping within setback areas of private development adjacent to the Oak Woodland or public park should be designed to maximize views to the open space amenity. The landscape palette should be sensitive to the natural habitat or park landscaping.

Type	Minimum
NON-RESIDENTIAL USES	
Open Space	25% of lot not covered by a building or parking shall be useable open space.
RESIDENTIAL USES	
Private Open Space	50 sf / unit
Common Open Space	50 sf / unit

PARKING REQUIREMENTS

The following parking requirements shall apply to new development within Planning Area 3-3.

Type	Minimum # of Spaces
RESIDENTIAL USES	
Studio Unit	1.0 space / unit
One-Bedroom Unit	1.5 spaces / unit
Two-Bedroom Unit or Larger	2.0 spaces / unit 0.5 spaces for each bedroom over 2 bedrooms
Guest Parking	0.5 spaces / unit
NON-RESIDENTIAL USES	
Uses < 3,000 sf	1.6 spaces / 1,000 sf

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 3-3.

1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and

Planning Area 3-3: MIXED USE

parking.

2. **View Corridor:** Figure 4.1, *Community Structure Plan*, identifies a view corridor at Park Avenue and Bryn Mawr Avenue. People traveling south on Bryn Mawr will have an opportunity to view the large central park and amenities associated with Planning Area 3-4 and Planning Area 2-6. Future development within Planning Area 3-3 shall provide a view window at the north-east corner of Park Avenue and Bryn Mawr. This can be accomplished through the arrangement of buildings, a corner cut-off, a public plaza or landscape treatment at the corner. In addition, development along Park Avenue should include breaks in the building walls so that Main Street is visible from the public right of way on Park Avenue.
3. **"Main Street":** "Main Street" shall be designed to connect to Planning Area 1-2 and Planning Area 2-1.
4. **Primary Shared Access:** The primary access point to Planning Area 3-3 from Redlands Boulevard shall be at Rhonda Street. This roadway shall be a shared access road with Planning Area 1-2 and Planning Area 2-1.
5. **Trail:** The existing trail in Planning Area 1-2 shall be extended along Bryn Mawr Avenue and interest with the trail planned for Park Avenue.
6. **Reciprocal Pedestrian Access:** Reciprocal pedestrian access should be provided between Planning Area 3-2 and Planning Area 3-5 as shown in Figure 4.1, *Community Structure Plan*.



Planning Area 3-4: PARK

PURPOSE AND INTENT

In contrast to the emphasis on structured sports in North Park, the 15.9-acre Central Park is intended for multi-purpose areas for family picnics, tot lots, community fairs (arts/crafts, food festivals, etc.), annual concerts in the park, farmer's market, biking and walking. The development of North Park is expected to occur prior to Central Park, therefore Central park should be designed and programmed in coordination with North Park in terms of shared parking, access between the two parks, and activities. At build-out, the two parks should function as one integrated community park. Figure 3.6, *Conceptual Central Park Plan*, identified a preferred solution for shared parking, and a layout of multipurpose fields, trails, and other uses that complement the conceptual plan for North Park.

Like North Park, Figure 3.1, *Land Use Plan*, shows a Community Use Overlay which allows for a variety of community-serving uses including a fire station, community multi-purpose building/facility, small Amphitheatre, concession areas or restaurants. This overlay provides an optional range of uses to be considered in the final design of the park.

Central Park may also be designed to accommodate storm water drainage from development within THE GROVES so that individual projects will not have to incorporate detention basins on-site (see Section 3.6 Grading, Drainage and Water Quality). This may be in the form of a permanent lake that is designed to handle annual run-off, or in the form of detention basin that also includes non-structural park uses, or even in the form of an improved drainage channel that winds through the park and incorporates trails and landscaping. Figures 3.6 below represent two alternative approaches to the design of Central Park based on the alternatives detention area options.

DEVELOPMENT POTENTIAL SUMMARY

The 15.9 total acres in Planning Area 3-4 have a development potential for public open space with additional uses allowed within the Community Overlay.



Planning Area 3-4: PARK



SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 3-4.

1. **Community Overlay:** A variety of community-serving uses including a fire station, community multi-purpose building/facility, concession areas or restaurants, and commercial recreation uses such as fitness studios and batting cages are allowed within the community overlay. This overlay provides an optional range of uses to be considered in the final design of the park.
2. **Parking and Access:** A parking study shall be prepared to determine the total number of space and location based on the mix of activities in the final Park Plan. Parking and access for Planning Area 3-4 shall be shared with Planning Area 2-6. Parking along the streets may account toward meeting the parking requirement.
3. **Stormwater Management:** Any required stormwater management facilities such as stormwater detention basins, should be integrated as functioning portions of the park that provide recreational amenities.
4. **Buffer on Citrus Ave:** Uses along Citrus Avenue should have a lower-intensity than other uses planned in Planning Area 3-4 to minimize adverse impacts to adjacent residential areas.

Planning Area 3-5: MEDIUM DENSITY RESIDENTIAL

PURPOSE AND INTENT

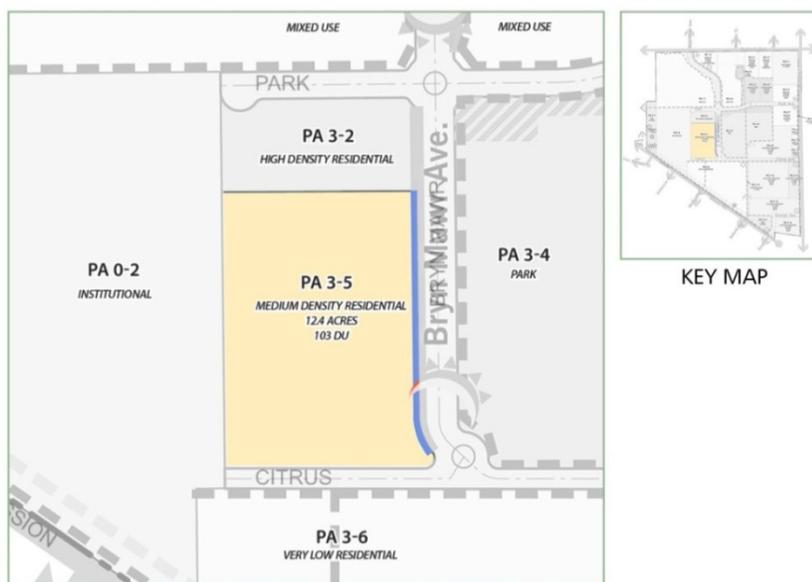
Planning Area 3-5 is envisioned as a residential neighborhood across from the central park on Bryn Mawr Avenue. It is also located adjacent to the future RUSD school site. This designation allows for a variety of product types, including: walk-up townhomes, duplex or triplex units, courtyard and motor court products, and attached single-family housing up to 9 dwelling units per acre. Dwelling units are required to front or side-on to Bryn Mawr Avenue to take advantage of views to the park, create an attractive street edge, and to eliminate the possibility of a residential wall along Bryn Mawr Avenue. This site contains an easement for the extension of Citrus Avenue along the southern edge of the property. Citrus Avenue will enable access to the future school as well as the residential neighborhood.

DEVELOPMENT POTENTIAL SUMMARY

The 12.4 total acres in Planning Area 3-5 include the following:

- 103 dwelling units

No Non-residential development is allowed within this planning area.



DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements.

Planning Area 3-5: MEDIUM DENSITY RESIDENTIAL		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size	None	None
Lot Width	None	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From Bryn Mawr Avenue	5 ft	10 ft
Private Street or Drive	10 ft	None
Building-to-Building Separation	Per California Building Code	
Abutting Off-Site One-Story Building	10 Ft	None
Abutting Off-Site Multi-Story Building	15 ft	None
BUILDING DENSITY / INTENSITY		
Residential	0 du/ac	7.5 du/ac
BUILDING HEIGHTS		
Residential	2 Stories	3 Stories and 35 feet
FRONTAGE TYPE REQUIREMENTS		
<p>Frontage types address the design elements of the building’s ground floor front façade and the area in front of it extending to the street. It is an essential element of urban design because it is the way a building relates to the sidewalk and either creates a walkable/welcoming environment, or not. All new development adjacent to a street with frontage requirements as shown in Figure 4.1, <i>Community Structure Plan</i>, shall have a primary building façade and entry from the identified street. These frontages dictate the relationship between the street (back of the right-of-way) and the façade of the ground-floor of the building (see Section 4.5.3, Building Design, for building frontage design guidelines). The following frontage types in Table 4.52 identify the distinct types of front facades that are permitted along Bryn Mawr Avenue and the internal “Main Street”. For streets where there is not a designated frontage (such as Redlands Boulevard), all building sides abutting the public right-of-way shall require architectural treatment (see Section 4.5.3, Building Design).</p>		
Type	Permitted Frontage Types Along Bryn Mawr Avenue	
Residential	Stoop, Terrace, Forecourt/Courtyard	
OPEN SPACE AND LANDSCAPING REGULATIONS		
<p>The following open space and landscaping requirements shall apply to new development within Planning Area 3-5.</p>		

Planning Area 3-5: MEDIUM DENSITY RESIDENTIAL	
Type	Minimum
RESIDENTIAL USES	
Open Space	100 sf / unit
PARKING REQUIREMENTS	
The following parking requirements shall apply to new development within Planning Area 3-5.	
Type	Minimum # of Spaces
RESIDENTIAL USES	
Studio Unit	1.0 space / unit
One-Bedroom Unit	1.5 spaces / unit
Two-Bedroom Unit or Larger	2.0 spaces / unit 0.5 spaces for each bedroom over 2 bedrooms
Guest Parking	0.5 spaces / unit
NON-RESIDENTIAL USES	
Uses < 3,000 sf	1.6 spaces / 1,000 sf
SPECIAL REQUIREMENTS	
The following requirements shall apply to new development within Planning Area 3-5.	
<ol style="list-style-type: none"> 1. Comprehensive Planning: A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking. 2. Reciprocal Pedestrian Access: Reciprocal pedestrian access should be provided between Planning Area 3-2 and Planning Area 3-5 as shown in Figure 4.1, <i>Community Structure Plan</i>. 3. Ground Level Open Space: Any open space provided within Planning Area 3-5 should be common open space. 	

Planning Area 3-6: VERY LOW DENSITY RESIDENTIAL

PURPOSE AND INTENT

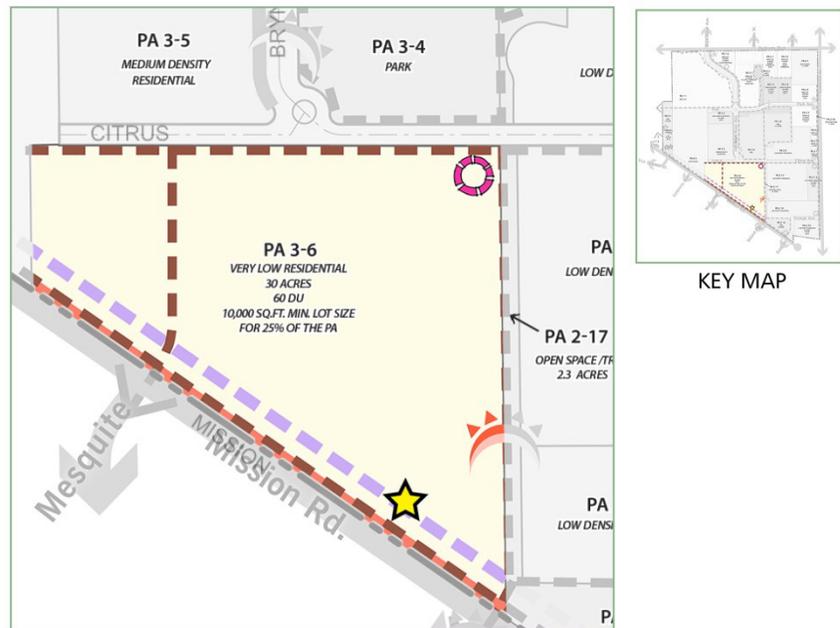
Planning Area 3-6 is envisioned as a residential neighborhood of large estates located along Mission Road and south of Citrus Avenue. It's location and size provide an opportunity to create a secluded enclave of custom and semi-custom homes on large lots ranging from 10,000 square feet to a half-acre and larger. This 29-acre area serves a unique residential demand in Loma Linda, a location for doctors and other professionals to live and work in the community. Lot configurations should vary so that a more "rural" environment is created. Internal roads may be private streets and drives. Access into Planning Area 3-6 shall primarily be from Citrus Avenue. However, new estates along Mission Road are required to front onto Mission Road, similar to the cluster of existing homes within this area. No through access from Mission Road is allowed through Planning Area 3-6. Other special requirements for Planning Area 3-6 include monumentation and trail connections, as defined below.

DEVELOPMENT POTENTIAL SUMMARY

The 29.3 total acres in Planning Area 3-6 include the following:

- 60 dwelling units

Non-residential development is not allowed within this planning area.



Planning Area 3-6: VERY LOW DENSITY RESIDENTIAL

DEVELOPMENT STANDARDS

The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements. See Section 4.4.31 for certain deviations from building setbacks, building height, and the floor-area-ratio (FAR) standards shown below.

Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size*	10,000 sf	1 acre
BUILDING LOT COVERAGE		
Lots less than or equal to 15,000 sf	None	40%
Lots between 15,001 sf and 30,000 sf	None	30%
Lots greater than 30,000 sf	None	25%
SETBACK REQUIREMENTS		
From Mission Avenue	30 ft	None
From Citrus Avenue	30 ft	None
From Private Street or Drive	10 ft	None
From Paseo	25 ft	None
From: Future School	20 ft	None
Building-to-Building Separation	40 ft	None
BUILDING HEIGHTS		
Residential	None	3 Stories and 35 Feet

* No more than 25% of the total lots shall be 15,000 sf or less; and no more than 25% of the total lots shall be 40,000 sf or more

PARKING REQUIREMENTS

The following parking requirements shall apply to new development within Planning Area 3-6.

Type	Minimum # of Spaces
RESIDENTIAL USES	
Enclosed Garage	2.0 spaces / unit
Additional Parking for Additional Bedrooms After 2	0.5 spaces / bedroom

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 3-6.

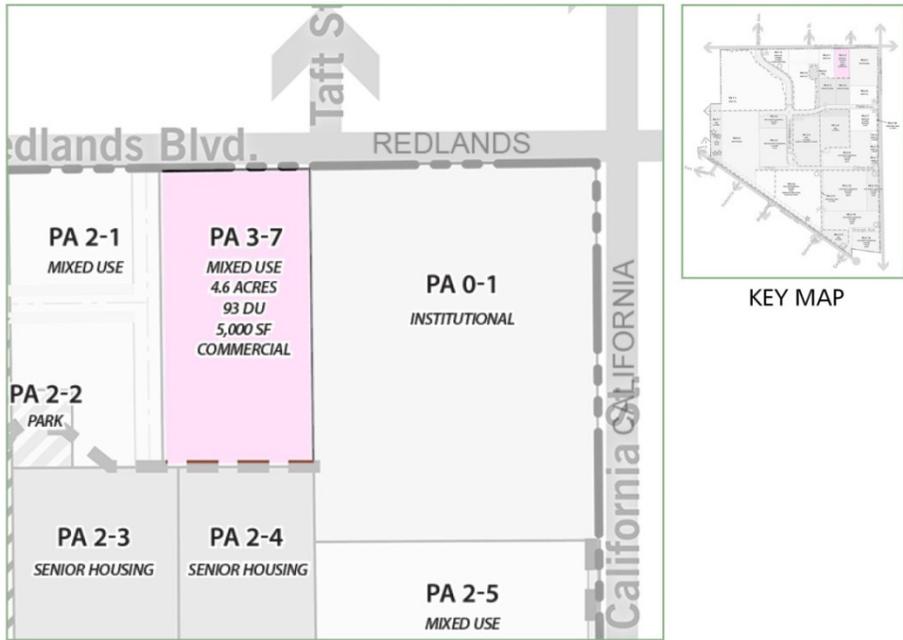
1. **Comprehensive Planning:** A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location,

Planning Area 3-6: VERY LOW DENSITY RESIDENTIAL

height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking.

2. **Non-Vehicular Access:** A walking trail with a minimum width of 10 feet should be provided in the following locations: Mission Road, Citrus Avenue, and through the planning area starting at Mesquite and Mission Road. The trail through the planning area may be designed to follow internal drives or roads, as well as configured as a paseo.
3. **Entry Monumentation:** As shown in Figure 4.1, *Community Structure Plan*, the planning area will contain special monumentation to denote the estate neighborhood. The final location of this monumentation is flexible. It could be located at a primary entry off Citrus Avenue or at the east corner of the planning area. The purpose is to brand this special residential neighborhood.
4. **Historic Preservation:** There is an existing historic structure within this planning area. This structure may remain in place as a residence. If this structure is to be removed, it must be relocated.



Planning Area 3-7: MIXED USE	
PURPOSE AND INTENT	
<p>Planning Area 3-7 contains an existing RV Park and small restaurant along Redlands Boulevard. It is adjacent to Mission Elementary School and within a 5-minute walk of the future Redlands light rail station on California Street. In the future, this area may be redeveloped with higher density residential such as courtyard housing, townhomes, triplexes and other multifamily housing types. Restaurants and retail uses may be located along Redlands Boulevard. Access to Planning Area 3-7 from inside THE GROVES will be from the extension of "Main Street" and from a shared drive that serves the Senior Housing located to the south in Planning Area 2-4. Access from Redlands Boulevard will be from a shared access road with Planning Area 2-1. The standards are intended to create a high-quality residential project that provides convenient pedestrian connections to "Main Street" for shopping and dining, as well as Redlands Boulevard and the future transit station. Planning Area 3-7 must also provide for a trail along the southern boundary (see Section X for dedication requirements) that connects to the elementary school and the trail connecting to the Oak Woodlands and central park.</p>	
DEVELOPMENT POTENTIAL SUMMARY	
<p>The 4.6 total acres in Planning Area 3-7 include the following:</p> <ul style="list-style-type: none"> • 93 dwelling units • 5,000 square feet of commercial. 	
	

Planning Area 3-7: MIXED USE		
DEVELOPMENT STANDARDS		
<p>The following development standards regulate new site and building development by establishing standards for intensity, density, building height, open space, and other elements. See Section 4.4.31 for certain deviations from building setbacks, building height, and the floor-area-ratio (FAR) standards shown below.</p>		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size – Nonresidential	None	None
Lot Width	35 ft	None
Building Lot Coverage	None	None
SETBACK REQUIREMENTS		
From Redlands Boulevard–Commercial & Residential	10 ft	20 ft
From Private Street or Drive	5 ft	None
From Adjacent Off-Site One-Story Building	10 ft	None
From Elementary School	20 ft	None
From Park/Open Space	5 ft	None
BUILDING DENSITY/INTENSITY		
Non-Residential	0.3 FAR	0.5 FAR
Residential	20 du/ac average	20 du/ac average
Senior Housing	25 du/ac average	25 du/ac average
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 Feet
Residential	2 stories	3 Stories and 35 Feet
OPEN SPACE AND LANDSCAPING REGULATIONS		
<p>The following open space and landscape requirement shall apply to new development within Planning Area 3-7.</p> <ol style="list-style-type: none"> For ground-floor commercial, office, or live/work units, up to 80% of the setback area may be paved. 		
Type	Minimum	
NON-RESIDENTIAL USES	25% of lot not covered by building or parking shall be useable open space (e.g., public plazas, seating nodes, outdoor dining, pedestrian pathways).	
RESIDENTIAL USES		
Private Open Space	50 sf / unit	

Planning Area 3-7: MIXED USE	
Common Open Space	50 sf / unit
PARKING REQUIREMENTS	
The following parking requirements shown in Table 4.59 shall apply to new development within Planning Area 3-7.	
Type	Minimum # of Spaces
RESIDENTIAL USES	
Studio Unit	1.0 space / unit
One-Bedroom Unit	1.5 spaces / unit
Two-Bedroom Unit or Larger	2.0 spaces / unit
Guest Parking	0.5 spaces / unit
NON-RESIDENTIAL USES	
Uses < 3,000 sf	1.6 spaces / 1,000 sf
Uses > 3,000 sf	5 spaces / 1,000 sf
BICYCLE RACKS	1 space / 25 required parking spaces with a minimum of 1 space / commercial tenant space
SPECIAL REQUIREMENTS	
The following requirements shall apply to new development within Planning Area 3-7.	
<ol style="list-style-type: none"> 1. Comprehensive Planning: A conceptual plan and/or tentative map of the entire planning area shall be prepared as part of any development application to demonstrate the location, height, of proposed buildings, public space, landscaping, public rights-of-way, access, and parking. 2. Minimum Number of Uses: A minimum of 3 separate uses of the use types listed in Table 3.3 shall be included in Planning Area 3-7. 3. "Main Street": "Main Street" will provide convenient access to the commercial, retail and other activities within THE GROVES. However, the extension of "Main Street" into Planning Area 3-7 may be flexible in terms of the alignment and how it serves the residential project. It may also function as a private drive, but must allow for convenient pedestrian access in and out of the project. 4. Non-Vehicular Access: A walking trail with a minimum width of 10 is required along the southern border of the planning area. The first site to be developed (either Planning Area 3-7 or Planning Area 2-4) will be required to provide the trail, unless an agreement is reached between both property owners to locate the trail on the boundary between both properties. The connection of the trail with a gate at the school property must be coordinated with RUSD. 	

Planning Area 3-7: MIXED USE

5. **Reciprocal Access:** Reciprocal internal access is encouraged between Planning Area 3-7 and Planning Area 2-1 to minimize the number of access points from Redlands Boulevard.



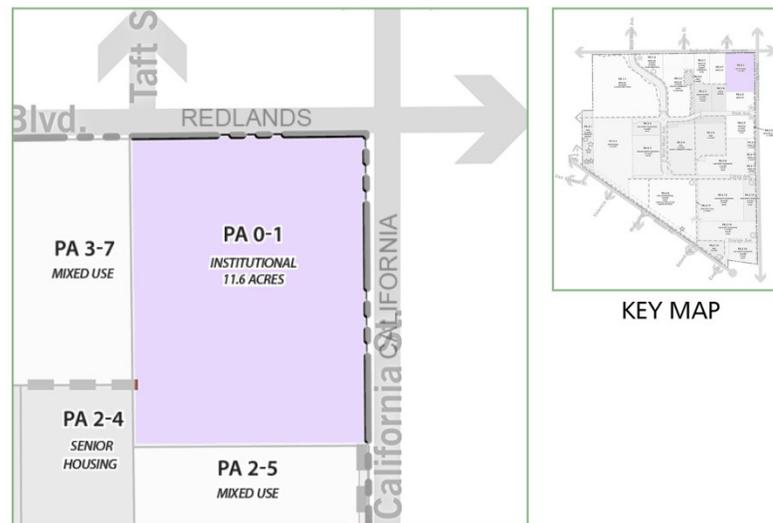
Planning Area 0-1: INSTITUTIONAL

PURPOSE AND INTENT

Planning Area 0-1 includes the existing Mission Elementary School located near the intersection of Redlands Boulevard and California Street. Although it is assumed that Mission Elementary School will remain over the long-term, development standards are also provided to guide any potential future reuse if it is ever proposed. Other standards, guidelines, and recommendations are provided for Planning Area 0-1 to ensure that the school is appropriately integrated with any new development nearby. Note that other planning areas that surround Planning Area 0-1 have specific requirements that address adjacency, compatibility, and access to provide special standards for development adjacent to the school.

DEVELOPMENT POTENTIAL SUMMARY

No development potential for the 11.6 acres of Planning Area 0-1 is incorporated within this Specific Plan. Any future development will require a Specific Plan Amendment and an update to the applicable development standards and design guidelines. A Specific Plan Amendment will also require a separate environmental review because potential future development in Planning Area 0-1 is not included in this Specific Plan or the associated EIR.



DEVELOPMENT STANDARDS

Although Mission Elementary School is owned by Redlands Unified School District and may not be subject to the requirements of this Specific Plan, limited development standards and design guidelines are provided to serve as recommendations for future development and improvements. Planning Area 0-1 is designated as Institutional. If a use other than Institutional is ever proposed, Planning Area 0-1 will have a default land use of Mixed Use.

Development standards regulate new development by establishing standards that control site

Planning Area 0-1: INSTITUTIONAL		
<p>configuration (i.e., lot size and setbacks from adjacent streets and uses), and building form (i.e., density and intensity, and building heights). Development standards based on the Institutional-Health Care (I-HC) designation in the Loma Linda Zoning Code (Municipal Code 17.44.040) are applied to Planning Area 0-1 as shown in Table 4-1. See Section 4.4.31 for certain deviations from building setbacks, building height, and the floor-area-ratio (FAR) standards shown below.</p>		
Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size	None	None
Lot Width	100 ft	None
Building Lot Coverage	50%	None
SETBACK REQUIREMENTS		
From California St. or Redlands Blvd.	25 ft	None
Front	25 ft	None
Side - Abutting Parcel Zoned for Residential	2 ft	None
Side - Abutting Parcel Zoned for Non-Residential	10 ft	None
Side – Abutting Street	25 ft	None
Rear - Abutting Parcel Zoned for Residential	20 ft	None
Rear - Abutting Parcel Zoned for Non-Residential	10 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	None	.5 FAR
BUILDING HEIGHTS		
Non-Residential	None	3 Stories
SPECIAL REQUIREMENTS		
<p>The following requirements shall apply to new development within Planning Area 0-1.</p> <ol style="list-style-type: none"> 1. Vehicular Access: Secondary access to Planning Area 0-1 should be provided via Park Avenue to reduce potential turning movement and safety conflicts at the entrances to Mission Elementary School along California Street. To provide secondary access to Planning Area 0-1, coordination is encouraged as part of any proposed development in Planning Area 2-5. 2. Non-Vehicular Access: Connections should be providing to trails and sidewalks in Planning Area 3-7 and Planning Area 2-4 to allow non-vehicular access to and from Planning Area 0-1. 3. Adaptive Reuse: Any future development shall include adaptive reuse of any historic structures on the site. 		

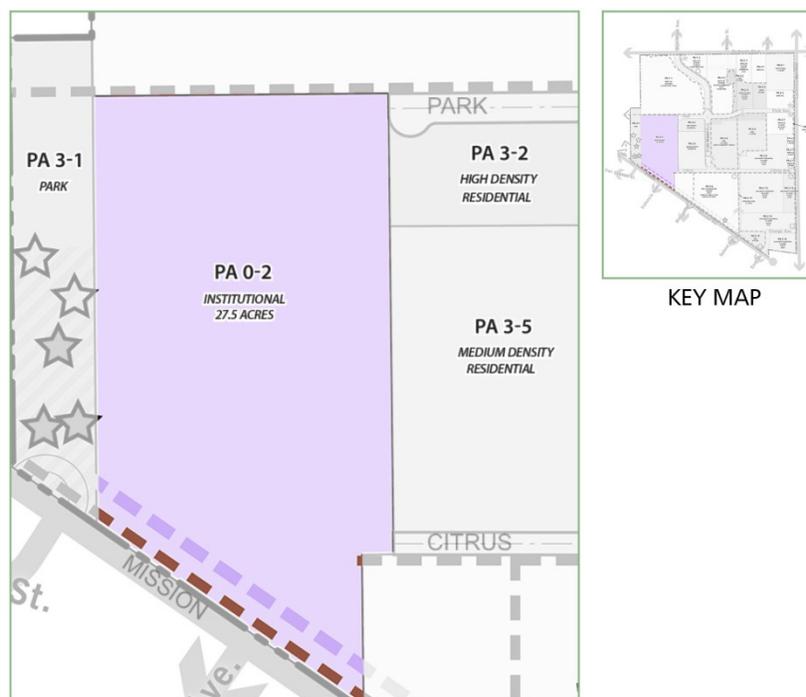
Planning Area 0-2: INSTITUTIONAL

PURPOSE AND INTENT

Planning Area 0-2 is located along Mission Road and is owned by Redlands Unified School District. It is assumed that a future school is planned for the site, and future development may not be subject to the requirements of this Specific Plan. Limited development standards and design guidelines are provided to serve as recommendations for future development and improvements. Other standards, guidelines, and recommendations are provided for Planning Area 0-2 to ensure that the school is appropriately integrated with any new development nearby. Note that other planning areas that surround Planning Area 0-2 have specific requirements that address adjacency, compatibility, and access to provide special standards for development adjacent to the school.

DEVELOPMENT POTENTIAL SUMMARY

No development potential for the 27.5 acres of Planning Area 0-2 is incorporated within this Specific Plan. Any future development will require a Specific Plan Amendment and an update to the applicable development standards and design guidelines. A Specific Plan Amendment will also require a separate environmental review because potential future uses in Planning Area 0-2 are not included in this Specific Plan or the associated EIR.



Planning Area 0-2: INSTITUTIONAL

DEVELOPMENT STANDARDS

Although Planning Area 0-2 is owned by Redlands Unified School District and may not be subject to the requirements of this Specific Plan, limited development standards and design guidelines are provided to serve as recommendations for future development and improvements. Planning Area 0-2 is designated as Institutional. If a use other than Institutional is ever proposed, Planning Area 0-2 will have a default land use of Low Density Residential.

Development standards regulate new development by establishing standards that control site configuration (i.e., lot size and setbacks from adjacent streets and uses), and building form (i.e., density and intensity, and building heights). Development standards based on the Institutional-Health Care (I-HC) designation in the Loma Linda Zoning Code (Municipal Code 17.44.040) are applied to Planning Area 0-2 as shown in Table 4-2. See Section 4.4.31 for certain deviations from building setbacks, building height, and the floor-area-ratio (FAR) standards shown below.

Type	Minimum	Maximum
SITE CONFIGURATION REQUIREMENTS		
Lot Size	None	None
Lot Width	100 ft	None
Building Lot Coverage	50%	None
SETBACK REQUIREMENTS		
From Mission Rd.	25 ft	None
Front	25 ft	None
Side - Abutting Parcel Zoned for Residential	2 ft	None
Side - Abutting Parcel Zoned for Non-Residential	10 ft	None
Side - Abutting Street	25 ft	None
Rear - Abutting Parcel Zoned for Residential	20 ft	None
Rear - Abutting Parcel Zoned for Non-Residential	10 ft	None
BUILDING DENSITY / INTENSITY		
Non-Residential	None	.5 FAR
BUILDING HEIGHTS		
Non-Residential	None	3 Stories and 35 Feet

SPECIAL REQUIREMENTS

The following requirements shall apply to new development within Planning Area 0-1.

1. **Vehicular Access:** Vehicular access to Planning Area 0-2 is encouraged from both Park Avenue and Citrus Avenue.

4.5 - DESIGN GUIDELINES

4.5.1 - Introduction

4.4.1(a) - Overall Design Theme for THE GROVES

Design will play a crucial role in implementing the Vision for THE GROVES at Loma Linda. The layout of blocks, site design, architectural character, outdoor spaces, landscaping, and views will contribute to the overall sense of place that will be uniquely THE GROVES. The design guidelines draw inspiration from the rich heritage of Loma Linda, consistent with the Historic Mission Overlay District ordinance adopted by the City. The architectural and landscape design guidelines are influenced by historic uses in the project area including a Mission storehouse, a Native American village, a Mexican rancho, Mormon settlements, and early citrus farming. Construction of the Mill Creek Zanja irrigation ditch, completed in 1820, was fundamental to initiating development and agriculture in the area surrounding what will soon be THE GROVES community.

The single-family and multi-family residential neighborhoods will feature a complementary mix of modern interpretations of the historical architectural styles typical of the Loma Linda community, including Mediterranean Revival, Craftsman, Prairie, Monterey, and Italianate architecture. These styles are echoed in the Mixed Use and Non-Residential guidelines, in addition to other commercial styles including Art Deco, Streamline Moderne, and Googie style architecture. The community theme for THE GROVES is further expressed through the landscape elements, which include entry monumentation that identifies the Historic Mission District and parks that are designed to include historic references.

Working in concert, Building Design Guidelines and the Landscape Design Guidelines will create an overall thematic design that embraces and reflects the historic character of Loma Linda and ensures a quality community. The Site Design Guidelines will further guide the layout of Planning Areas and how uses should work together to create great places within THE GROVES.

4.4.1(b) - Purpose and Intent

The Design Guidelines are intended to provide:

- Direction to developers, builders, engineers, architects and landscape architects for the design of precise development plans;
- Guidance for city decision-makers in reviewing and approving future projects;
- Consistency in expression among architectural and landscape architectural components as projects develop incrementally overtime;
- Consistency with the Historic Mission Overlay District;
- Reasonable flexibility in the final design of homes, non-residential uses, and parks;
- Direction for building placement and orientation to shape the character of the area and ensure visually interesting, active streets for pedestrians and bicyclists;

- Be responsive to community values for development and the elements that create community: trails, parks, outdoor gathering areas, and preservation of natural and historic resources; and
- A strong sense of community identity through the design of public spaces, streetscape treatments, and entry monumentation, which work in concert with the building architecture.

4.5.2 - Site Design

The layout of buildings, entries, parking lot or garages, open spaces, and pedestrian and vehicular circulation within a site or Planning Area strongly influences the quality of the environment and desirability of the place to either live, work, shop, dine, relax or play. The following guidelines shall apply in the layout of a large site or Planning Area.

4.5.2(a) - Block Structure and Access

Within each Planning Area, a new system of roads and/or private drives will be designed to support the planned development and provide connectivity to the backbone arterial system. This road/private drive network will result in a block structure that influences interconnectivity, walkability, and building types that can be developed. As future Planning Areas are subdivided into blocks, it is the City's objective to achieve:

- An interconnected network of streets composed of smaller blocks that create a walkable grid pattern. The Very-Low Density designation is an exception to this guideline.
- Longer blocks should incorporate pedestrian pass-throughs or paseos.
- Vehicular access to each site must be designed to minimize conflicts between pedestrians, cyclists, autos, and service vehicles. Entrance and exit points should be well marked with streetscape and landscape features.
- Where new streets cross pedestrian and bicycle paths, high visibility crosswalks should be provided.

4.5.2(b) - Building Placement and Orientation

Building placement and orientation have a large impact on the way people experience a site in terms of comfort, feeling of safety, views, and exposure to wind and sun movements. Visually interesting buildings that are oriented to the street shape the area's character as well as the visitor's experience. For commercial and mixed-use development, placing buildings closer to the public street edge, and placing most of active ground floor uses on the same frontage all contribute to making the public street more inviting to pedestrians.

- Buildings should have a strong presence and encourage activity along the street frontage. Significant elements, such as clearly defined public entrances, should relate to the pedestrian scale.
- Certain Planning Areas have street frontage requirements (see Figure 4.1, Community Structure Plan) and buildings should comply with the frontage type requirements defined in

the applicable Planning Area (see Section 4.4 Development Standards). Furthermore, the design of frontage should follow the guidelines provided for each frontage type in Section 4.5.3 and 4.5.4, Building Design Guidelines.

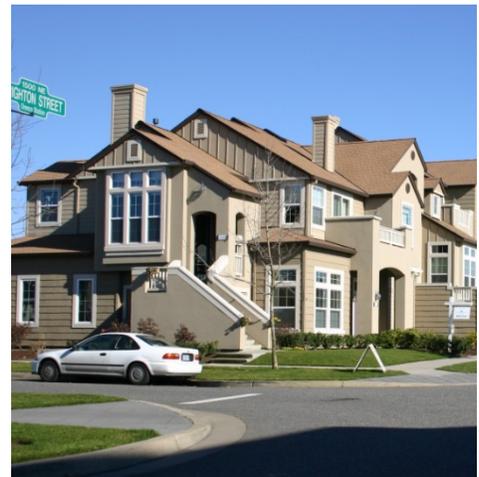
- Where possible, buildings should be sited to capitalize on views of the mountains, parks, and other open space features, especially where view corridors are required as shown in Figure 4.1, Community Structure Plan.
- Buildings should be oriented for energy efficiency (e.g., capture day lighting, minimize heat gain, take advantage of prevailing breezes for natural ventilation).
- Plazas or outdoor common areas within a project should be located near building entrances or areas of high pedestrian traffic to ensure their use.
- Building entries shall face the street and provide direct access from the sidewalk. For larger sites with multiple buildings, building entries may be oriented to face plazas, open spaces, and pedestrian pathways.
- Multiple buildings on the same site should be designed and grouped to provide a cohesive, visual relationship among the buildings, with a well-connected system of pedestrian walkways, plazas, and other open space features.
- For single-family residential, variation in front setbacks is strongly encouraged to create variety and interest along the street.

4.5.3 - Building Design Guidelines for Residential

4.5.3(a) - Mix Requirements for Elevations and Floor Plans

To encourage a diverse and visually interesting street scene, single-family neighborhoods within THE GROVES community shall comply with the following plotting requirements:

- Neither the same floor plan nor the same elevation style shall be plotted next to itself or directly across the street from itself. "Directly across the street" shall be defined as more than half of the narrower lot overlapping with the wider lot across the street.
- Single-story or recessed living area elements shall be placed on street corners.
- No two homes shall be exactly alike in the very low density planning area.



4.5.3(b) - Garage Placement and Design

Single-family residential structures within THE GROVES community shall pay particular attention to the design, placement, and orientation of the garages on the lots to create a varied and interesting street scene.

- Avoid repetitive patterns of garage placement.

- A left or right side garage shall not be plotted more than three times in a row.
- Garage setback greater than the house front setback is encouraged.
- Garage door details should be consistent with each architectural style.
- Limit the width of front-facing garages to 65 percent of the house width.
- On corner lots, garages and driveways should be sited as far as possible from the corner so as not to impede traffic flow in the street.
- Where a lot is located at the end of a street, garage placement should be carefully considered in order to facilitate traffic flow in the street and ensure that headlights from vehicles on the street are directed towards the garage or other appropriate area in order to avoid nuisance from headlights in livable spaces.



4.5.3(c) - Form, Massing, and Roof Lines

Building scale and mass are two primary design components that affect how a structure is perceived. The following guidelines are intended to supplement the Architectural Design Guidelines in Section 4.5.4.

- Articulation of building facades, and variation in vertical and horizontal planes should be used to reduce the visual mass of a building.
- Roof forms of each building should use simple geometries that are appropriate to the architectural style and conducive to solar collection.
- High quality roof materials, colors, and treatments should correspond to the individual character or style of the home or building.
- To avoid a monotonous roof lines within a neighborhood, incorporate articulating elements such as roof overhangs, canopies, and other entry features to add interest.
- General massing should vary noticeably among different floor plans.
- Massing variation should be used together with variable setbacks to create visual interest along the street.

4.5.3(d) - Architectural Details

- For corner lots, the architecture should wrap around the building. In addition, where appropriate, the garage should be turned to accommodate a side entry.
- Special design features such as covered front porches, front courtyards, enhanced window and door trims, extended overhangs, and building edge treatment are encouraged as appropriate to the architectural style.



- Style-appropriate grates, shutters, and tile surrounds are encouraged.
- Windows should be designed in accordance with the architectural style. Highly reflective glazing is prohibited, and windows should be recessed a minimum of two inches.
- Front door details should vary according to architectural style. Doors should be protected by a deep recess, porch, or other covered elements.
- At least two photosensitive carriage lights that vary according to architectural style are required per house.

4.5.3(e) - Colors and Materials

- Buildings shall use durable, high quality materials to develop long-lasting residences.
- The finishes and textures should be compatible with the proposed architectural character of the building.
- Individual single-family homes should not have identical color schemes adjacent to one another or across the street from one another.
- A minimum of three colors is required for each elevation such as one field color, one trim color, and one or two accent colors.
- A variety of color palettes for single-family homes is required. Color selection should be based on historical precedents for each of the allowed architectural styles. Different variations of beige do not satisfy the intent of this guideline.
- Natural stone, approved manufactured or cultured stone, painted or natural brick, precast concrete, tile, and fire-resistant horizontal or vertical wood siding or manufactured siding are encouraged.



4.5.3(f) - Building Frontage for Multifamily Residential

Table 4.2 to 4.9 identify ground floor frontage types required for key street segments within the plan. Frontage type addresses the design elements of the building's ground floor front façade and the area in front of it extending to the street. It is an important element of urban design because it is the way a building engages the public realm. The arrangement and design of building frontages largely determines the character of the area and the quality of the pedestrian environment.

4.5.3(g) - Residential Architectural Styles

The architectural styles selected for THE GROVES at Loma Linda reflect the historic architecture prevalent in the region and are consistent with the Historic Overlay of the General Plan. The styles selected from the Historic Mission Overlay District include: Mediterranean Revival, Craftsman, Prairie, Monterey, and Italianate. Other styles, such as Modern Farmhouse or California Ranch, may be considered by the City and the Historic Commission; however, a General Plan Amendment may be required. Authenticity of style is a key to achieving a high-level of design quality. An accurate interpretation of the characteristics of each style is important. Simple massing and roof forms often lead to the most authentic expression of a style.

The following guidelines regarding architectural styles shall be applied to all single-family and multifamily homes within The Grove:

- Architectural styles should be accurate and appropriate for the building typology (e.g., row towns, courtyard building, single-family homes, etc.)
- Architectural elements forming an integral part of the building should be used and ornamentation and features that appear to be inauthentic or tacked on shall be avoided.
- Visual interest along streetscapes is to be achieved through the inclusion of a variety of architectural styles within a neighborhood.
- The mix and placement of home styles along a street should be given attention to create variety and avoid the monotony of one style dominating the streetscape.
- Contemporary interpretations of each style are allowed.

The photographs provided in these architectural styles below are offered as general visual aids in understanding the basic intent of the design theme and its key implementing elements. These design components are communicated through a palette of characteristic architectural details, materials, and colors, which work together to shape the detailed design plans.



Mediterranean Revival

Mediterranean Revival is a design style introduced to the United States in the waning 19th century, incorporating references from Spanish Renaissance, Spanish Colonial, Beaux-Arts, Italian Renaissance, and Venetian Gothic architecture. The Mediterranean Revival style complements the Southern California climate by using thick walls and tile roofs for insulation and recessed windows for shade.



STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical plan form Varied building massing
ENTRY	<ul style="list-style-type: none"> Full or partial width front porch
ROOF	<ul style="list-style-type: none"> low-pitched, with broad overhanging eave
DETAILS	<ul style="list-style-type: none"> Arches Ornamental detail wood or wrought iron balconies with window grilles
MATERIALS & COLORS	<ul style="list-style-type: none"> Stuccoed walls red tiled roofs



Craftsman

The Craftsman style originated in California during the early 20th century. This distinctive American style is characterized by low pitched, multiple gabled roof forms, and a front porch with tapered columns and stone base. The Craftsman style emphasizes the use of organic colors and natural materials to reflect an honest character.



STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical plan form Varied building massing
ENTRY	<ul style="list-style-type: none"> Full or partial width front porch
ROOF	<ul style="list-style-type: none"> Shallow pitched roofs (3.5:12–5:12); front, side or cross gable roofs Deep overhangs (12"–24") with decorative brackets below Exposed rafters or decorative brackets
DETAILS	<ul style="list-style-type: none"> Tapered or Square Columns resting on Piers Brackets or knee braces at gabled ends Paired or triple windows
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete flat tile roof Light to medium sand finish stucco with siding accents Stone or brick accents



Monterey

The Monterey style originated in California in the early 18th century while under Spanish and Mexican rule. This style draws its influence from East Coast Colonial and Spanish designs, and represents one of California’s native architectural styles. The style is characterized by two stories, continuous surrounding porches on both levels, a hip roof, and adobe walls.



STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> • Cantilevered covered balcony at the second story
ENTRY	<ul style="list-style-type: none"> • Entry covered by balcony above
ROOF	<ul style="list-style-type: none"> • Shallow (4:12-5:12) roof pitch; gable roof • Exposed rafter tails at selected locations
DETAILS	<ul style="list-style-type: none"> • Wood or wrought iron balconies • Decorative patterned accent tile • Wrought iron window grills
MATERIALS & COLORS	<ul style="list-style-type: none"> • Concrete S-tile or flat roof • Light to medium sand stucco finish • Accent siding at second story • Accent brick or stone wainscot at the first floor



Italianate

Italianate Style is loosely based on the Renaissance villas of Italy. This style is characterized by a low, nearly-flat pediment roof, a square tower or copula, and large ornate brackets. Italianate style also includes bay windows, a long veranda or central porch, and pronounced moldings, quoins, and detail ornamentation.



STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical building massing
ENTRY	<ul style="list-style-type: none"> Covered entry Front porch Pediment entry with stoop
ROOF	<ul style="list-style-type: none"> Shallow pitched roofs (4:12-5:12), hip and gable roofs Deep overhangs (12"-36") with decorative brackets below and selected locations
DETAILS	<ul style="list-style-type: none"> Dentals or brackets at eaves at selected locations Paired or triple windows Pediment window and door treatments Rusticated base
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete flat tile roof Light to medium sand finish stucco in rich earth tone colors Rustic Stone veneer Quoins at corners, window, or entry doors Stone or brick accents





4.5.4 - Building Design Guidelines for Mixed Use and Commercial

4.5.4(a) - Façade Design and Composition

Façade generally refers to a building's external wall which faces a public street or open space. The design and composition of façades involves the arrangement of architectural elements such as doors, windows, balconies, caps, and pilasters on the walls of buildings. The façade and ground floor of a building is the most visible component seen by pedestrians, bicyclists, and motorists. How the mass of the building "meets the street" should be well detailed. The design of the facade is what humans experience most intimately when on the sidewalk and is the biggest contributor to district character.

- Buildings shall have a clear base, middle, and top by providing horizontal differentiating treatment. The base shall visibly anchor the building to the ground and the eave or parapet shall provide a visual termination of the building.
- All sides of a building visible from a public street, paseo or open space should maintain the same level of architectural detail and visual quality used on a front façade to the extent possible.
- The façade detailing of mixed-use buildings shall visually differentiate ground-floor uses from upper-story uses. The façade detailing of commercial or retail entries shall be differentiated from residential entries.
- Exterior building walls should have variation, recesses, and offsets in the surface especially at entries and important gateways. Long building walls shall be attractive and visually interesting by applying changes (by 2 to 4 feet to be read as a substantial change and provide a significant shadow line) in surface materials, colors, massing, fenestration,

storefronts, public art, or other architectural elements that are well composed. Pilasters or breaks in the wall plane are allowed where appropriate.

- Large expanses of walls at the non-street facing sides of buildings (less public) may also integrate murals, trellises, or vines and espaliers to add texture and create visual interest.
- Live-work or shopkeeper units should be designed to appear like a commercial storefront, gallery, or urban light industrial compatible to the area it is most affiliated with in character.

4.5.4(b) - Materials and Colors

The colors and materials of buildings can effectively create a streetscape of interest when applied appropriately and in partnership with façade modulation. The use of quality materials not only last longer and wear better but also preserve the quality of the public realm.

- Buildings shall use durable, high quality materials to develop long-lasting buildings that can be adaptively reused over time.
- Architectural style and use of quality materials shall be consistent throughout the entire project; however, variations in materials and details may be used to differentiate between the residential and commercial portions of the project.
- The finish, texture, and color of materials should be compatible with the proposed architectural character of the building.
- Materials may vary in the vertical plane. Buildings shall exhibit greater detail and higher quality materials at the lower levels.
- Materials and colors should be used to imply form changes, particularly for entrance lobbies, massing changes, and different uses or tenants.
- Construction details should be authentic and applied with consistency.
- Stucco finishes are acceptable, provided the stucco finish is smooth, rather than textured, lace, or rough sand finish.

4.5.4(c) - Architectural Details

Windows and Doors

Windows, the main source of natural light and fresh air into buildings, should be designed to maximize the light that enters and to take advantage of natural ventilation.

- Buildings should be designed with a rhythm of windows and entrances that provide interest and engage pedestrians.
- Commercial windows and doors should comprise at least 60 percent of a building's street level façade.
- For residential, to prevent residential wall surfaces from



being monotonously flat, windows and doors shall be recessed at least 3 inches from the face of the finished exterior wall to achieve a sufficient depth and shadow reading. Flush finish installations, especially with stucco, are not desirable.

- Detailing of windows and doors should reflect the overall design idea of the building and be well crafted and constructed.

Roofs

- The roof or overhang shall enhance the architectural character of the building. The extent and type of roof detail should be appropriate to the architectural style.
- Roof drains should be designed as an integral part of the structure.
- Rooftop and other building mechanical equipment should be screened from public view and be housed within a penthouse structure that is consistent with the building's architectural style.

Awnings, Canopies, and Marquees

Encroachments such as awnings, canopies, and marquees are encouraged but must be well designed and proportioned so they do not adversely impact the sidewalk environment. Canopies and awnings are encouraged along all retail street frontages.

- The minimum vertical clearance between the ground or street level and the encroachment should be 8 feet. In areas of zero setbacks, awnings, canopies, and marquees should not project more than two-thirds the width of the sidewalk, subject to the California Building Code. At least 2 feet of clearance must be maintained from the street curb line.
- Awnings or canopies that are designed to require ground support are prohibited on sidewalks. In areas where setbacks are required, awnings, canopies, and marquees should not project past the setback line.
- Horizontal dimensions should relate to the bays of the building façade.
- For awnings and canopies, the materials, shape, rigidity, reflectance, color, lighting, and signage should relate to the architectural design of the building.



4.5.4(d) - Building Frontages for Mixed-Use and Commercial

Table 4.2-4.9 identifies ground floor frontage types required for key street segments within the plan. Frontage type addresses the design elements of the building's ground floor front façade and the area in front of it extending to the street. It is an important element of urban design because it is the way a building engages the public realm. The arrangement and design of building frontages largely determines the character of the area and the quality of the pedestrian environment.

Design guidelines for all the frontage types identified for THE GROVES are located on the following tables.

Table 4.2 – *Shopfront Frontage Type*

A. Description

Shopfront is the frontage type for buildings with ground floor commercial/retail uses. It is placed at or close to the right-of-way line, with the entrance at sidewalk grade. Shopfronts include large openings filled with transparent windows and doors and are commonly equipped with cantilevered shed roof(s) or awning(s). The building façade and entrance are at sidewalk grade, and provide direct access to the commercial / retail uses on the ground floor.

This frontage type can be used in conjunction with terrace, and or forecourt to create a more engaging street. Recessed storefronts are also acceptable.

B. Design Standards

A great variety of shopfront designs are possible, but the following should apply:

- a. Desirable shopfront façade area is at least 15 feet tall, as measured from the adjacent walk, and minimum 10 feet wide.
- b. Shopfronts may be recessed from the primary building façade by up to 5 feet.
- c. The shopfront should provide clear views of merchandise displays.
- d. A base of similar or visually “heavier” materials than the walls is recommended below display windows.
- e. Doors should be substantial, well detailed, and match the materials, design, and character of the display windows.
- f. Canopies and awnings should be integrated to shopfront openings.



Shopfront Diagram



Example of Shopfront Frontage Type

Table 4.3 – Forecourt Frontage Type**A. Description**

A forecourt is a frontage wherein a portion of the building façade is recessed from the primary building façade. The forecourt may be used as an entry court and open space for residential uses, or as additional shopping or seating areas for commercial uses. Forecourts may be paved with decorative paving subject to City review and approval or they may be landscaped.

This frontage type is appropriate for either residential and/or commercial uses. A combination of both uses can be achieved by using the forecourt as a residential entrance while commercial uses occupy street adjacent building space. This type can be used in conjunction with shopfronts and stoops as a transition into residential frontage.

B. Design Standards

A great variety of forecourt designs are possible, but the following should apply:

- a. A minimum of 10 feet and maximum of 40 feet deep clear.
- b. A minimum of 20 feet and maximum of 50 feet wide or 50% of the lot width, whichever is less.
- c. One building entry must front onto the forecourt.
- d. The forecourt may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the forecourt, but shall not exceed 3 feet in height from the adjacent sidewalk grade.
- e. The proportions and solar orientation of the forecourt should be carefully considered for user comfort. Canopies of large trees placed within the forecourt may overhang into the pedestrian zone.
- f. A fence or wall at the property line may be used to define the private space of the court and shall comply with per Section XXX, Landscape Architecture.
- g. Entrances and pedestrian 'gateways' may be announced by posts or pilasters, and may be combined with trellises, special landscaping, decorative lighting, public art or other special features.

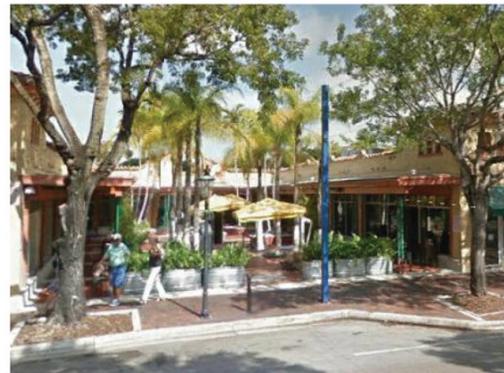
*Forecourt Diagram**Example of Forecourt Frontage Type*

Table 4.4 – Gallery Frontage Type**A. Description**

A gallery is a frontage wherein the building façade has an attached, cantilevered shed or a lightweight colonnade overlapping the sidewalk. The main façade of the building is set back and the gallery with overlooking balcony is at the property line. The colonnade may support a roof or balcony above. Balconies may be used for outdoor dining. The gallery covering the sidewalk provides pedestrian shelter and opportunities for covered outdoor dining.

This frontage type is conventional for commercial use.

B. Design Standards

A great variety of gallery designs are possible, but the following should apply:

- a. A minimum of 10 feet and maximum of 15 feet deep clear. Galleries may overlap the whole width of the sidewalk within the pedestrian zone but may not encroach into the landscape area.
- b. Galleries should be no less than 12 feet wide and 10 feet tall.
- c. Galleries should be in alignment with adjacent galleries and/or arcades to the extent possible.
- d. Spacing between openings and/or columns should be a minimum of 10 feet.
- e. Shopfront openings within galleries should be at least 10 feet tall and shall provide clear views of merchandise displays within the space.
- f. The height and the proportions of the gallery should correspond to storefront openings and the building façade consistent with the architectural style of the building.
- g. Soffits, columns/arches should be treated consistent with the architecture of the building.
- h. Entrances should be at sidewalk grade.
- i. The pedestrian zone sidewalk and gallery frontage portions within the frontage zone and should be consistent in design and material.

*Gallery Diagram**Example of Gallery Frontage Type*

Table 4.5 – Arcade Frontage Type**A. Description**

An arcade is a frontage wherein the building façade is aligned close to the pedestrian zone with a colonnade recessed into the building. The colonnade supports habitable commercial or residential space above. The colonnade covering the sidewalk provides pedestrian shelter and opportunities for covered outdoor dining.

This frontage type is conventional for commercial use.

B. Design Standards

A great variety of arcade designs are possible, but the following should apply:

- a. A minimum of 10 feet and maximum of 15 feet deep clear.
- b. Arcades should be no less than 12 feet wide and 10 feet tall.
- c. Arcades should be in alignment with adjacent galleries and/or arcades to the extent possible.
- d. Spacing between openings and/or columns should be a minimum of 10 feet.
- e. Shopfront openings within arcades should be at least 10 feet tall and shall provide clear views of merchandise displays within the space.
- f. The height and the proportions of the arcade should correspond to storefront openings and the façade consistent with the architectural style of the building.
- g. Soffits, columns/arches should be treated consistent with the architecture of the building.
- h. Entrances should be at sidewalk grade.

*Arcade Diagram**Example of Arcade Frontage Type*

Table 4.6 – Terrace Frontage Type

A. Description

A terrace is a frontage wherein the building façade is set back from the street, paseo, or open space, by an elevated open area that is paved or planted. This frontage type can effectively buffer building uses from the sidewalk.

This type is recommended for residential and commercial use as it allows for semi-private use of frontage areas.

B. Design Standards

A great variety of terrace designs are possible, but the following should apply:

- a. A minimum of 5 feet to maximum of 8 feet deep clear. Terrace design should take into consideration landscape areas, where adjacent to public landscape easement, to the extent possible.
- b. Terraces should be raised to transition into the building. Terraces should not be raised more than 3 feet from the adjacent grade of the pedestrian zone.
- c. A minimum of 6 feet wide clear for entry landing.
- d. Fences defining the terrace should not exceed 3 feet in height from the highest adjacent grade of the terrace and comply with Section 3.19.3, Landscape Architecture.



Terrace Diagram



Example of Terrace Frontage Type

Table 4.7 – Stoop Frontage**A. Description**

A stoop is a frontage wherein the building façade is separated from the street, paseo, or open space, by an entrance to the elevated groundfloor of the building. Stairs from the stoop may lead directly to the sidewalk or may be side loaded. The entrance is usually covered or recessed to provide shelter from the elements.

This type is recommended for ground-floor residential use as it facilitates a transition onto more residential frontage.

B. Design Standards

A great variety of stoop designs are possible, but the following should apply:

- a. A minimum of 3 feet and maximum of 5 feet deep clear.
- b. Fences or walls defining the stoop should not exceed 3 feet from the highest adjacent grade of the stoop.
- c. Stoops should be raised to transition into the building. The ground story entry should not be elevated more than 3 feet above the adjacent sidewalk.
- d. Stoops should correspond directly with the building entry(s) and be at least 3 feet wide (perpendicular to or parallel with the adjacent walk).
- e. Building façade may be setback the depth of the entry stair from the sidewalk.
- f. The stoop may include a covered roof, awning, or door inset within the building front.

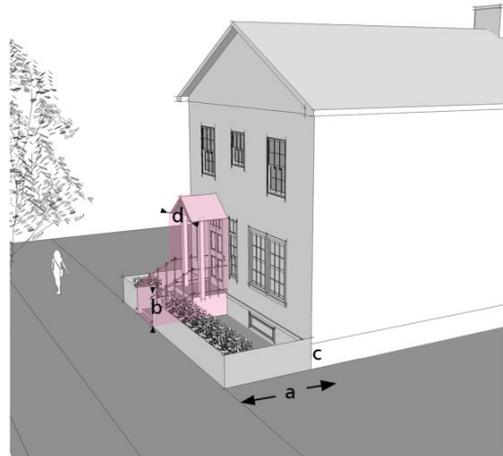
*Stoop Diagram**Example of Stoop Frontage Type*

Table 4.8 – Porch Frontage Type

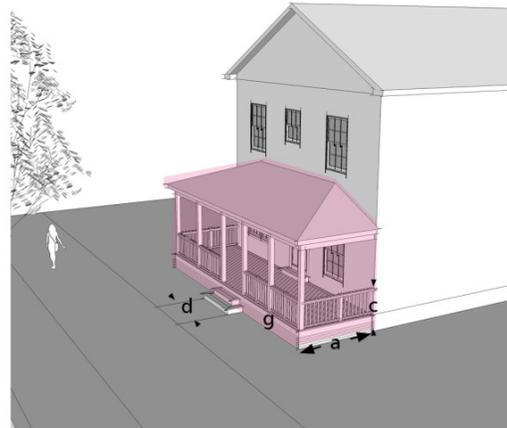
A. Description

Porch frontage is a common frontage where the facade is set back from the right of way and a porch is appended to the façade, encroaching into the front yard. This frontage type is primarily associated with single family houses, but used with other building types depending on the context in all cases. Porches typically have a fence defining the area of the porch. A fence or wall at the property line shall not be used to define the private space of the yard where porches are provided.

B. Design Standards

A great variety of porch designs are possible, but the following should apply:

- a. A minimum of 10 feet deep clear, maximum of 15 feet deep clear should be provided for the front yard area.
- b. Porches may encroach up to 50 percent of required building setback depth unless specified otherwise in zone standards, provided the remaining setback area should not be less than 5 feet.
- c. Fences or walls defining the porch should not exceed 3 feet from the highest adjacent grade of the stoop.
- d. A minimum of 6 feet wide clear for centered entry path; or a minimum of 10 feet clear for asymmetrical entry.
- e. A minimum of 6 feet wide clear for entry landing.
- f. A minimum of 10 feet tall clear.
- g. Porches should be at grade or raised to transition into the building. Porches should not be raised more than 3 feet from the adjacent grade.
- h.



Porch Diagram



Example of Porch Frontage Type

Table 4.9 – Yard Frontage Type**A. Description**

Yards are a common frontage primarily associated with single family houses, but used with other building types depending on the context in all cases, where the facade is set back from the right of way with non-elevated open space as the front yard. A fence or wall at the property line may be used to define the private space of the yard.

B. Design Standards

A great variety of yard designs are possible, but the following should apply:

- a. A minimum of 10 feet deep clear, maximum of 15 feet deep clear.
- b. A minimum of 6 feet wide clear for centered entry path; or a minimum of 10 feet clear for asymmetrical entry.
- c. Fences or walls defining the front yard should not exceed 3 feet in height from the adjacent sidewalk and shall comply with Section 3.19.3, Landscape Architecture.

*Yard Diagram**Example of Yard Frontage Type*

4.5.4(e) - Mixed-Use and Non-Residential Architectural Styles

The Historic Mission Overlay District defines the historical architectural styles that can be used within THE GROVES. For vertical mixed-use projects with residential above commercial, adaptations of the residential architectural styles identified in Section 4.5.3, above, are allowed. For stand-alone commercial development, adaptations of the any of the historic styles defined in the Historic Mission Overlay District are allowed. In addition, Art Deco, Art/Streamline Moderne, and Googie/50's style architecture is allowed. "Franchise" architecture is not allowed and must be adapted to one of the allowed architectural styles.

4.5.4(f) - Signage

Signage within the Commercial and Mixed Use Planning Areas should harmoniously blend with the architectural theme. Artistic flexibility is allowed; however, signage should maintain continuity and be of appropriate scale with the adjacent structures, and the community as a whole.

Applicable provisions of the Loma Linda Municipal Code, Chapter 17.18, Signs, apply within THE GROVES community. Specifically, signs within the Commercial and Mixed Use Planning Areas shall conform to the Loma Linda Municipal Code, Section 17.18.140, Permitted signs—C-1, C-2, C-G, C-F, C-N, C-M, I-C and M-R zones, and the following guidelines.

- Sign types are limited to project identification, company and building identification, direction, and temporary "for sale and lease" signs.
- If businesses are located in a traditional downtown pattern, signage should be designed to be visible both to drivers on the street and pedestrians on the sidewalk.
- In the case of a large development designed with "campus" style building orientation, signage for anchor tenants should be visible from the parking area(s) and a map with store directory should be provided to aid in wayfinding.
- Signage within a "campus" style development should be pedestrian oriented in size, placement, and design.
- Signs should be compatible with the building in terms of color, material, and placement, yet stand out in a way that enables easy recognition of the sign.
- All ground-mounted signs should be well integrated into site landscaping, while assuring readability by drivers and pedestrians. The visible backs and sides of signs should be architecturally treated to blend with the exterior character of the building.



4.5.5 - Functional Elements

These provisions for functional elements apply to all land uses within THE GROVES. Examples of functional elements include loading doors, service areas, ground or wall-mounted equipment, rooftop equipment, and trash enclosures. The design and placement of these elements should minimize their prominence when viewed from surrounding development, public roadways within and adjacent to the community, pedestrian sidewalks, and parking lots.

4.5.5(a) - Loading Doors and Service Areas

Service vehicles should have clear and convenient access into and within the Mixed Use and Senior Housing Planning Areas to minimize disruptions to vehicular and pedestrian circulation. Service and delivery/loading areas should be separated from general parking areas and pedestrian circulation areas (walkways, pathways, etc.). Loading doors, service areas, and equipment areas should be oriented or screened so they are not easily visible from residential areas and public roadways within and adjacent to the community. Screening may be accomplished with landscaping, walls, fences, or other architectural treatments. For screening of loading and service areas to be effective, a minimum treatment height of 6 feet is recommended.

4.5.5(b) - Ground or Wall-Mounted Equipment

Examples of exterior ground-mounted equipment include, but are not limited to, mechanical equipment, electrical equipment, emergency generators, cellular telephone facilities, and satellite dishes. Ground-mounted equipment should be screened so as to not be visible from residential areas and public roadways within and adjacent to the community. Screening may be accomplished with walls that are designed as an integral part of the architecture or landscape elements that are consistent with the landscape concept. Electrical equipment rooms should be located within the building envelope. Pop-outs or shed-like additions are prohibited unless fully integrated into the building architecture.

Wall-mounted items, such as roof ladders or electrical panels, should be located away from the street façade and painted, screened, or incorporated into the architectural elements of the building so as not to be visually apparent from residential areas and public roadways within and adjacent to the community.

4.5.5(c) - Rooftop Equipment

Examples of rooftop equipment include mechanical equipment, electrical equipment, cellular telephone facilities, satellite dishes, skylights, vents, exhaust fans, and mechanical ducts.

Mechanical equipment for single-family residences such as air conditioners, heaters, evaporative coolers, and other such devices should not be mounted on the roof. These types of equipment should be located behind privacy walls or landscape.

All rooftop equipment for other types of buildings should be screened so as not to be visible from residential areas and public roadways within and adjacent to the CITRUS TRAILS community. Rooftop

screens should be integrated into and complement the architecture of the building. Wooden rooftop screens are prohibited.

Solar panels may be mounted on building rooftops and are exempt from the rooftop equipment provisions related to visibility.

4.5.5(d) - Trash Enclosures

Refuse collection areas (trash enclosures) should be located away from residences to minimize nuisance, when possible. In addition, refuse collection areas should be located behind or to the side of buildings, away from the building's main entrance. All outdoor refuse containers should be screened within a permanent, durable enclosure. The design of the enclosure should reflect the architectural style of adjacent buildings and use similar, high-quality materials. Landscaping or trellis work should screen enclosures visible from a residential area, connecting walkway, or street and shall be permanently maintained.

4.5.5(e) - Vehicle Charging Stations

In single-family residential neighborhoods, vehicle charging equipment shall be fully enclosed within the garage.

4.5.6 - Landscape Design Guidelines

4.5.6(a) - Introduction

The Landscape Design Guidelines articulate the various landscape design components of THE GROVES, which draw inspiration from the rich heritage of Loma Linda. The landscape concept is influenced by the Mill Creek Zanja irrigation ditch and the historic uses that it enabled, which include: a Mission storehouse, a Native American village, a Mexican rancho, Mormon settlements, and early citrus farming. The landscape concept evokes the landscape theme through elements including entry monumentation that identifies the Historic Mission District and the historically themed parks and paseo. The Landscape Design Guidelines are also consistent with the Citrus Trails Master Plan.

The landscape concept is established through the combination of each of the major thematic community elements listed below, which are discussed in more detail on the following pages.

- Plant Palette
- Entry Monumentation
- Corner Treatment
- Streetscapes
- Walls and Fences
- Landscape Interfaces

The Landscape Design Guidelines, together with the Architectural Design Guidelines, establish a clear and coherent community identity that is indicative of the area's past, visually appealing, and sensitive to the environment.

4.5.6(b) - Plant Palette

The Plant Palette for THE GROVES was selected to complement and enhance the setting of the community, while ensuring the conservation of water resources. The palette of trees and shrubs have been chosen to reflect the site's rural setting and accentuate the community's architectural styles and design elements (entry monumentation, walls and fences, etc.). To ensure the conservation of water resources and to alleviate long-term maintenance concerns, the Plant Palette is comprised of water-efficient species native to southern California or naturalized to the arid southern California climate.

Furthermore, the Plant Palette is intended to work in concert with the hardscape materials to reinforce the landscape concept at major community focal points and gathering places, such as the parks and paseo.

Table 4-10, *Street Tree Palette*, and Table 4-11, *Shrub and Vine Palette*, provide lists of the plant materials selected for THE GROVES. These provide a base palette for the community's landscape design; other similar plant materials may be substituted provided the selected plant materials are water-efficient, complement the overall landscape concept, and are approved by Public Works. Plant selection for specific areas of the community shall have similar watering requirements so that irrigation systems can be designed to minimize water use and plant materials can thrive under optimal conditions.

Table 4.10 – Street Tree Palattee

Botanical Name	Common Name	Water Use	Deciduous / Evergreen	California St.	Mission Rd.	Redlands Blvd.	Park Ave.	Citrus Ave.	Orange Ave.	Bryn Mawr Ave.	Internal Main St.	Local St.
Washingtonia filifera	California Fan Palm	M	E									
Jacaranda mimosifolia	Jacaranda	M	D									
Ginkgo biloba	Maidenhair Tree	M	D									
Platanus acerifolia	London Plane	M	D									
Ulmus parvifolia 'Drake'	Chinese Elm	M	Semi-E									
Quercus ilex	Holly Oak	L	E									
Schinus Molle	Pepper Tree	L	E									
Lophostemon Conferta	Brisbane Box	L	E									
Pyrus calleryana 'Bradford'	Bradford Pear	L-M	D									
Quercus suber	Cork Oak	L-M	E									
Lagerstroemia indica	Crape Myrtle	M	D									
Pistacia chinensis	Chinese Pistachio	L	D									
Koelreutria bipinatta	Chinese Flame	M	D									
Podocarpus gracilior	Fern Pine	M	E									
Tipuana tipu	Tipu Tree	M	Semi-D									
Rhus lancea	African Sumac	L	E									



California Fan Palm
Washingtonia filifera



California Fan Palm
Jacaranda mimosifolia



Maidenhair Tree
Ginkgo biloba



London Plane
Platanus acerifolia



Chinese Elm
Ulmus parvifolia 'Drake'



Holly Oak
Quercus ilex



Pepper Tree
Schinus Molle



Brisbane Box
Lophostemon Conferta



Bradford Pear
Pyrus calleryana 'Bradford'



Cork Oak
Quercus suber



Crape Myrtle
Lagerstroemia indica



Chinese Pistachio
Pistacia chinensis



Chinese Flame
Koelreuteria bipinnata



Fern Pine
Podocarpus gracilior



Tipu Tree
Tipuana tipu



African Sumac
Rhus lancea

Table 4.11 – *Shrub and Vine Palette*

BOTANICAL NAME	COMMON NAME
Abelia g. 'Edward Goucher'	Pink Abelia
Agave attenuata	Fox Tail Agave
Aloe arborescens	Tree Aloe
Anigozanthos flavidus 'Bush Ranger'	Dwarf Kangaroo Paw
Berberis thunbergii 'Golden Ring'	Japanese Barberry
Bougainvillea sp.	Bougainvillea
Buxus microphylla japonica	Japanese Boxwood
Caesalpinia gilliesii	Desert Bird of Paradise
Callistemon 'Little John'	Dwarf Bottlebrush
Cistis purpureus	Orchid Rockrose
Dalea greggii	Trailing Indigo Bush
Dietes vegeta	Fortnite Lily
Distictus buccinatoria	Blood Red Trumpet Vine
Escallonia x 'Compacta'	Compact Escallonia
Festuca mairei spp.	Atlas Fescue
Hemerocallis hybrid	Evergreen Red Daylily
Lavandula angustifolia	English Lavender
Lavandula spp.	Lavender
Lavatera bicolor	Tree Mallow
Leuciphyllum frutescens	Texas Ranger
Ligustrum japonicum	Japanese Privet
Liriope muscari	Big Blue Leaf Turf
Macfadyena unguys-cati	Cat's Claw
Muhlenbergia rigens	Deer Grass
Myoporum parvifolium	Prostrate Myoporum
Myrsine africana	African Boxwood
Myrtus communis 'Compacta'	Dwarf Myrtle
Nandina domestica	Heavenly Bamboo

BOTANICAL NAME	COMMON NAME
Parthenocissus tricuspidata	Boston Ivy
Photinia fraseri	Photinia
Rosa species	Rose (Hybrid)
Salvia celcelandi	Cleveland Sage
Salvia greggii	Dwarf Ciyite Bush
Salvia leucantha	Mexican Bush Sage
Trachelospermum jasminoides	Star Jasmine
Westringia rosmarinifolius	Coast Rosemary

4.5.6(c) - Entry Monumentation

Conceptual entry monumentation has been prepared for THE GROVES. Entry monumentation for residential or mixed-use neighborhoods is intended to establish a strong sense of arrival for residents, guests, patrons, and passersby. The monumentation concept for primary entries into The Grove from California Street or Redlands Boulevard has been designed to reinforce the community theme and should include text identifying the "Historic Mission District" in addition to the name of the community mixed-use area (as illustrated in Figure 4.2). Locations for entry monumentation have been included in Figure 4.1, *Community Character Map*, and include locations at main entrances into THE GROVES. In addition, smaller entry monuments for individual neighborhoods are also allowed and can be adapted from the monumentation shown in Figure 4.3, *Other Entry Monument*. Smaller neighborhood monumentation may have a unique design that reflects the character of the project.

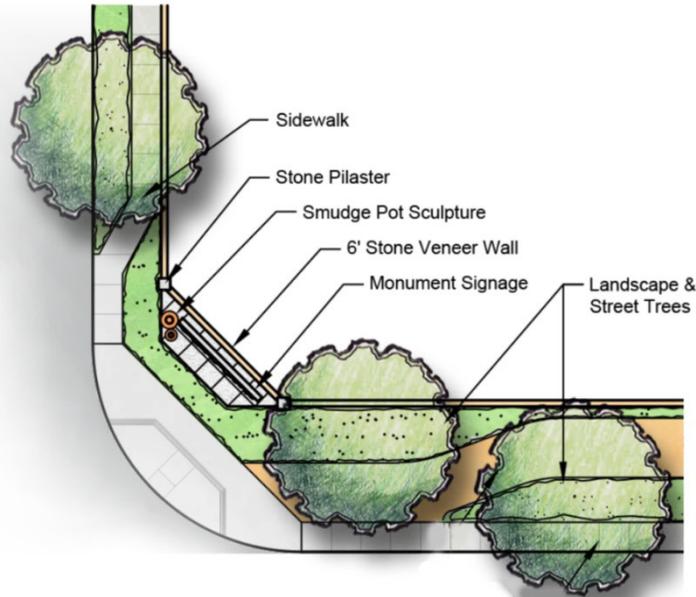
Entry Monuments at Orange Avenue and Citrus Avenue (Concept A)

Conceptual entry monumentation are located on California Street at Orange Avenue and Citrus Avenue entrances. It conveys to the users that they have entered THE GROVES. The entry monument is a combination of pilaster and monument wall with a major signage feature. Figure 4-2, *Entry Monument*, illustrates the conceptual design for the monument, which is accompanied by public art sculptures, as discussed in Section 3.5.2 (b), *Historic Resources*. The design may be stand-alone or located on a residential perimeter wall, and may vary in size based on locational constraints and project design.

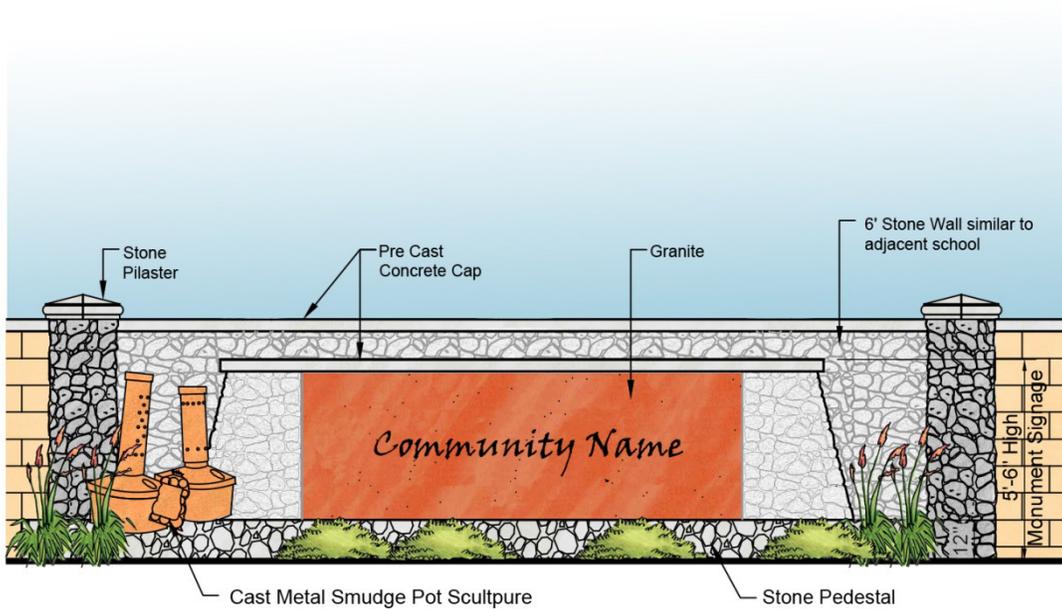
Other Entry Monuments (Concept B)

Other entry monuments either along California Streets, Redlands Boulevard, or within THE GROVES may be adapted from Figure 4-3, *Other Entry Monument*. The conceptual design includes a free-standing, 4-foot high natural stone monument, a granite-faced sign area, and a backdrop of California fan palms.

Figure 4.2 – Entry Monument (Concept A)

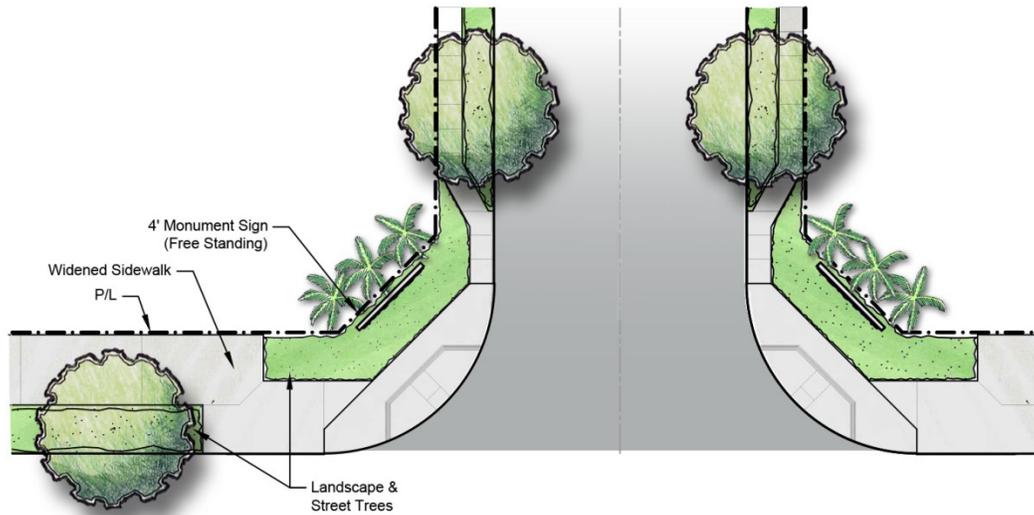


PLAN VIEW

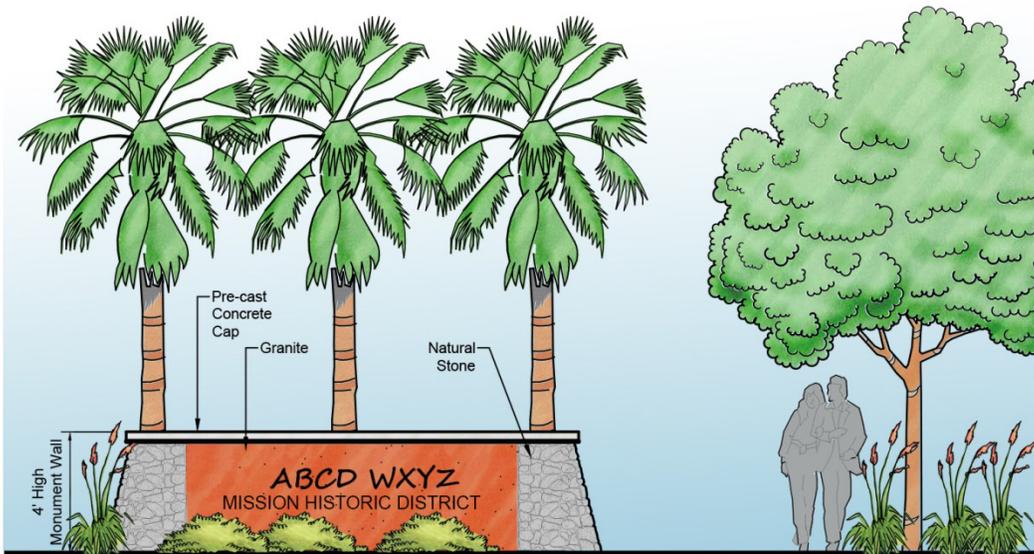


ENTRY MONUMENT

Figure 4.3 – Other Entry Monument (Concept B)



PLAN VIEW



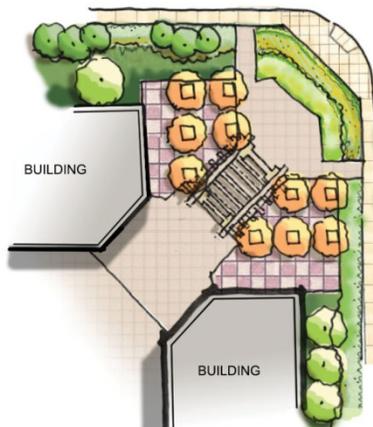
OTHER MONUMENT

4.5.6(d) - Corner Treatment

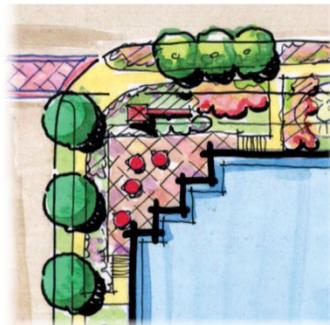
Figure 4.1, *Community Structure Plan*, identifies several locations where special attention is required at the corner of the property. These locations are at the major entrances to THE GROVES. The design of the corner, in addition to any monumentation, is an essential element in branding the area. Figure 4-4, *Corner Treatment* shows some examples of the corner treatment. Buildings shall have a major presence at the corner to enhance the pedestrian experience and create character and appropriate massing along the roadway. This may include two buildings at the corner that “frames” the view into the site, or a single building with special architectural features such as:

- Diagonal or curved walls at the corner
- A tower element, spire or dome that can be a landmark or orientation point
- A corner plaza or gathering area
- A lobby canopy, overhang, or other architectural covering over the building entry
- A two (2) story entrance height and twenty (20) foot entrance width
- A public art installation
- Decorative landscaping or landmark element such as a row of columnar trees
- Corner entrance or an entrance oriented toward each adjacent street

Figure 4.4 – *Corner Treatment*



CONCEPT ONE



CONCEPT TWO



4.5.6(e) - Streetscape Landscaping

The design of roadway streetscapes are critical in enforcing a circulation hierarchy, creating a sense of place, and maintaining a high-quality community theme. The scale and proportion of the street scene reflects the street hierarchy and provides separation of vehicular and pedestrian travel. Larger streets contain larger parkways and are more extensively landscaped; in contrast, local roads are planned with slightly narrower parkways and less prominent landscaping. Varied streetscapes are intended to create a high quality, visually pleasing experience at the pedestrian and vehicular level. Streetscapes are planted with a combination of street trees, low shrubs, and masses of groundcover derived from the tree and shrub/vine palettes, providing visual continuity throughout the community. Streetscapes within THE GROVES are provided as follows:

California Street Streetscape- Four-lane Undivided Roadway (144 - 152' ROW)

California Street serves as the eastern boundary of THE GROVES community. As depicted on Figure 4-5 and 4-6, the streetscape design buffers the single-family residences that back on to California Street, while the streetscape design north of Citrus Avenue complements the pedestrian oriented layout of the Mixed Use Planning Areas adjacent to California Street.

California Street south of Citrus Avenue provides a 25-foot wide parkway that includes a 10-foot wide decomposed granite trail flanked on the west by a 6-foot high community theme wall planted with vines and on the east by *Jacaranda mimosifolia* and accent trees, shrubs, and groundcover. A 5-foot wide concrete sidewalk is located adjacent to the curb and an on-street painted bike lane is provided on California Street.

The streetscape design for California Street north of Citrus Avenue complements the pedestrian oriented Mixed-Use planning areas. The streetscape includes a 9.5-foot wide curb-adjacent landscaped parkway planted with *Jacaranda mimosifolia* trees with a parkway-adjacent 15-foot wide hard surface trail, which provides for a wider walkway or space for outdoor dining to enhance the pedestrian orientation of the adjacent private properties.

Redlands Boulevard Streetscape – Modified Four-lane Divided Roadway (102' ROW)

Redlands Boulevard serves as the northern boundary of the Specific Plan area and is developed as a 102-foot wide public right-of-way. As illustrated on Figure 4-7, the street includes a 13-foot wide parkway on the south side of the street. The parkway is planted with *Pinus pinea* trees and includes a 5-foot wide meandering sidewalk.

Mission Road Streetscape – Two-lane Divided Roadway (84 - 104 ROW)

Mission Road is located along the southern edge of THE GROVES and facilitates access to the properties adjacent to it within the Specific Plan area. As depicted on Figure 4.8, there will be a 22-foot wide parkway including a 10-foot wide meandering decomposed granite trail on the north side of the street. The 10-foot trail is intended to be an extension of the Zanja Trail provided within South Park. The trail will connect to Heritage Park and the historic uses within the park. The parkway landscaping includes street trees and drought-tolerant shrubs and groundcover.

Park Avenue Streetscape - Entry Road (88' ROW)

Park Avenue is a primary access from into THE GROVES from California Street. It is designed as an 88-foot wide right-of-way that provides an aesthetically pleasing, pedestrian-friendly experience. As shown on Figure 4-9 to 4-12, there will be four different configurations for Park Avenue.

1. Adjacent to Planning Areas 2-5 and 2-7, Park Avenue is developed with 12-foot wide landscaped parkway including 5-foot wide inset sidewalks on both sides of the street.
2. The north side of the street adjacent to Planning Areas 2-3 and 2-4 provides a 12-foot wide parkway including an inset 5-foot wide sidewalk. The south side of the street adjacent to North Park (PA2-6) features a 12-foot wide landscaped parkway with an adjacent 10-foot wide decomposed granite trail that meanders into the parkway in lieu of a sidewalk.
3. Adjacent to Planning Area 3-3 and 3-4, the 10-foot wide decomposed granite trail will be developed on both sides of street.
4. Park Avenue west of Bryn Mawr Avenue, 5-foot wide sidewalk will be on the south side and a 10-foot wide decomposed granite trail will be developed on the north side. A 13 foot trail easement will be developed between Park Avenue and Planning Area 1-1.

The parkways feature street trees underplanted with shrubs and groundcovers that are native to southern California or naturalized to the southern California climate.

Citrus Avenue Streetscape - Entry Road (64' ROW)

Citrus Avenue provides primary access to the single-family areas in THE GROVES, as well as Central Park and North Park. As illustrated on Figure 4-13 and 4-14, the north side of Citrus Avenue provide a 20-foot wide travel lane and 12-foot wide landscaped parkway, including a 5-foot wide inset sidewalk. The south side of the street features a 12-foot wide landscaped parkway with an adjacent 10-foot wide decomposed granite trail that meanders into the parkway in lieu of a sidewalk. Adjacent to Planning Area 3-4 and Planning Area 3-6, 10-foot wide decomposed granite trail will be developed on both. The landscaped parkways feature street trees with shrubs and groundcovers.

Orange Avenue Streetscape (88' ROW)

Orange Avenue connects with Mission Road to provide access to the residences within the southern portion of community. As depicted on Figure 4-15 to 4-17, the streetscape provides 5-foot wide curb-adjacent sidewalks within 12-foot wide parkways on both sides of the street; however, adjacent to South Park, a 10-foot wide decomposed granite trail that meanders from the park into the parkway is provided in lieu of a sidewalk. On the north side of Orange Avenue near California Street, the landscaped parkway merges with the front yard landscaping of the adjacent single-family residences. On the south side of the street, a 6-foot high masonry screen wall located next to the parkway at the edge of the right-of-way buffers the adjacent residences from the street.

Bryn Mawr Streetscape (118' ROW)

Bryn Mawr provides north and south connections from Redlands Boulevard to Citrus Avenue. It is a 4-lane divided corrector street with a 20-foot raised median. As depicted on Figure 4-18, the west side of the street provides a 12-foot wide landscaped parkway, including a 5-foot wide inset sidewalk. The east side of the street features a 22-foot wide parkway with a 10-foot wide meandering decomposed granite trail.

Internal Main Street (86' ROW)

Internal Main Street will be planned to support commercial and mixed use development on Planning Area 1-2, Planning Area 3-3 and Planning Area 2-1. As depicted on Figure 4-19, it features with two undivided travel lanes and diagonal parking on both sides. The parkway is replaced with a 15-foot wide sidewalk and an amenity zone for street furniture, tree grates. The building is located near the street right-of-way.

Local Road Streetscape (60' ROW)

To provide vehicular access to individual neighborhoods, a network of Local Roads is provided. Within the 60-foot wide public right-of-way, Local Roads feature 12-foot wide landscaped parkways including 5-foot wide curb-adjacent sidewalks on both sides of the street, as indicated on Figure 4-20 and 4-21. The landscaped parkways are planted with street trees and groundcovers that complement the community's landscape theme and merge with the residential front yards that face on to the street. The parkways and sidewalks provide a pleasant environment to encourage pedestrian circulation within the community.

Where Local Roads are located adjacent to North Park, Central Park, or South Park, 10-foot wide decomposed granite trails located at the edge of the parks meander into the right-of-way in lieu of sidewalks.

Where Local Roads are situated adjacent to the pedestrian Paseo, which provides a 27 to 40-foot wide alignment connecting North Park to South Park, the 7-foot wide parkway on the western side of the Local Road merges with the adjacent landscaped Paseo to provide an attractive wide buffer from the street.

Figure 4.5 – California Street–Citrus North to Boundary (144' ROW)

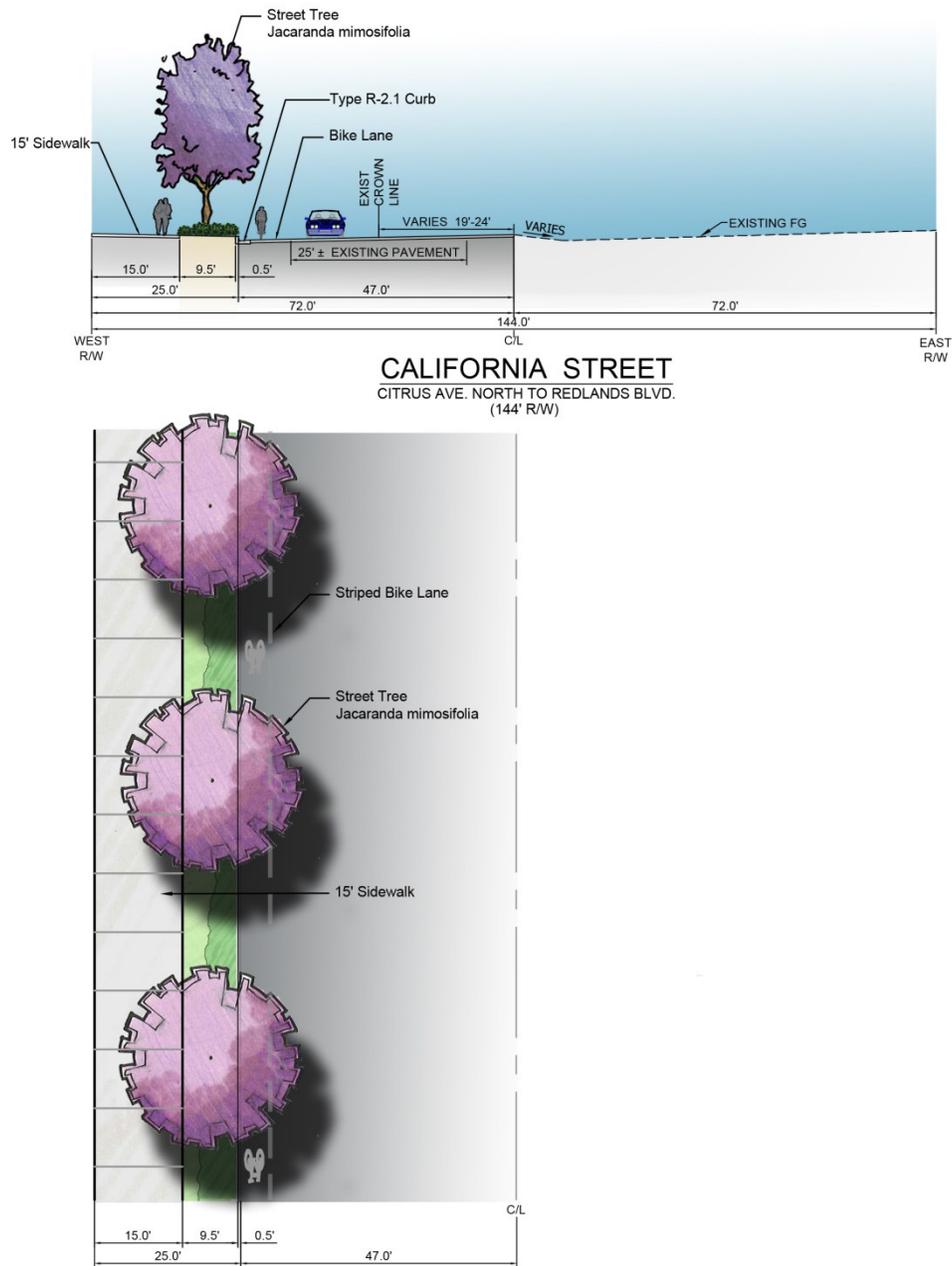


Figure 4.6 – California Street–Citrus South to Boundary (144’–152’ ROW)

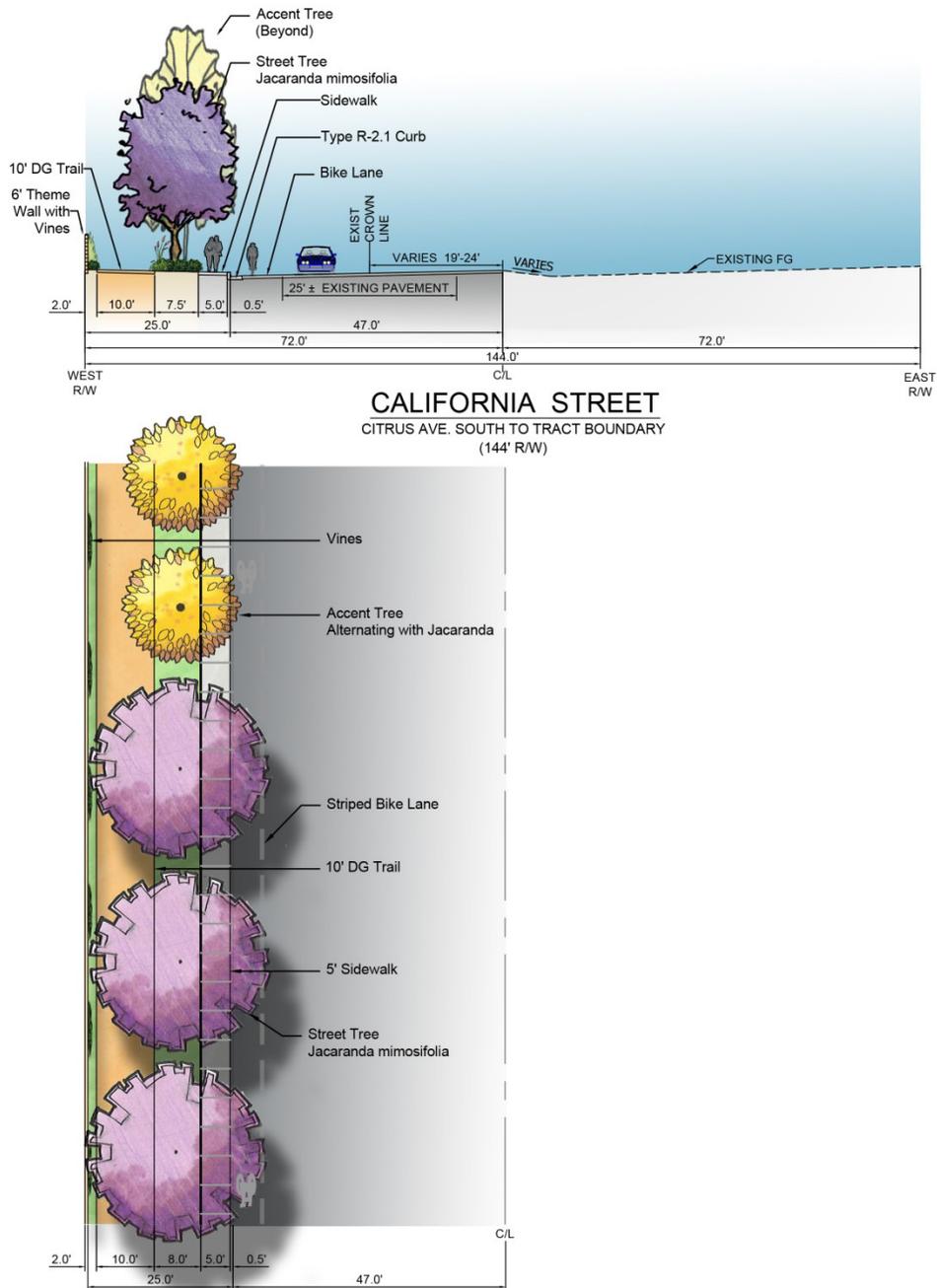


Figure 4.7 – Redlands Boulevard (102' ROW)

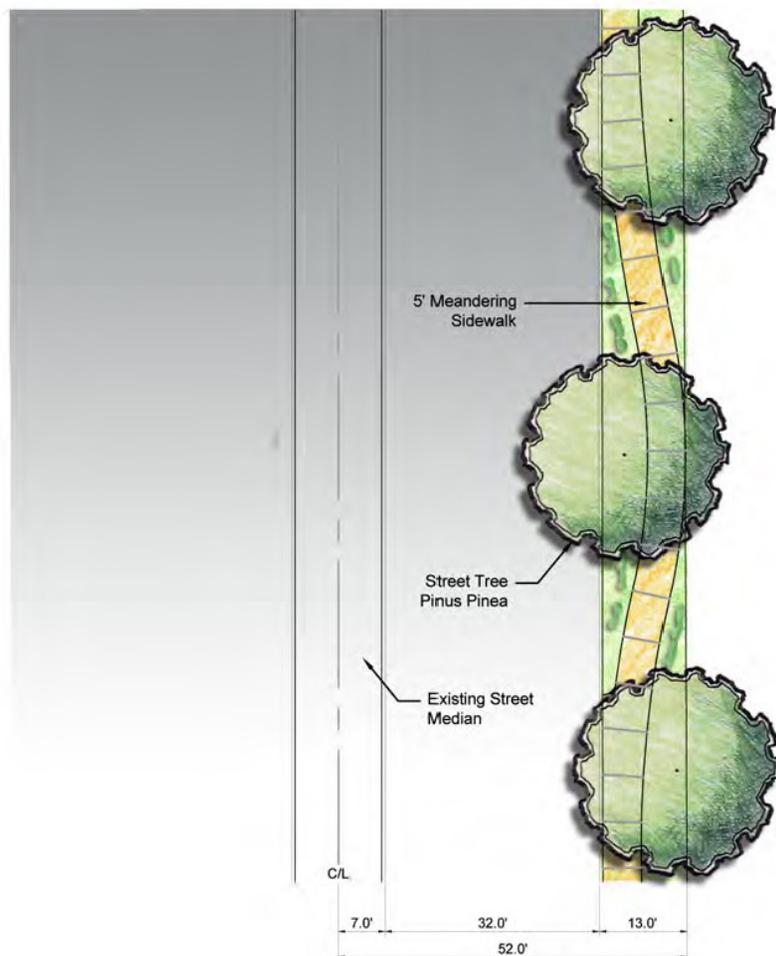
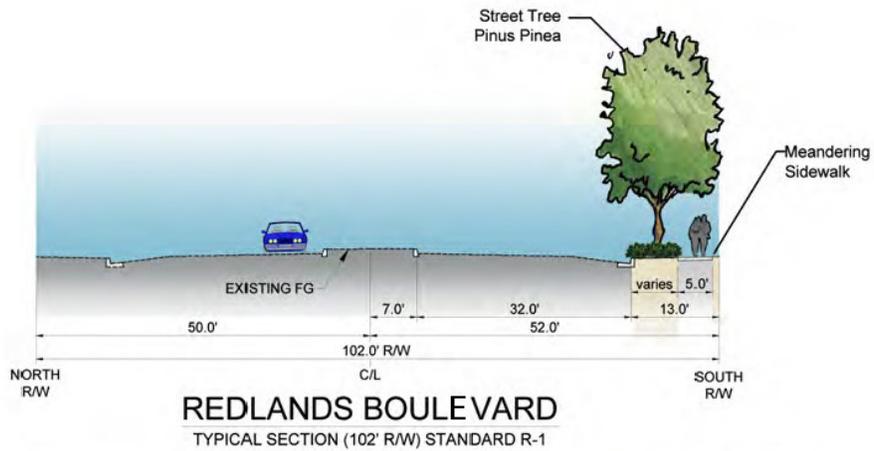
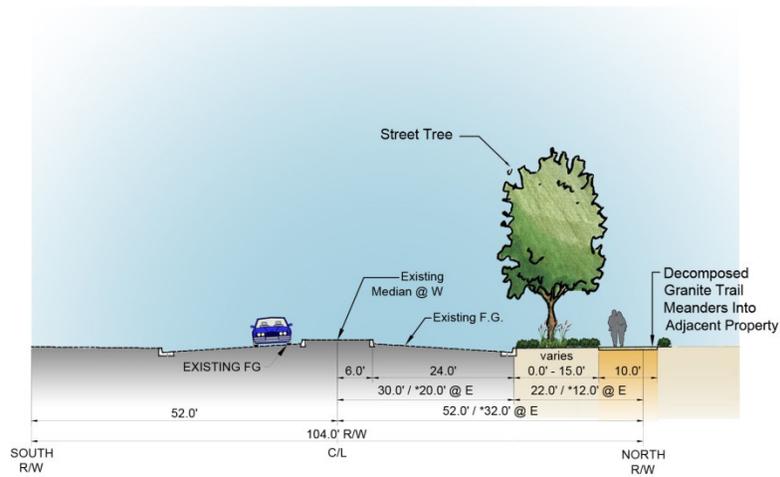


Figure 4.8 – Mission Road (104' ROW)



MISSION ROAD
TYPICAL SECTION SOUTH PARK

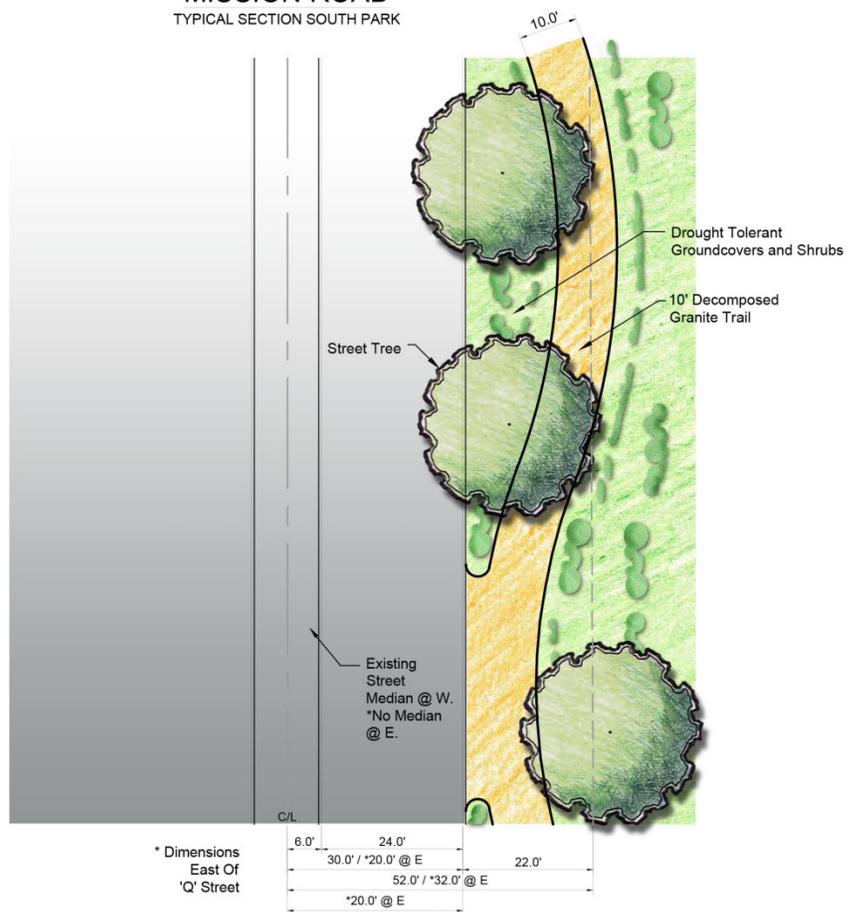


Figure 4.9 – Park Avenue–Fronting Planning Area 2–6 (88' ROW)

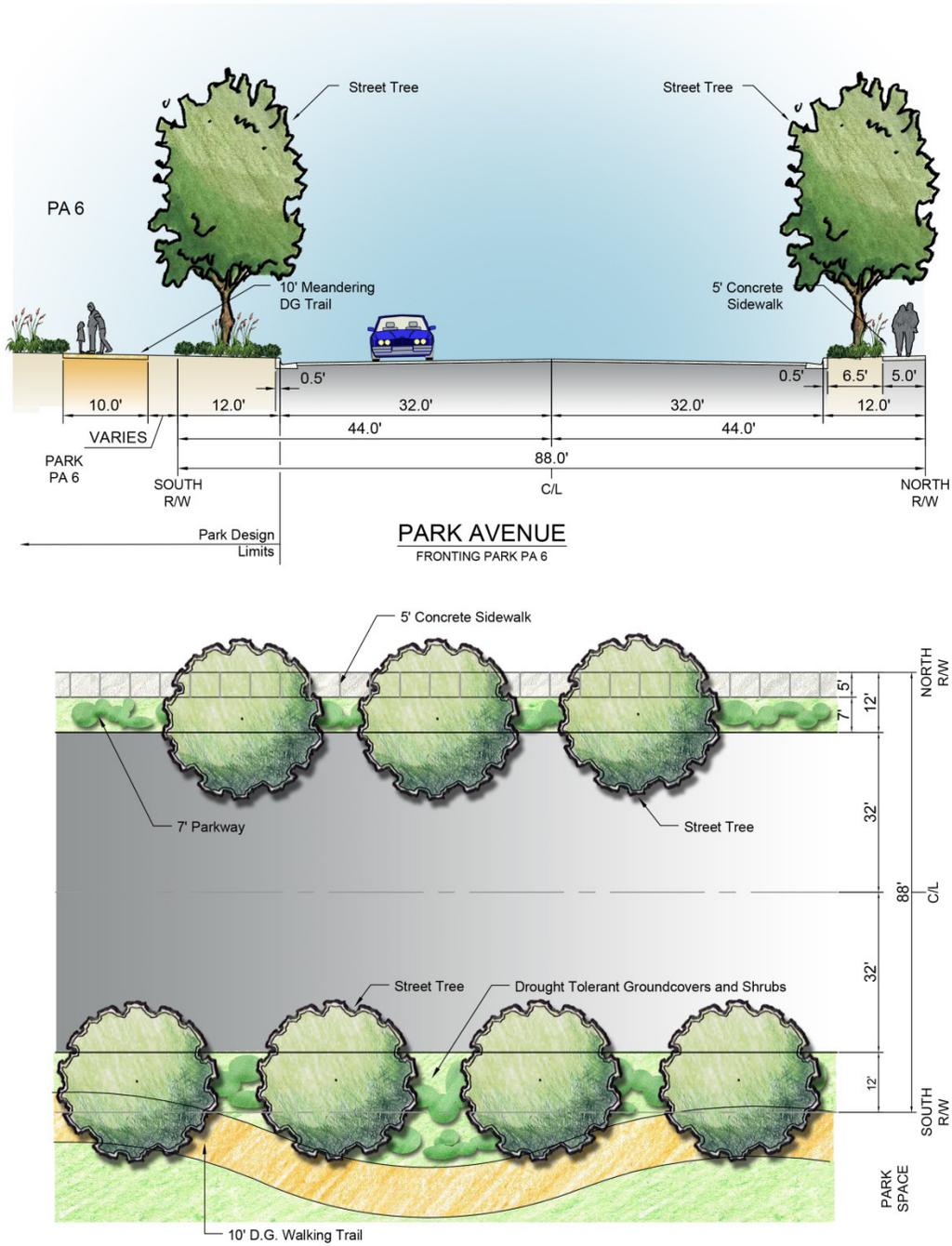


Figure 4.10 – Park Avenue–Fronting Planning Area 2–7 (88’ ROW)

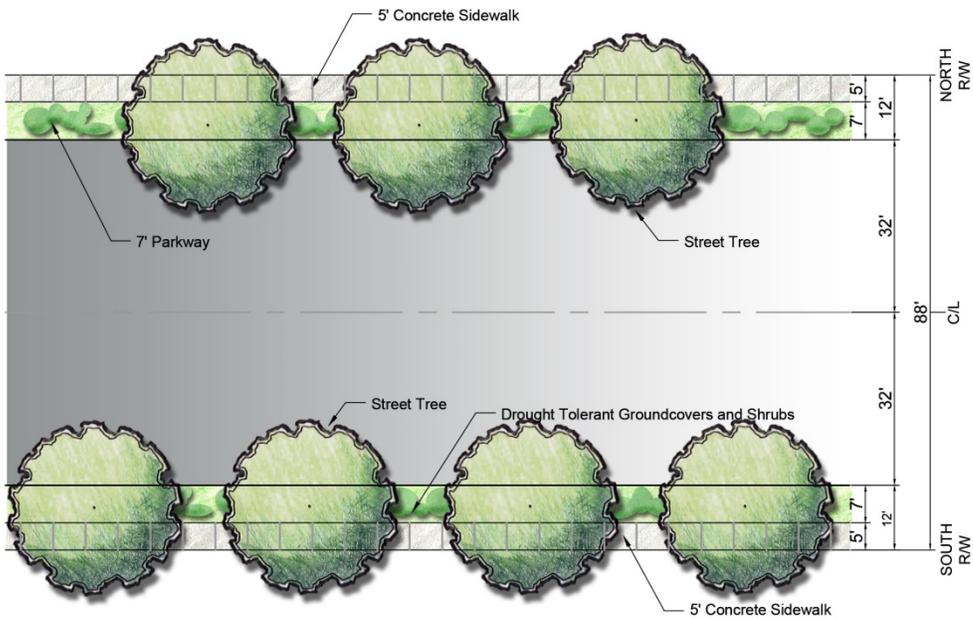
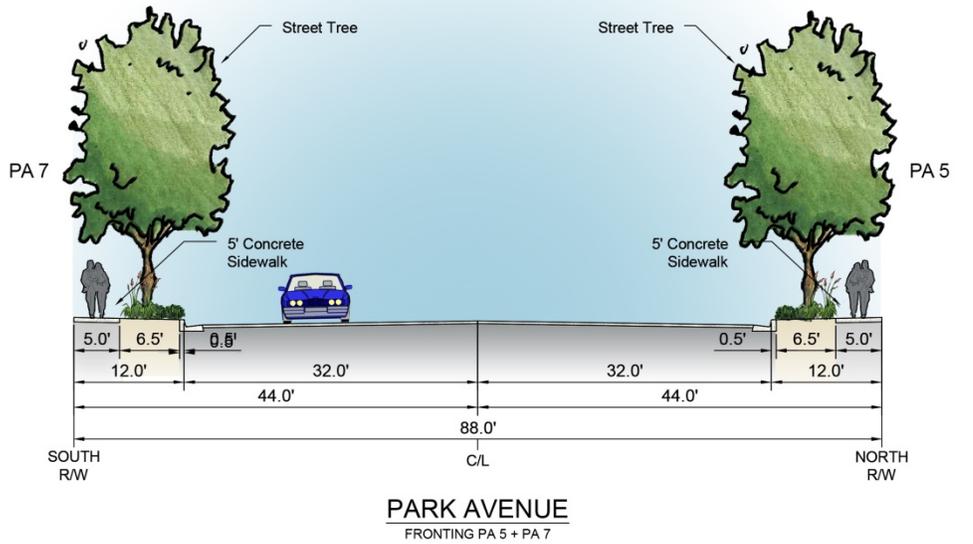


Figure 4.11 – Park Avenue–Fronting Planning Area 3–4 (88' ROW)

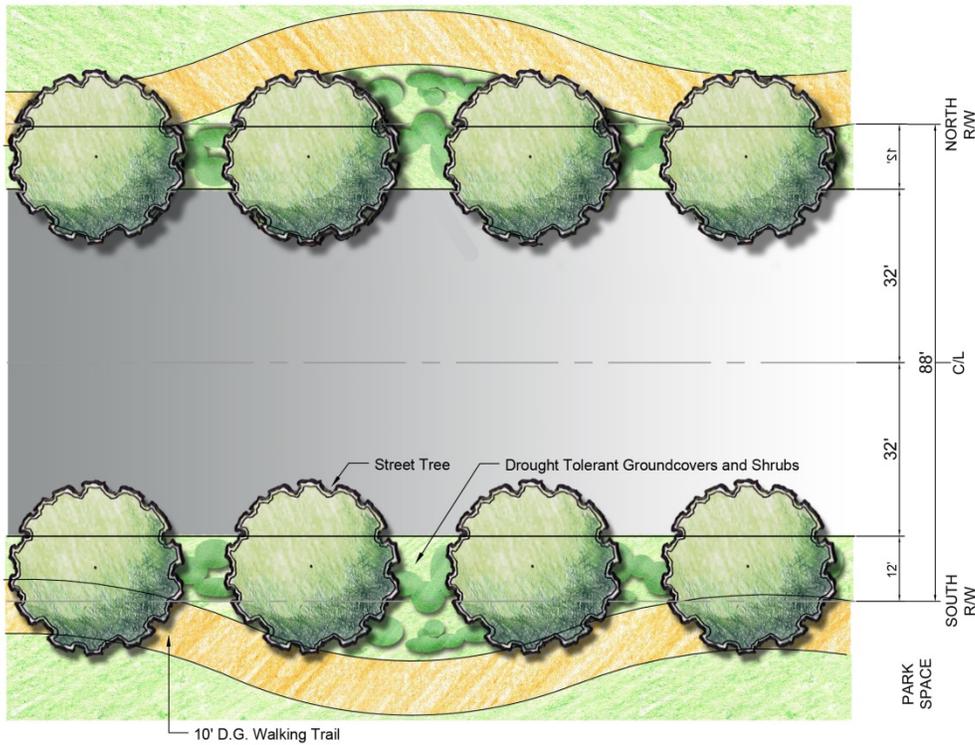
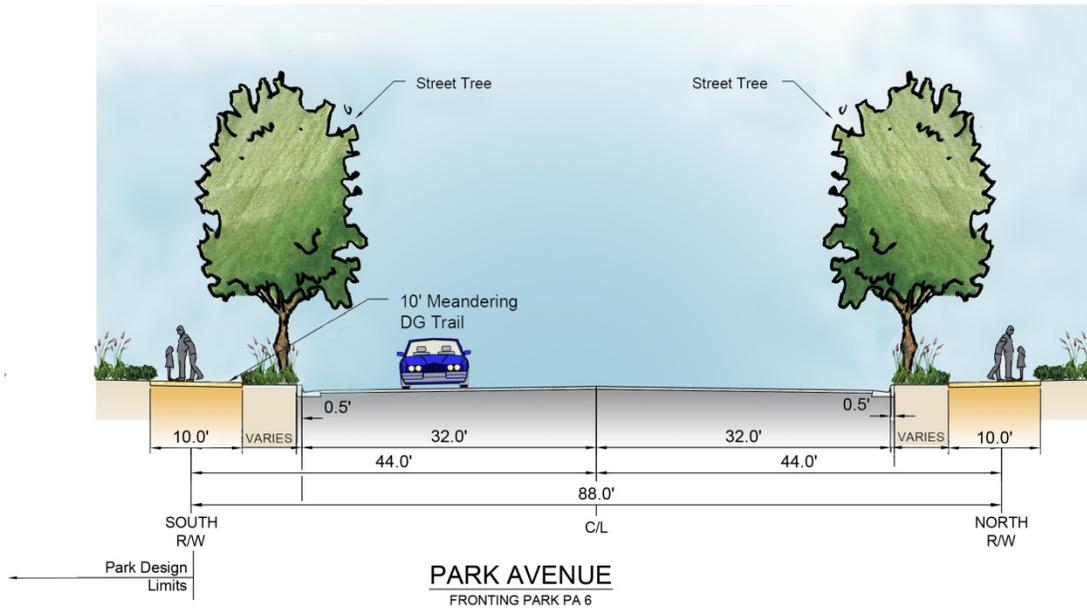


Figure 4.12 – Park Avenue–Fronting Planning Area 3-2 (88' ROW)

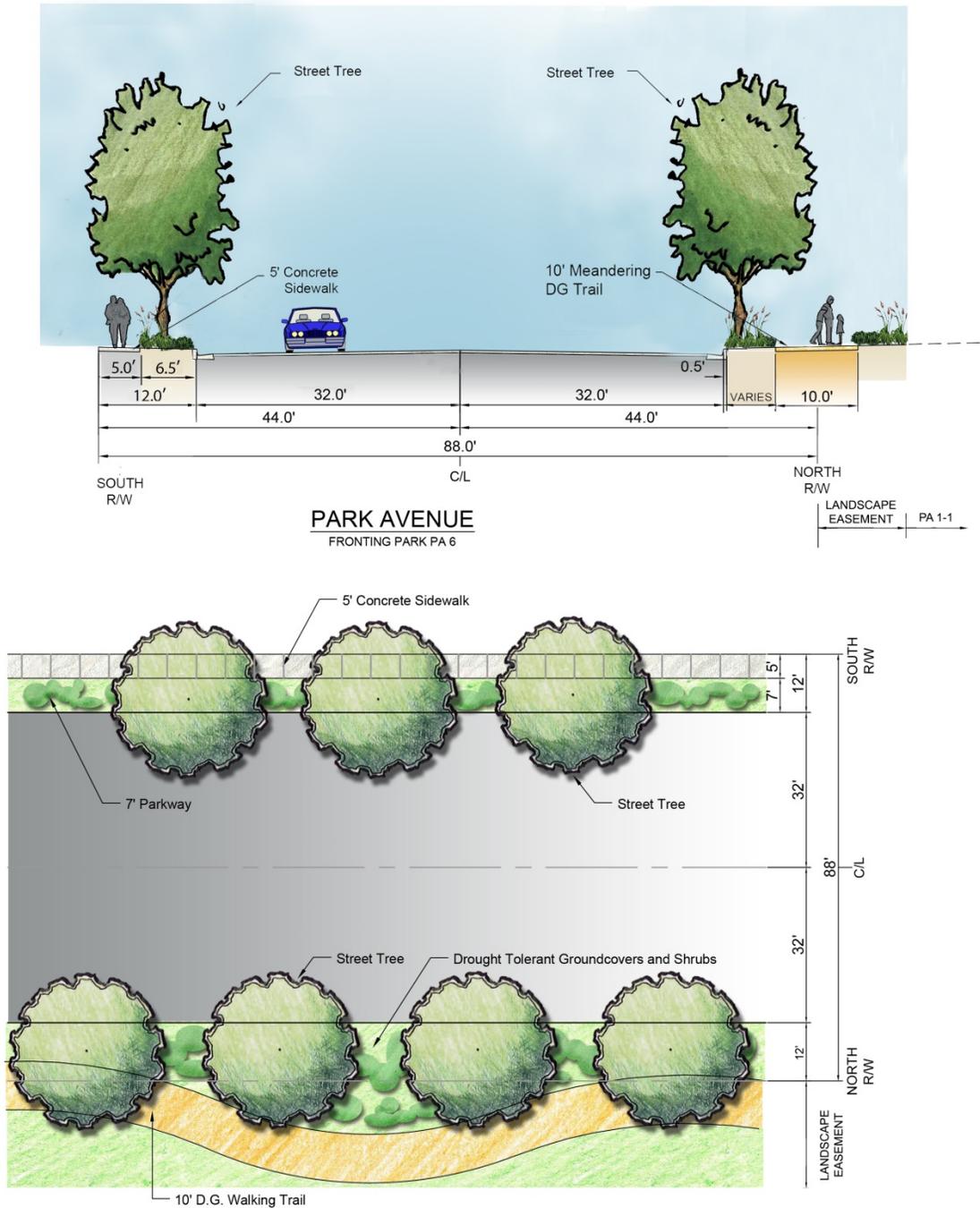


Figure 4.13 – Citrus Avenue–Typical (64' ROW)

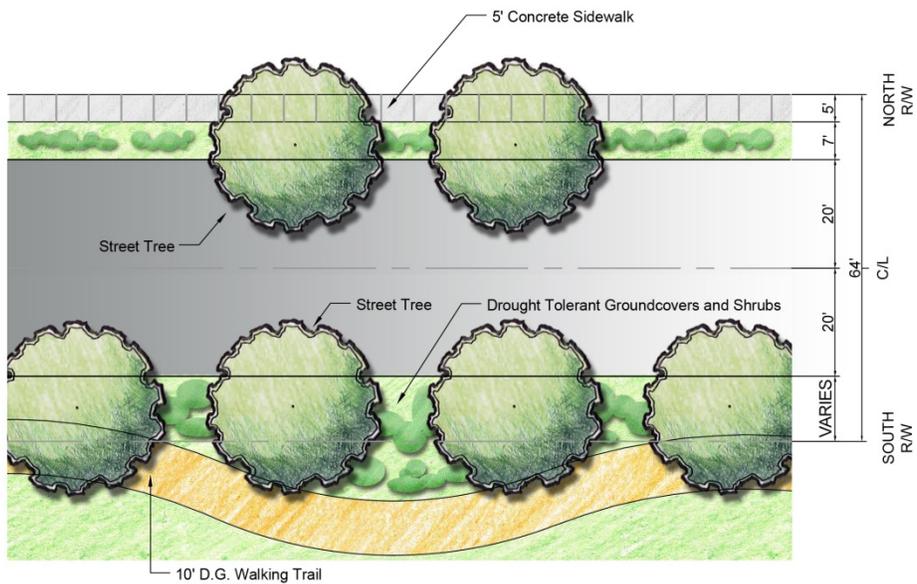
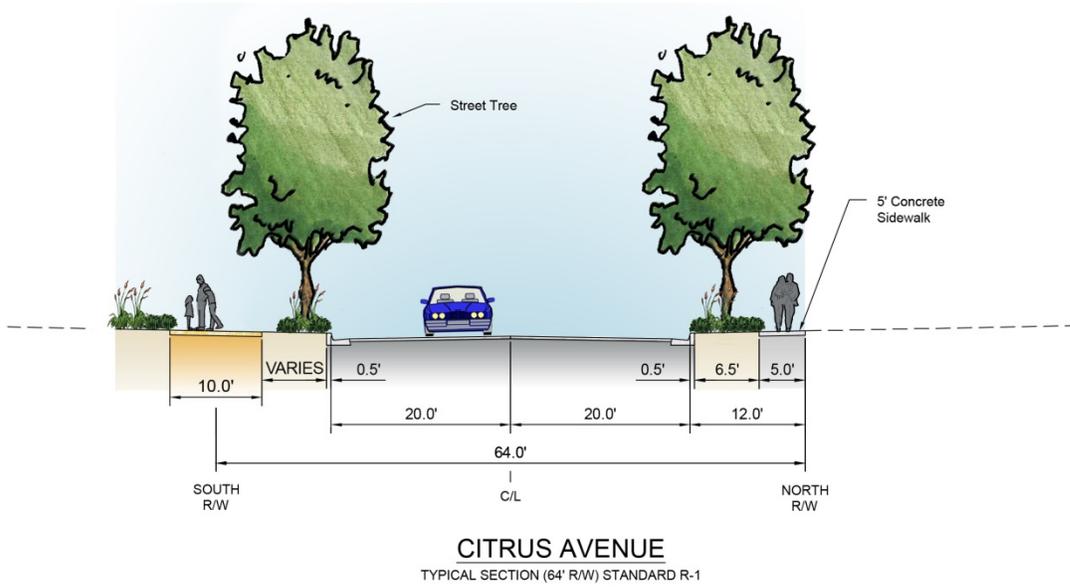


Figure 4.14 – Citrus Avenue–Fronting Planning Area 3-4 (64' ROW)

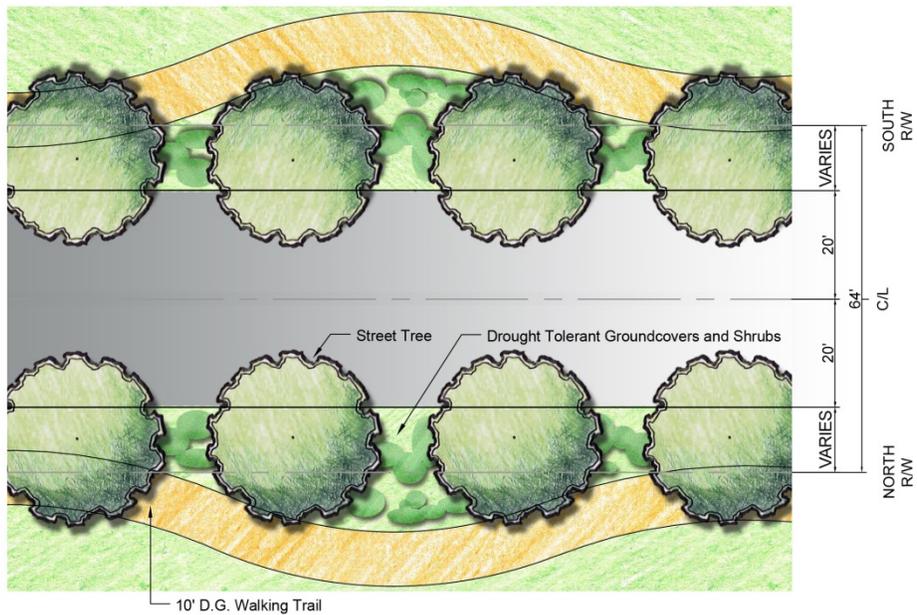
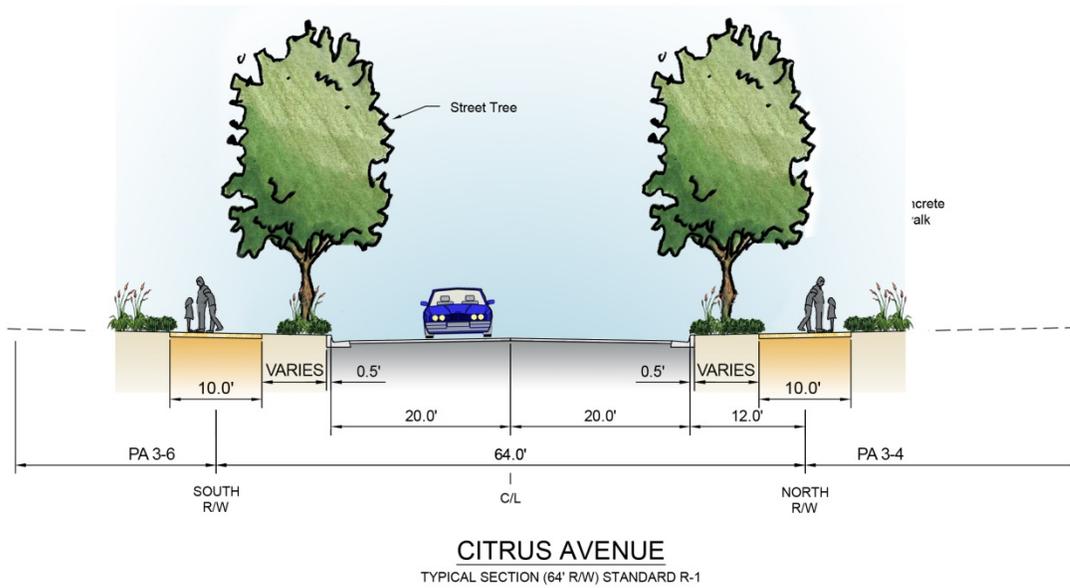


Figure 4.15 – Orange Avenue–Typical (64'–88' ROW)

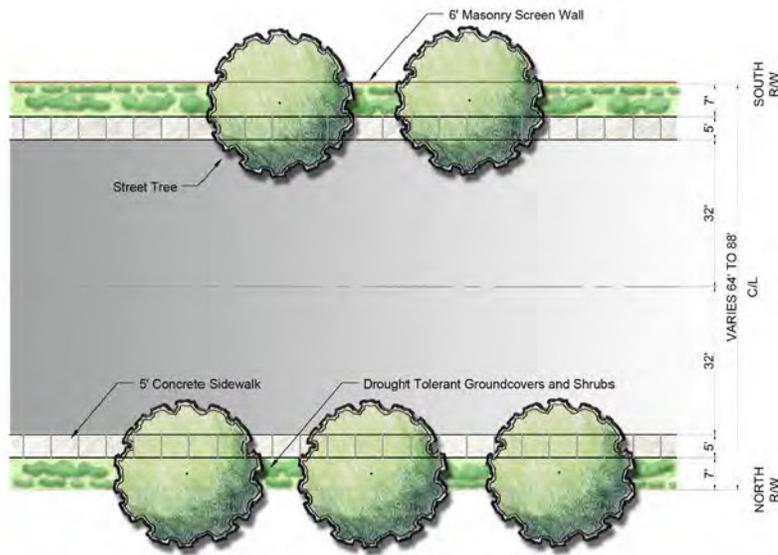
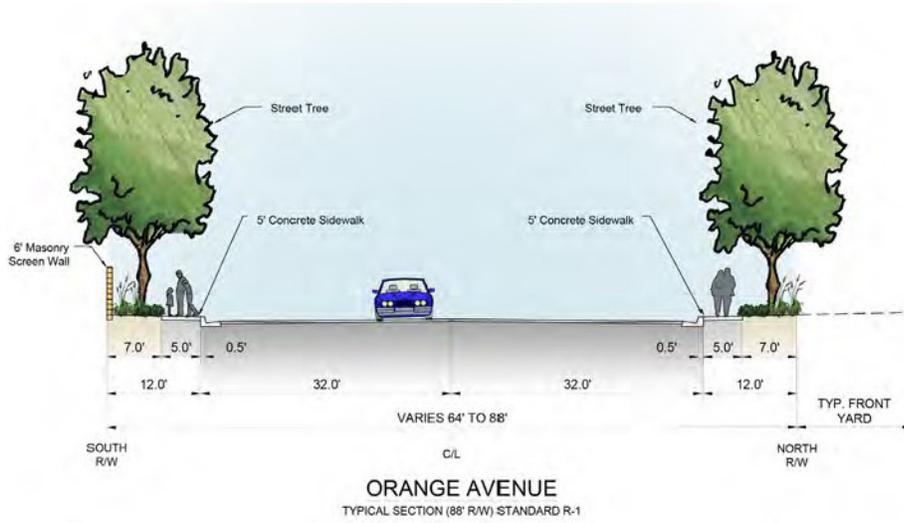


Figure 4.16 – Orange Avenue @ South Park/Residential

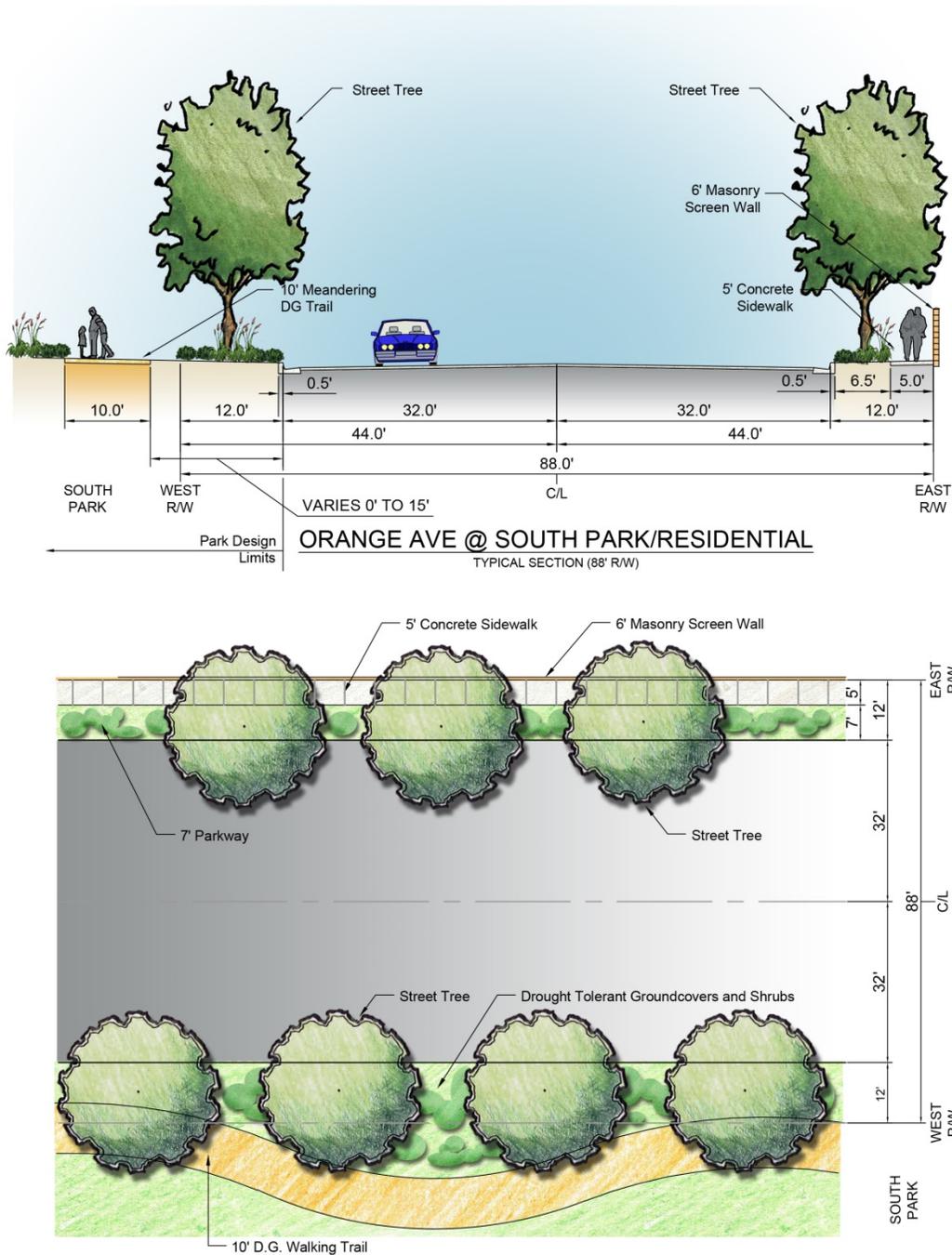


Figure 4.17 – Orange Avenue @ South Park/Mission Road

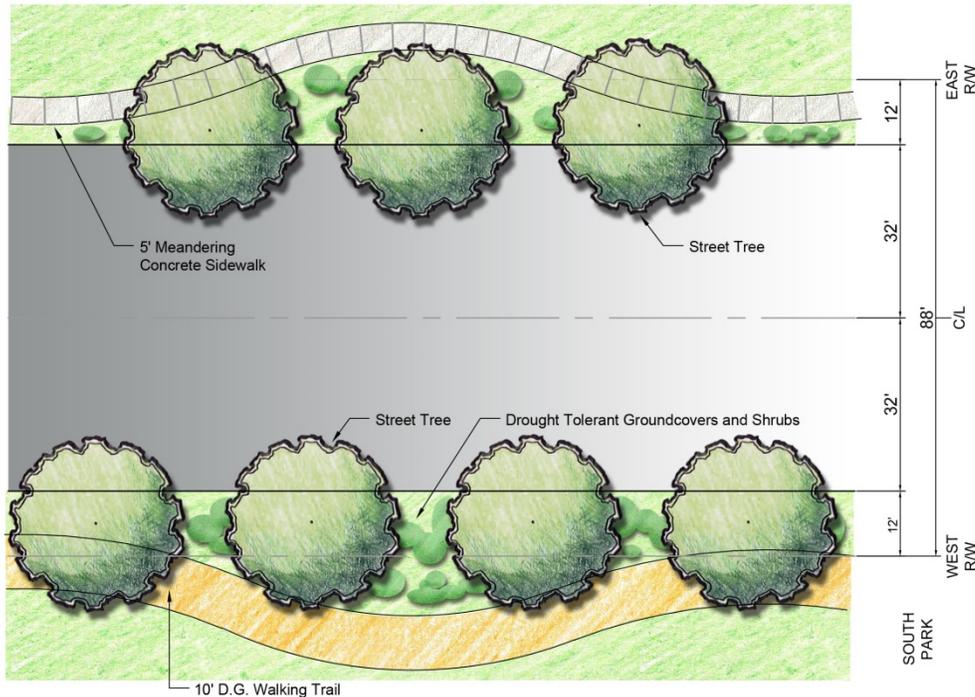
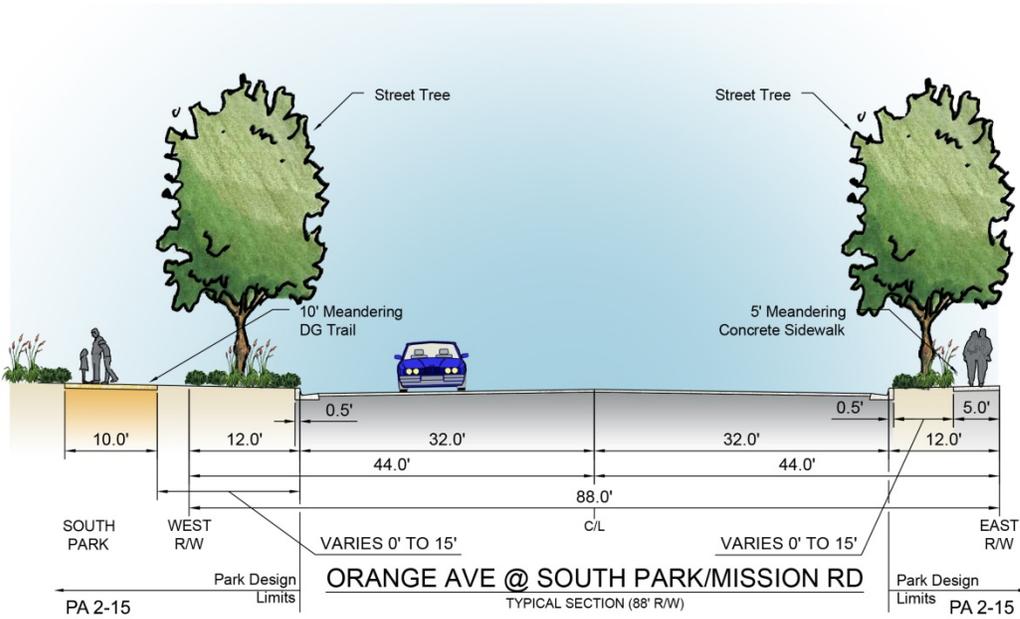
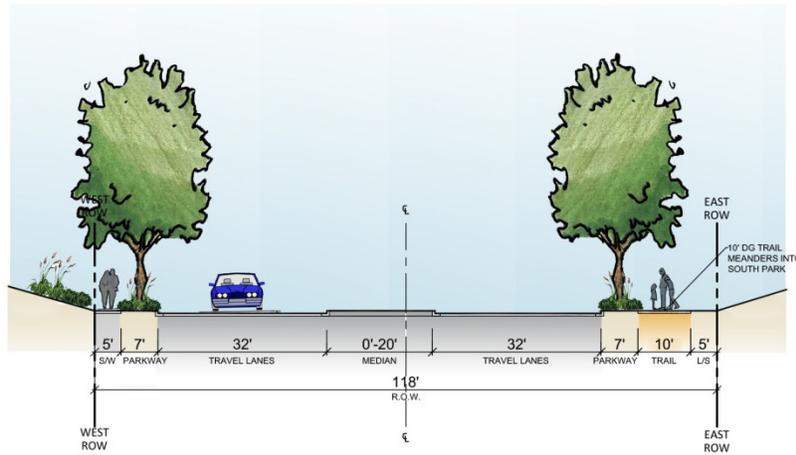


Figure 4.18 – Bryn Mawr Avenue (118' ROW)



BRYN MAWR AVENUE
TYPICAL SECTION (118' R/W)

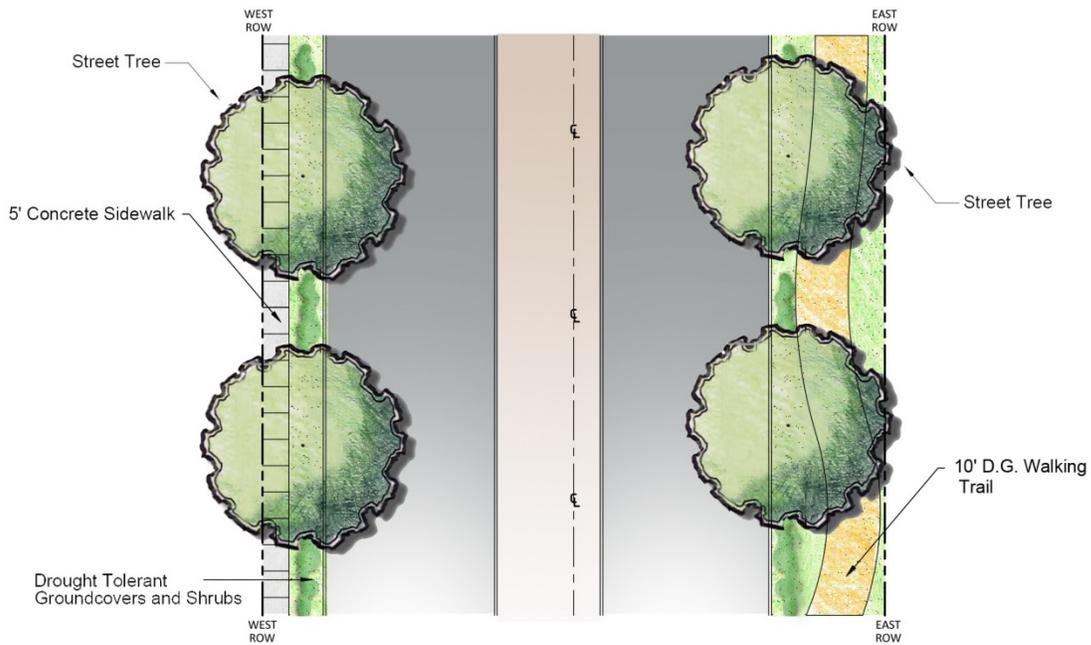
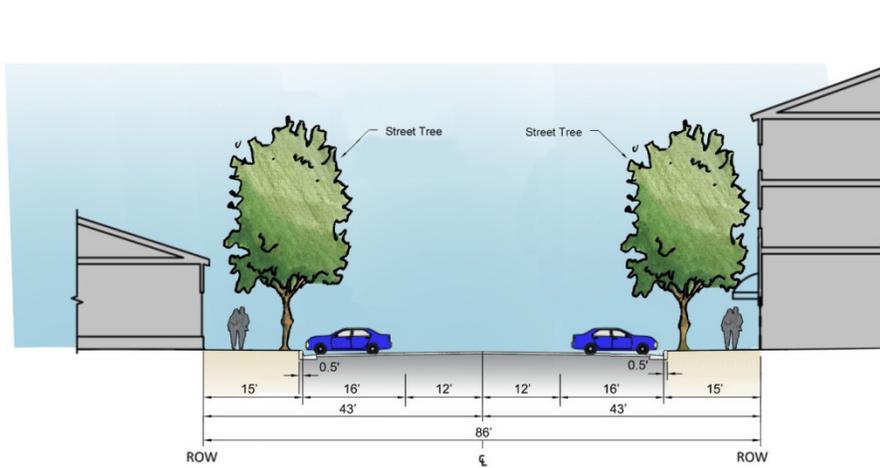


Figure 4.19 – Internal Main Street (86' ROW)



INTERNAL MAIN STREET
TYPICAL SECTION (86' R/W)

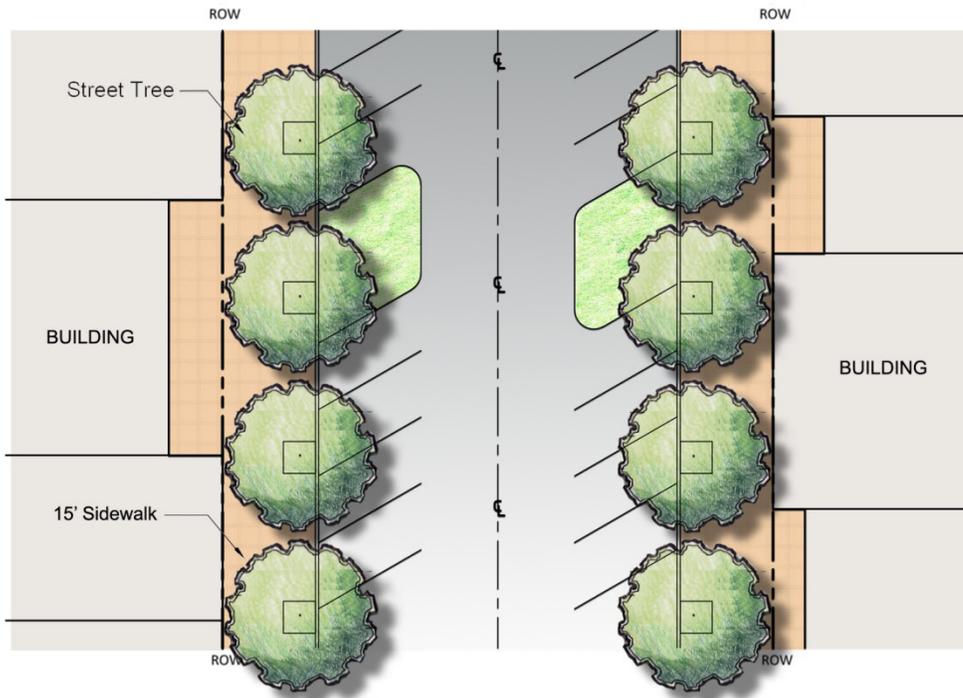


Figure 4.20 – Local Street (60' ROW)

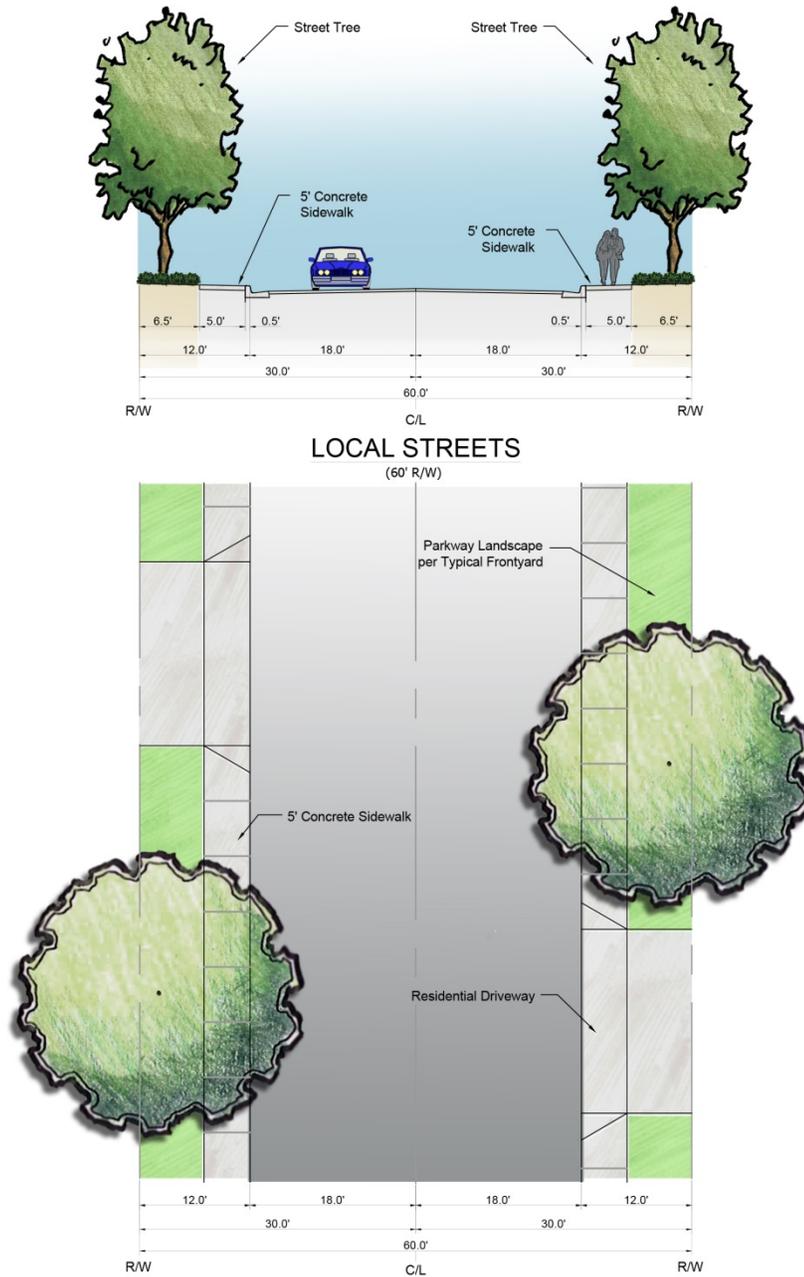
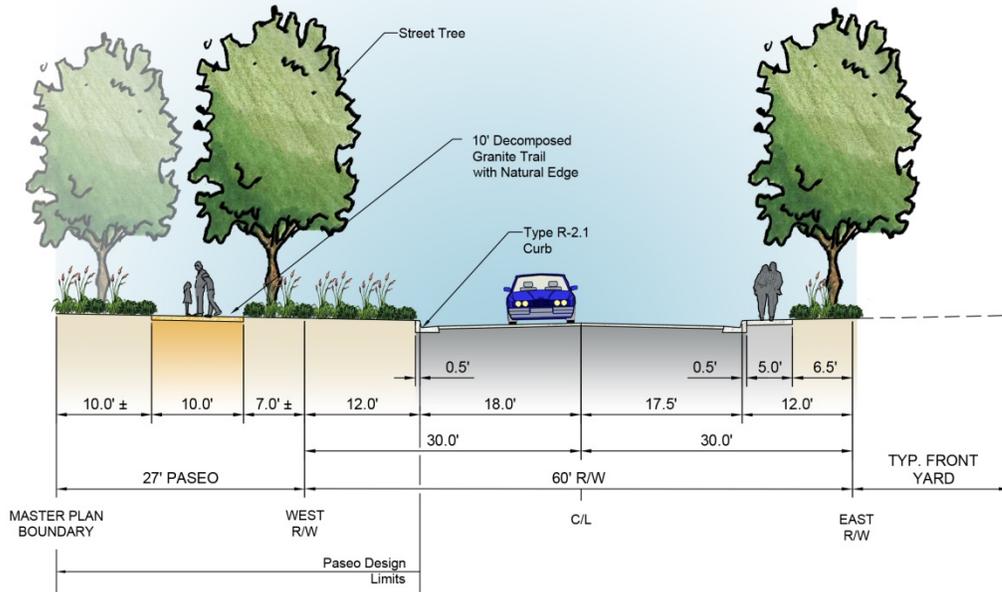
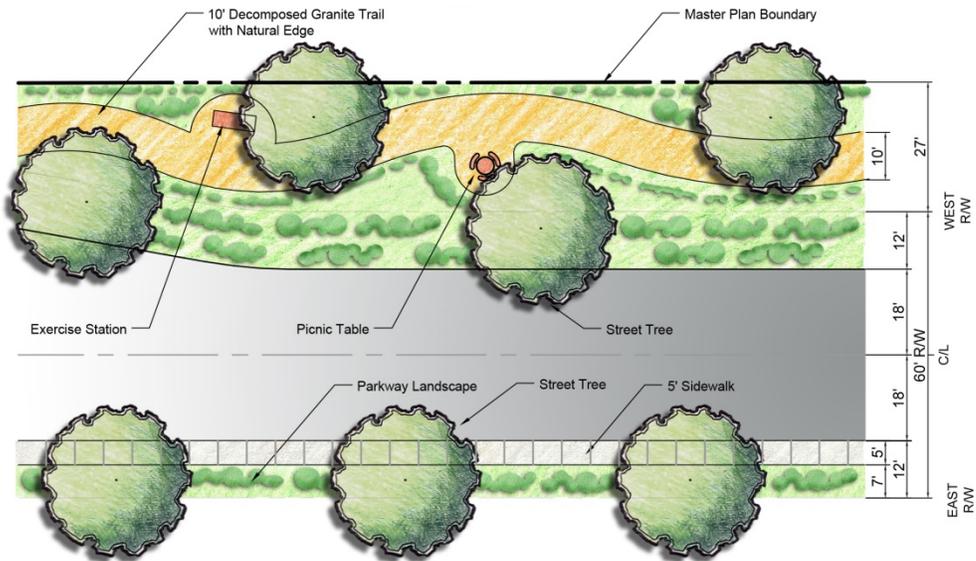


Figure 4.21 – Paseo at Local Street



PASEO AT LOCAL STREET



4.5.7 - Wall and Fence

THE GROVES has been designed to limit the need for block walls by orienting the residential development to face the street whenever feasible. Walls and fences are located where residential uses interface with California Street, parks, mixed use areas, or off-site land uses. A Wall and Fence Plan is not prescribed for the remainder of the Specific Plan area. However, where walls and fences are used, the following design guidelines shall apply.

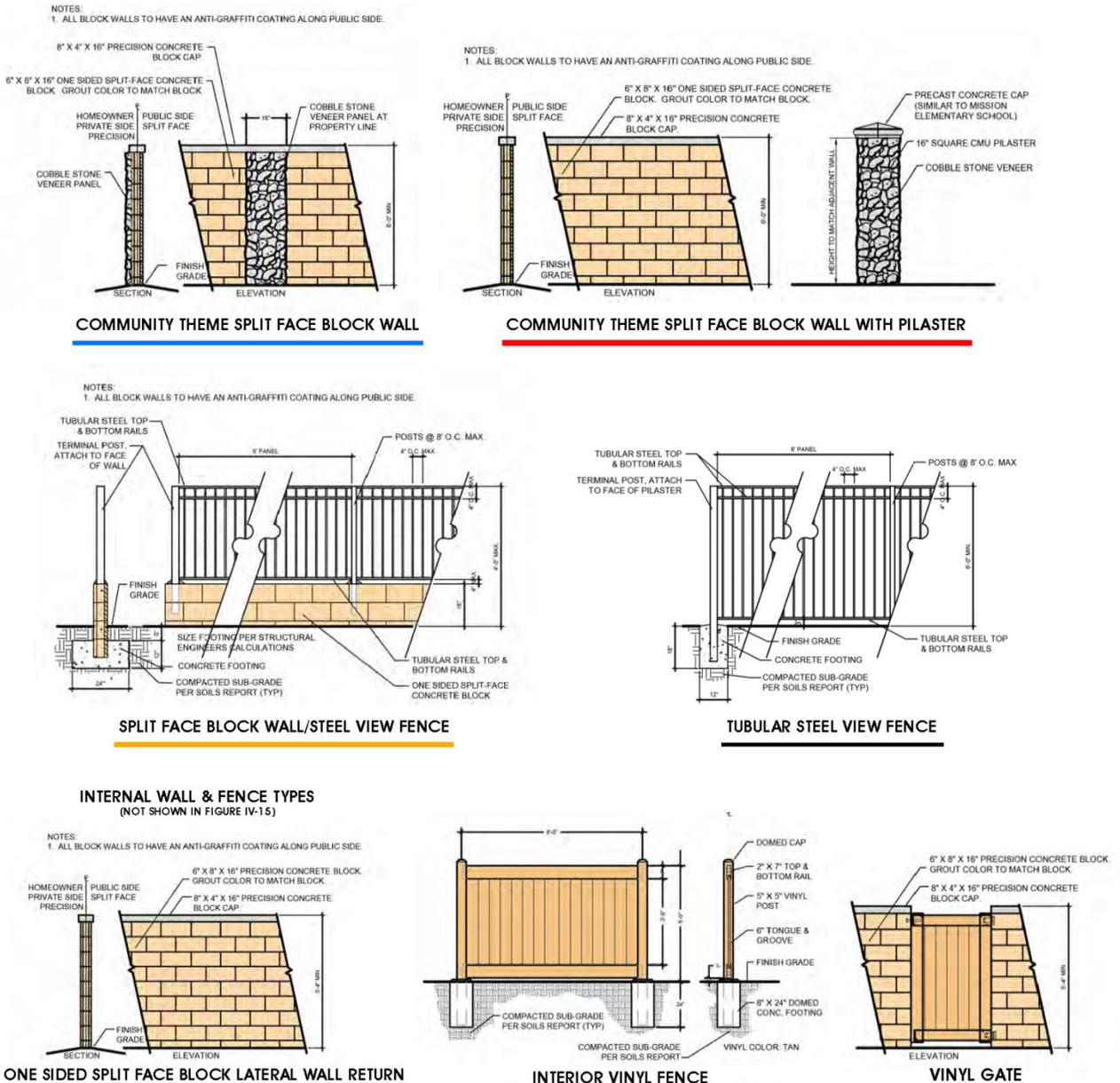
The walls and fencing within THE GROVES are major visual elements carefully designed to complement the overall theme. Visual cohesion is achieved through the design of “community walls” and general wall guidelines. Community walls and fences are designed as an integral component and extension of the building design and surrounding landscape. Periphery walls integrate into the adjacent structure and extend into the landscape to help integrate the building into its environment. Walls and fences feature materials, colors, and textures that are harmonious with the architecture and gates are complementary in style and color to the fence or wall. The walls and fencing are designed for easy maintenance to provide a durable, long-term edge.

The types of walls and fencing allowed are described below and conceptually depicted on Figure 4-22, *Wall and Fence Details*.

- **Community Theme Split Face Block Wall:** The Community Theme Split Face Block Walls shall consist of 6-foot high block walls with split-faced finish and 2-inch cap. Cobble stone-clad pilasters with concrete caps accent the theme wall at regular intervals.
- **Community Theme Pilaster:** The Community Theme Pilasters shall consist of cobble stone veneer over a 16-inch square Concrete Masonry Unit (CMU) pilaster with a precast concrete cap similar to the existing cap found at Mission Elementary School to the north. The Community Theme Pilaster primarily occurs along the Community Theme Split Face Block Wall adjacent to California Street.
- **Split Face Block Wall/Steel View Fence:** The Split Face Block Wall/Steel View Fences consist of a maximum 4-foot high combination fence with 18-inch high split face concrete block on the lower section and tubular steel posts with top and bottom rails on the upper section to provide for views.
- **Tubular Steel View Fence:** The Tubular Steel View Fences provide a minimum 6-foot high barrier made of tubular steel posts, top rails, and bottom rails that allow for views.
- **One Sided Split Face Block Lateral Wall Return:** Each single-family residence provides a block wall return separating the front yard from the private rear yard. This requirement does not apply to Planning Area 3-6, Very Low Residential, where fencing may be customized by lot.
- **Interior Vinyl Fence:** Vinyl fencing is used along the interior property lines of the single-family residential lots. The vinyl fencing is 5-foot high and tan in color. It is designed with a tongue and groove pattern with top rails, bottom rails, and posts with domed caps. This requirement does not apply to Planning Area 3-6, Very Low Residential, where fencing may be customized by lot.

- Vinyl Gate:** Along the lateral wall return separating the front yard from the rear yard, each single-family residence provides pedestrian access to the rear yard via a vinyl gate. This requirement does not apply to Planning Area 3-6, Very Low Residential, where fencing may be customized by lot.

Figure 4.22 - Wall and Fence Details



4.5.8 - Landscape Interface

Landscape transitions between land uses are necessary to separate the variety of on-site and off-site land uses. The following conceptual landscape interfaces are to be used in guiding the site planning of individual planning areas and projects, based on the mix of uses within the planning area and the existing or future surrounding context.

a. Single-Family Residential to Park Interface

Figure 4-23, *Interface – Single-Family Residential/Park*, illustrates the interface between single-family residential uses and a park such as North Park or South Park, where rear yards of the residential lots abut the adjacent park. In this condition, a 6-foot high masonry wall should separate the residential lots from the park. Adjacent to the masonry wall, the park should contain a 20 to 40-foot landscape buffer, which includes evergreen canopy trees. The single-family residential lots may be further separated from the active areas of the park by a 10-foot wide meandering decomposed granite trail adjacent to the perimeter landscaping.

b. Single-Family Residential to Mixed Use Interface

Figure 4-24, *Interface – Single-Family Residential/Mixed Use*, illustrates the interface between low density residential land uses, such as in Planning Area 2-8 and Mixed Use land uses in Planning Area 2-9, 2-10, and 2-11. In this condition, a 6-foot high masonry wall separates the single-family residential lots from the Mixed Use Planning Areas. The Mixed Use Planning Areas require a 10 to 30-foot wide building setback, depending on the height of the Mixed Use building(s). This setback area is used to provide a landscape buffer of evergreen trees, but may also contain parking and drive aisles.

c. Senior Housing to Mixed Use Interface

Figure 4-25, *Interface – Senior Housing/Mixed Use*, illustrates the interface between the Senior Housing residential use in Planning Area 2-3 and the adjacent Mixed Use Planning Areas. Where Senior Housing and Mixed Use Planning Areas abut, no minimum building setback from the property line is required, except as specified by the Fire Department. Landscaping, parking, and drive aisles are allowed within a setback area. Pedestrian circulation between Senior Housing and the retail/services in the Mixed Use areas is facilitated by limiting the use of walls and/or ensuring adequate pedestrian access.

d. Senior Housing to Water Quality Basin Interface

Figure 4-26, *Interface – Senior Housing/Water Quality Basin*, illustrates the interface between the Senior Housing land use and the water quality basin located in the northwest corner of Planning Area 2-3. In this condition, the building(s) within Senior Housing provide a 10 to 20-foot wide (depending on the height of the buildings) landscaped setback area. The water quality basin landscaping, which will serve water quality functions, helps to provide buffering and adds visual interest.

e. Mixed Use to Off-Site RV Park Interface

Figure 4-27, *Interface – Mixed Use/Off-Site RV Park*, illustrates the interface between the Mixed Use in Planning Areas 2-1 and 2-4 and the RV park community located in Planning Area 3-7. In this condition, a 6-foot high masonry wall separates the Mixed Use Planning Areas from the off-site RV park. Within the Mixed Use Planning Areas, a 10 to 20-foot wide (depending on the height of the Mixed Use buildings) landscaped setback area that includes evergreen screen trees provides buffering between the uses. Parking and drive aisles are allowed within the setback area in the Mixed Use Planning Areas.

f. Mixed Use to Off-Site School Interface

Figure 4-28, *Interface – Mixed Use/Off-Site School*, illustrates the interface between the Mixed Use in Planning Areas 2-4 and 2-5 and Mission Elementary School located at the corner of Redlands Boulevard and California Street. In this condition, a 6-foot high masonry wall separates the Mixed Use Planning Areas from the off-site school. Within the Mixed Use Planning Areas, a 10 to 20-foot wide (depending on the height of the building(s) in the Mixed Use areas) landscaped setback area that includes evergreen screen trees provides buffering between the uses. Parking and drive aisles are allowed within the setback area in the Mixed Use Planning Areas. On the Mission Elementary School site, landscaping, drive aisles, and a parking lot are located adjacent their western boundary, providing further buffering between the Mixed Use buildings and active student areas.

Figure 4.23 – Interface–Single Family Residential Park

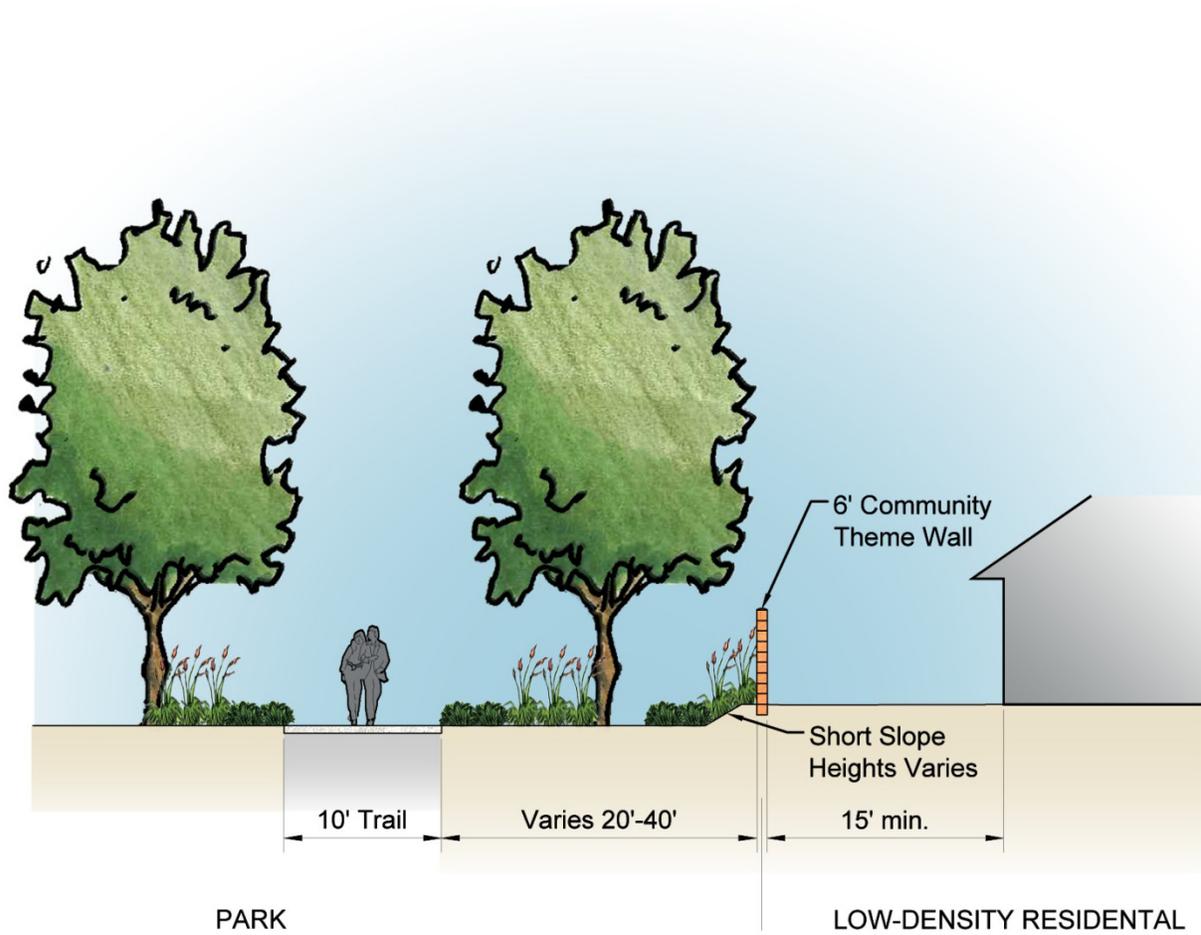


Figure 4.24 – *Interface-Single Family Residential/Mixed Use*

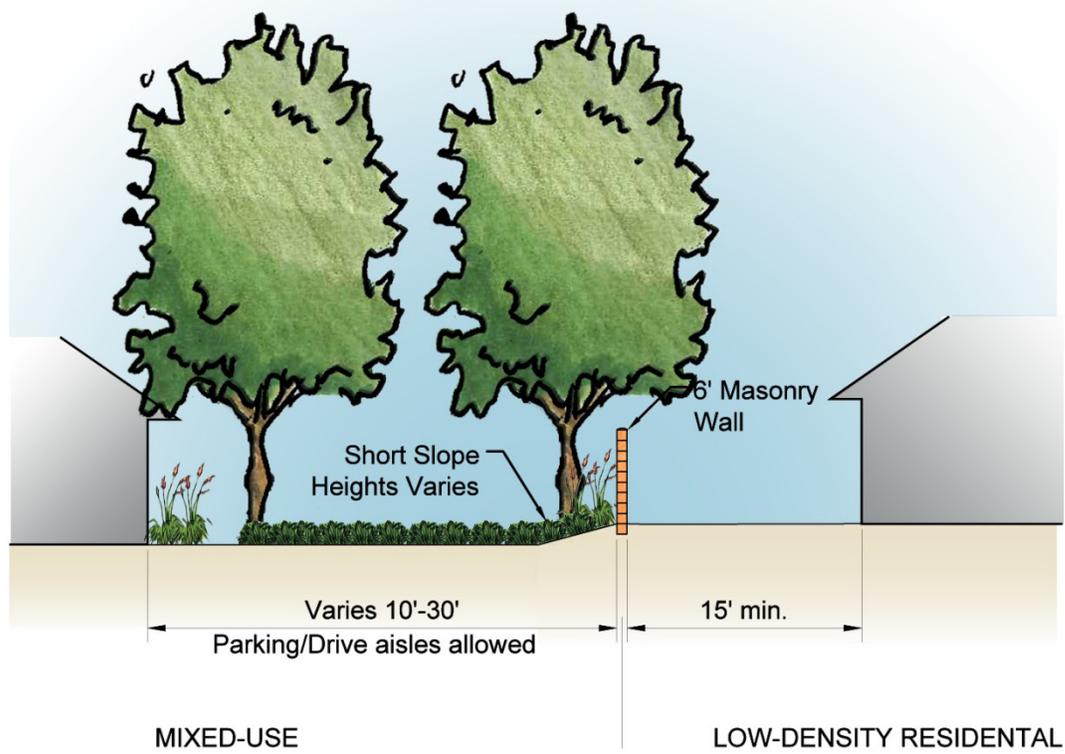


Figure 4.25 – *Interface-Senior Housing/Mixed Use*

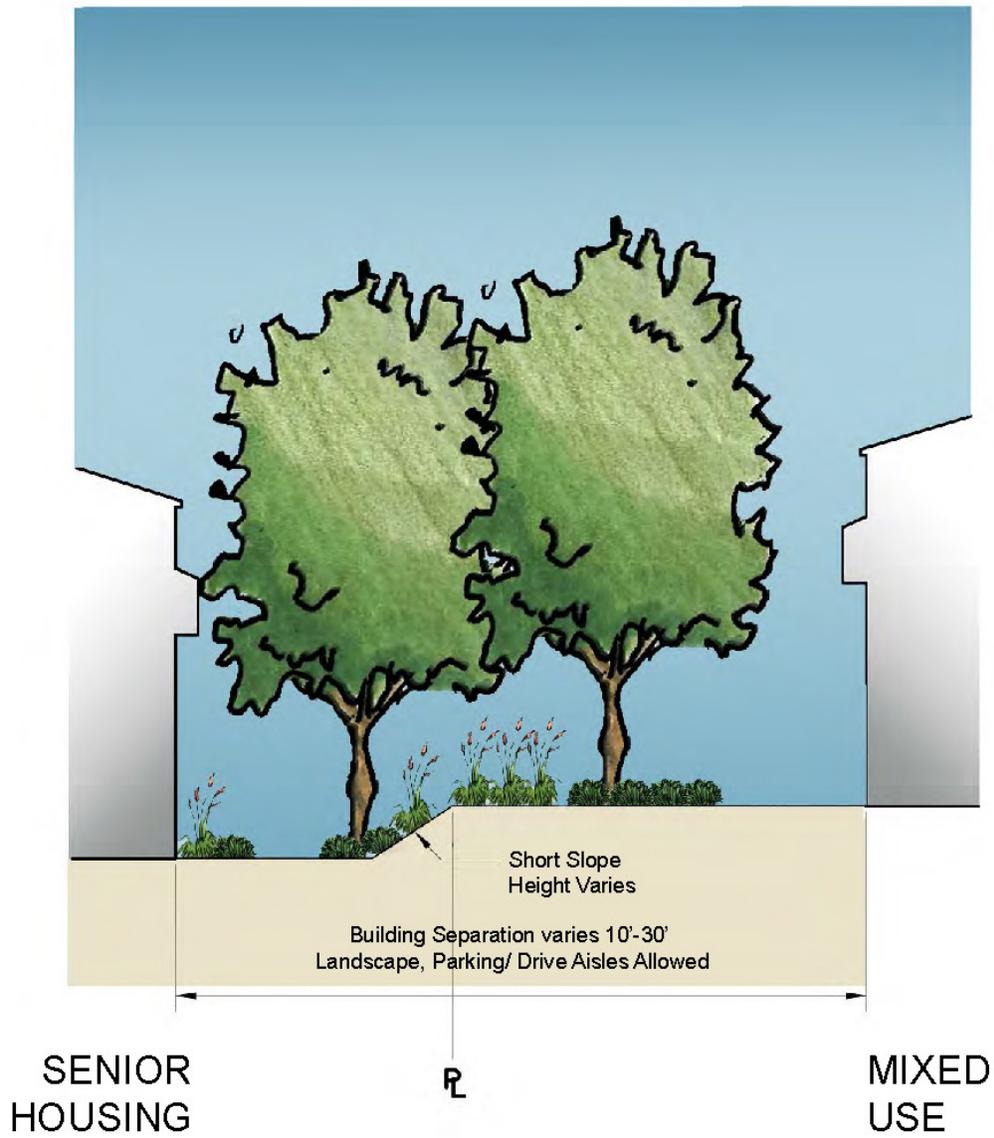


Figure 4.26 – *Interface-Senior Housing/Water Quality Basin*

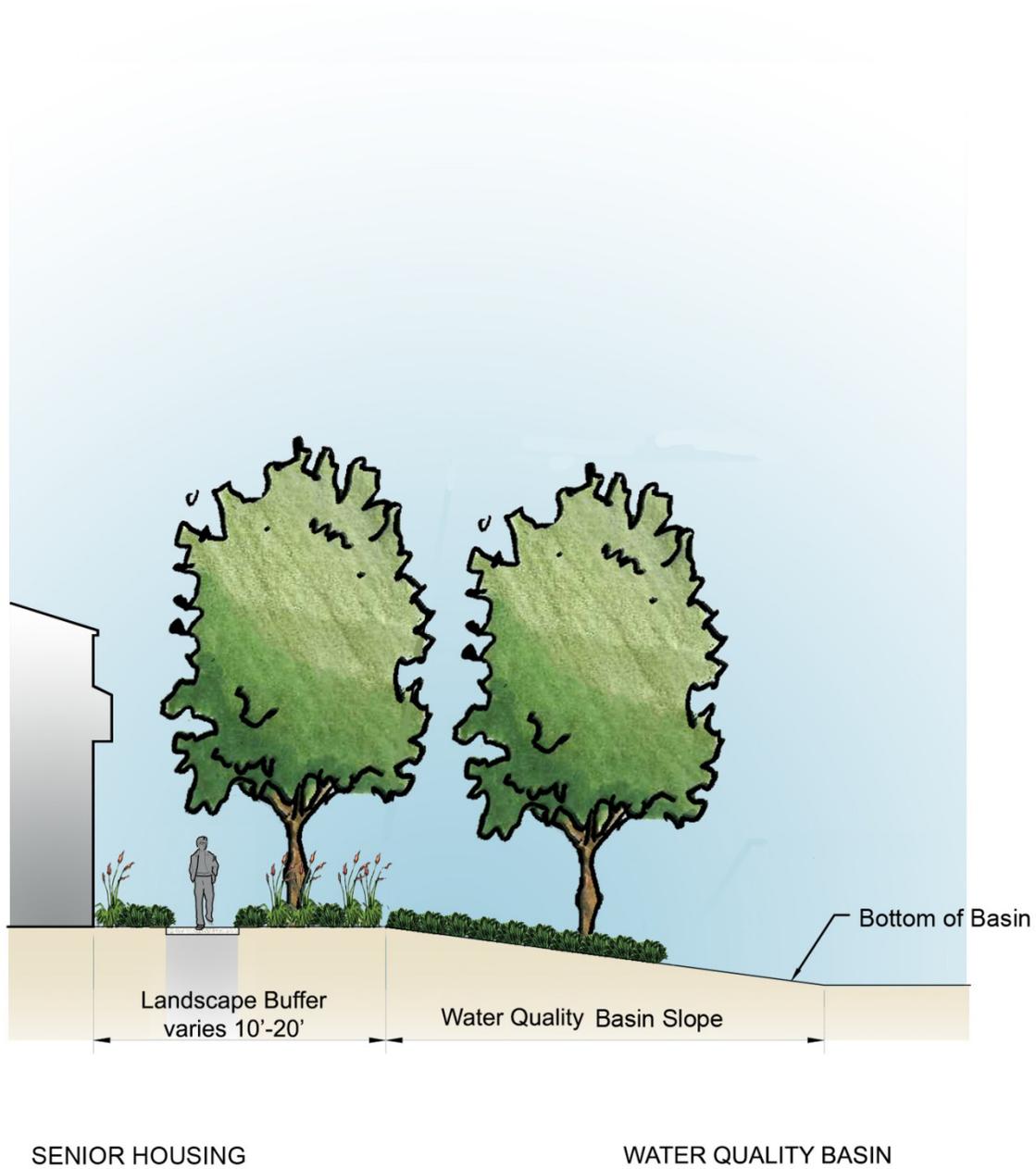


Figure 4.27 – Interface-Mixed Use/Off-Site RV Park

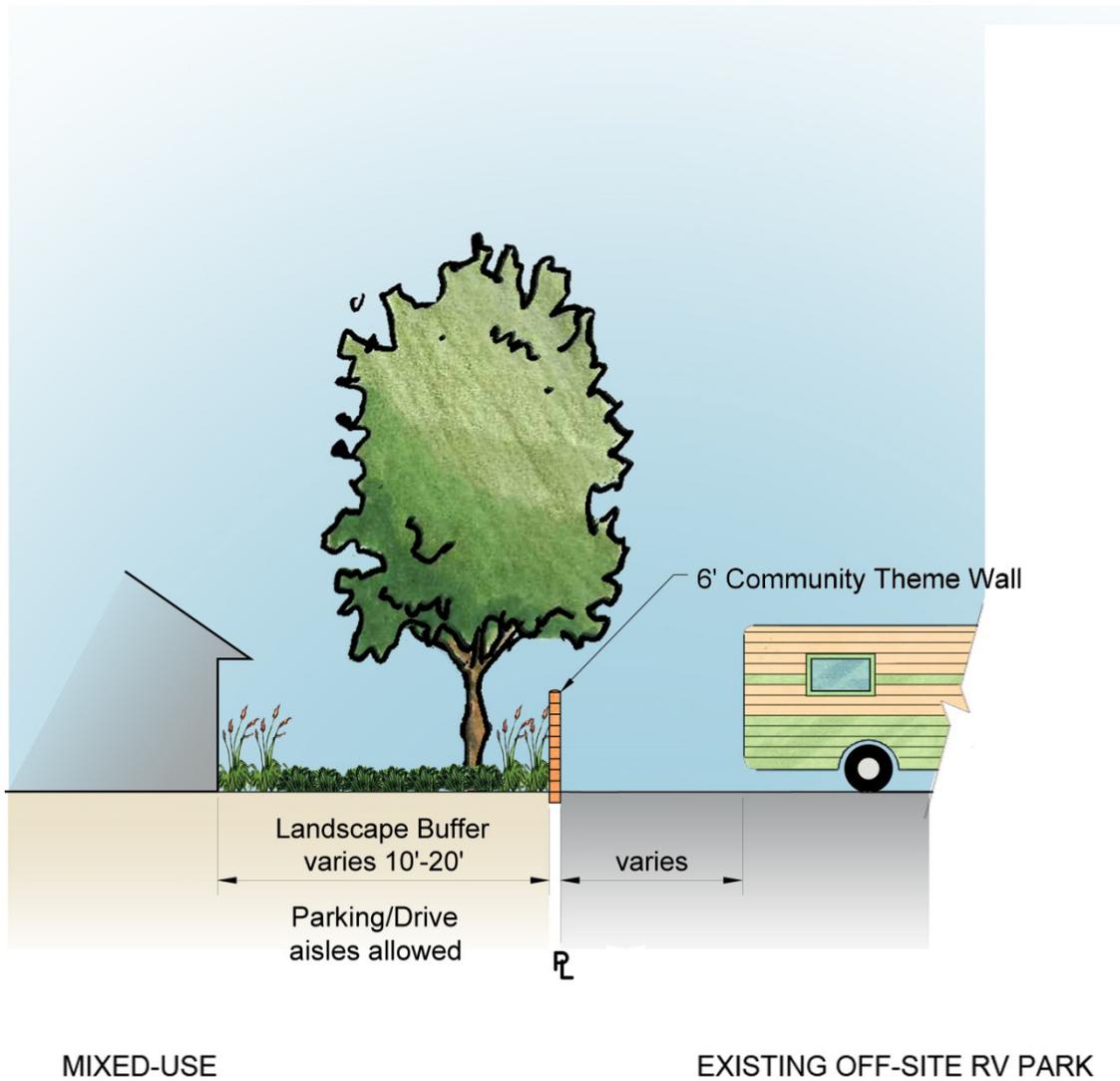
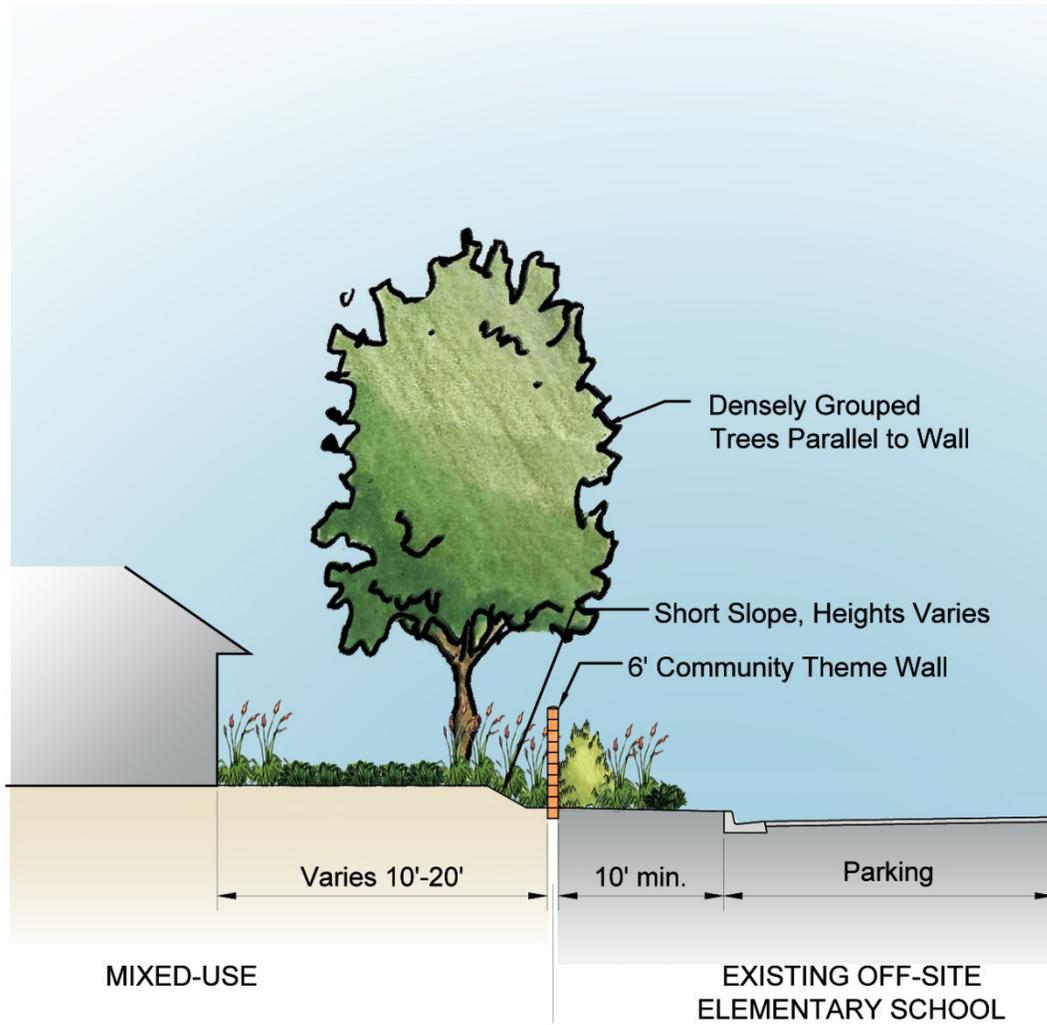


Figure 4.28 – *Interface-Mixed Use/Off-Site School*



4.6 - PROPERTY MAINTENANCE AND MANAGEMENT

All improvements within The Groves shall be constructed to standards acceptable to the City of Loma Linda and as specified in this Specific Plan. Each developer, property owner, and/or business operator, shall be responsible for maintenance of its respective area of The Groves community, unless otherwise specifically determined here in or by the City of Loma Linda. See also Section 5.13 of this Specific Plan.

4.7 - REQUIRED REVIEW, APPROVALS AND PERMITS

[In taking action on the Specific Plan, the City Council may provide direction to City staff for revisions to the Public Hearing Draft, dated June 2018, and for incorporation into the final adopted version of the Specific Plan. This section will be completed and finalized by the Community Development Director as directed by the City Council.]

Administration of this Specific Plan shall be through the Precise Plan of Design and/or Subdivision application process as established by the Department of Community Development. Development plans to implement this Specific Plan shall be submitted to the Community Development Director to ensure that the proposed development plans comply with all provisions of this Specific Plan. All such submittals shall be accompanied by a City-approved application form, all required supplemental information materials, as well as all the applicable filing and other fees specified by the City's adopted Fee Schedule and/or as specified in this Specific Plan.

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5

IMPLEMENTATION



Chapter 5 - Implementation and Administration

This Chapter contains the procedures for administration of the provisions included herein, including procedures for amendments if needed. Other information covered in this Chapter pertains to general administration, permitting, monitoring, reporting, amendment procedures, and the linkage between and among these elements. This Chapter also provides discussion of this Specific Plan's relationship to the General Plan, the Loma Linda Municipal Code (LLMC) (including Title 17, Zoning) and other regulatory codes, and consistency with such.

The City of Loma Linda will work toward the effective and efficient implementation of the Specific Plan. Decisions with regard to permit applications and improvements within THE GROVES shall be guided by this Specific Plan, including its Development Plan (i.e., land use concept, open space and recreation plan, etc.), development standards and landscaping guidelines. Specific Plan implementation will be reviewed by the Director of Community Development, the Director of Public Works, the Fire Chief and/or the City Council, as indicated below.

5.1 - GENERAL PLAN CONSISTENCY

California state law requires a Specific Plan to be consistent with the corresponding General Plan. The Loma Linda General Plan land use designation for the Specific Plan area is Special Planning Area D (SPA-D). The General Plan intends that SPA-D be characterized by horizontal and vertical mixed uses, including commercial, office, structured parking and high-density residential, developed along the frontages of Redlands Boulevard and California Street. Single-family, medium-density residential (multi-family) and recreational uses are intended within the central, western and southern portions of the Planning Area. The General Plan's vision for SPA-D is as a "livable, walkable community" with a high level of amenities for residents, including parks, trails/paseos, and other recreational uses, while also exhibiting a high level of design quality

Adoption of the Specific Plan as a comprehensive plan for the future development of THE GROVES maintains the current land use relationships and establishes appropriate development standards and guidelines to ensure that development of THE GROVES will occur in a manner consistent with the guiding policies of the City's General Plan. Specific General Plan policies that THE GROVES Specific Plan will implement and/or facilitate are provided in Appendix B. Projects and/or development/land use activities which are found consistent with this Specific Plan will be deemed consistent with the City's General Plan and its adopted elements and policies.

5.2 - RELATIONSHIP TO CITY ZONING CODE

THE GROVES is zoned predominantly Planned Community (PC), which is intended to accommodate flexibility in development, encourage creative and imaginative design, and provide for development of parcels of land as coordinated projects involving a mixture of residential densities and housing types, community facilities both public and private and commercial areas.

The PC zone allows for creation of unique use regulations and development standards for a development project, provided the regulations and standards clearly implement general plan policy and subsequent project proposals under the planned community zone reflect the character envisioned by the city at the time of planned community zone approval. Consistent with the intent of the PC zone, THE GROVES Specific Plan establishes the unique use regulations and development standards, consistent with General Plan policy, for future development projects within the Specific Plan boundary. The PC also can be used to implement the special planning area designation established under the General Plan.

THE GROVES also includes three planning areas not zoned as PC, but having other “special purpose” zoning. This includes Planning Areas (PA) 0-1 and 0-2, both currently owned/managed/occupied by the Redlands Unified School District (RUSD). Both of these PAs are zoned Institutional-Health Care (I-HC), which accommodates educational institutions consistent with the RUSD’s purpose. PA 3-1, which represents city-owned/managed Heritage Park, is zoned Open Space (OS).

The nature of THE GROVES, and its origin and role as a “special planning area,” necessitates and justifies some deviation from certain zoning development standards that are required for more traditional non-planned community developments or uses, especially those that are oriented to singular uses. This Specific Plan establishes site-specific standards that are appropriate to shape the General Plan’s vision for a “livable, walkable community” offering integrated mixed uses and a high level of amenities for residents, while also exhibiting a high level of design quality.

Except as specifically addressed in this Specific Plan, development and operation of THE GROVES is subject to all other development standards of the LLMC. Where Specific Plan regulations differ from provisions of the LLMC, this Specific Plan supersedes those provisions. When an issue, condition or situation occurs that is not covered or provided for in this Specific Plan, the regulation(s) of the LLMC that is most applicable to the issue, condition or situation shall apply.

This Specific Plan, when adopted by ordinance, becomes the Plan that serves as the planning document for THE GROVES and establishes the use-specific regulations for future development and land use activities within the Specific Plan area. All other City codes and ordinances shall continue to be applicable, unless expressly superseded by the terms of this Specific Plan or unless they are inconsistent with this Specific Plan, in which case they are superseded.

5.3 - SPECIFIC PLAN INTERPRETATION

The Community Development Director shall have the responsibility and authority to interpret the provisions of this Specific Plan when there is a need for clarity in the meaning of its regulations. If there is a conflicting requirement for building standards in regards to uniform building code, the most stringent standard will prevail. All such interpretations shall be reduced to written form and permanently maintained as part of the Specific Plan record.

5.4 - COMPLIANCE WITH GOVERNMENT CODE

All development, construction, operations and maintenance within THE GROVES Specific Plan area shall comply with the applicable codes of all governmental agencies having jurisdiction on such matters including, but not limited to building, mechanical, fire and electrical codes and codes pertaining to drainage, wastewater, public utilities, grading, hazardous materials, conservation and air quality.

5.5 - SPECIFIC PLAN DEVELOPMENT PHASING AND SEQUENCING

Construction of physical improvements within THE GROVES, including development tied to the Phase Two Concept Area Citrus Trails Master Plan, is expected to be initiated as early as 2018 and continued over an estimated 15 year period. This Specific Plan does not specify an order for build out of project improvements. Development may occur in any order determined by market factors, provided that all required provisions for infrastructure and fair share requirements are met.

The planning and design of each Planning Area shall address construction issues such as drainage, storm water management, utilities and parking, as described in this Specific Plan and required by the Environmental Impact Report as development mitigation. Each Planning Area shall be planned as a complete site plan unit.

This Specific Plan does not have an expiration period and shall remain in effect until otherwise repealed.

The Groves does not specify any particular phasing or sequencing of development projects. However, construction and implementation of any development project and/or Planning Area shall demonstrate that all required infrastructure and facilities shall be timed to adequately service each individual development project. This may require construction of the facilities both on-site (within or adjacent to the Planning Area) and/or off-site (within other Planning Areas or outside of the Specific Plan area) to connect with existing facilities that will service that development. To ensure coordination of the provision of required services regardless of the order or sequence of development, The Groves development area is divided into Infrastructure Implementation Improvement Districts, which serve to establish a means for coordinating improvements for areas that share common infrastructure components. All development shall coordinate improvements per the improvement districts program set forth in Sections 3.3.3 and 3.6.3 of this Specific Plan.

5.6 - SPECIFIC PLAN EXEMPTIONS

The following is a list of activities, not described in the Specific Plan, that are exempted from any further review process and are by-right with no further approval required, except as required by the building codes. This list is not all-inclusive and the Community Development Director may exempt other similar de minimus activities not included herein.

- All interior changes to buildings.
- All alterations and construction projects that do not result in an increase of gross building square footage of existing buildings and are not visible from the public right-of-way.
- Re-painting using substantially the same exterior colors to the existing building colors or colors previously approved by the Historical Commission, as determined by the Community Development Director.
- Partial repainting for de minimus repair, touch-up maintenance of graffiti removal with substantially similar paint color.
- Re-glazing of windows or replacement of doors and windows with comparable materials or energy-efficient upgrades, when also consistent with historic preservation standards, if appropriate.
- Re-landscaping of any area of an existing approved development consistent with existing landscaping when not associated with major development projects that otherwise require an approved landscape plan.
- Re-roofing or roofing repairs when using comparable materials of essentially the same color and type of the existing building or roof materials previously approved by the Historical Commission, as determined by the Community Development Director.
- Exterior repairs to existing buildings.
- Any resurfacing or repainting of a parking or pedestrian area included in the Specific Plan and previously approved by the Historical Commission, Planning Commission, City Council or Community Development Director.

5.7 - SPECIFIC PLAN MODIFICATIONS AND ADJUSTMENTS

[In taking action on the Specific Plan, the City Council may provide direction to City staff for revisions to the Public Hearing Draft, dated June 2018, and for incorporation into the final adopted version of the Specific Plan. This section will be completed and finalized by the Community Development Director as directed by the City Council.]

5.8 - SPECIFIC PLAN IMPROVEMENTS AMENDMENTS

The Community Development Director shall have the authority to make recommendations for Amendments to the Specific Plan, and the City Council shall make the final determination. An Amendment to the Specific Plan shall be required for any of the following proposals:

-
- To permit establishment of a new principal use or a change of use that the Specific Plan does not authorize;
 - To permit a use or change in the Specific Plan which would result in an increase in the intensity of uses beyond that authorized by General Plan Table 2B;
 - To make changes to environmental mitigation measures which were adopted as part of the environmental clearance for the Specific Plan and which would result in new significant environmental impacts or make substantially more severe significant environmental impacts than identified in the adopted THE GROVES Specific Plan EIR;
 - To make changes to the outer boundary of the Specific Plan area;
 - To add, move the location, or make substantial changes to the boundary or spatial area of any Planning Area;
 - Any request which causes an inconsistency between the General Plan and the Specific Plan; or
 - Other significant policy changes or modifications to Specific Plan regulations which affect the entire Specific Plan area, as determined by the Director.

Specific Plan amendments are governed by Government Code Section 65453, which specifies notification, public hearings and similar requirements. In addition, all requests for Specific Plan Amendments shall adhere to all submittal, review and approval requirements established by the City of Loma Linda.

In making recommendations relative to a proposed Specific Plan Amendment, the following principles shall be considered:

- Modified conditions, either within THE GROVES or adjacent community uses, warrant a revision to the Specific Plan;
- The proposed modification is appropriate for the proposed location or use within THE GROVES;
- The proposed modification does not detrimentally affect the interest of public health, safety and general welfare and is in conformance with standard zoning, planning, safety, health and public welfare practices; and
- The proposed modification does not cause an inconsistency with the General Plan.

In making a decision to adopt an Amendment to the Specific Plan, the City Council shall make a finding that the proposed Specific Plan, as amended, is consistent with the objectives, policies, general land uses, and programs of the General Plan and other adopted goals and policies of the City.

5.9 - PERIODIC REVIEW, REPORTING, AND MONITORING

As identified throughout this Specific Plan, each new Planning Area development proposal shall provide the city of Loma Linda with documentation demonstrating compliance with the provisions herein. Specifically, each Planning Area Applicant/Developer shall provide the following:

- Affordable/Special Needs Housing Requirement – XXXX .
- Park Implementation – XXXX .
- Energy Conservation Compliance – XXXX .
- Mixed Use Compliance – XXXX .

The format and requested detail of each Report shall be as determined by the Community Development Director.

These Reports shall be made available for review to any member of the public upon request from the City.

5.10 - SPECIFIC PLAN IMPROVEMENTS FINANCING

[In taking action on the Specific Plan, the City Council may provide direction to City staff for revisions to the Public Hearing Draft, dated June 2018, and for incorporation into the final adopted version of the Specific Plan. This section will be completed and finalized by the Community Development Director as directed by the City Council.]

As identified throughout this Specific Plan, each new Planning Area development proposal shall provide the City of Loma Linda with documentation demonstrating compliance with the provisions herein. Specifically, each Planning Area Applicant/Developer shall provide the following:

- Affordable/Special Needs Housing Requirement
- Park Implementation
- Energy Conservation Compliance
- Mixed Use Compliance

The format and requested detail of each Report shall be as determined by the Community Development Director. These Reports shall be made available for review to any member of the public upon request from the City.

5.11 - NOTIFICATIONS

Notices of public hearings and decisions shall be made in accordance with the noticing requirements identified in this Specific Plan and/or the LLMC (as applicable).

5.12 - MAINTENANCE AND OPERATION

All improvements within the Specific Plan boundary shall be constructed to standards acceptable to the City of Loma Linda and as specified in this Specific Plan. As established, each Homeowner's Association or Business District Association (or equivalent maintenance entity) shall be responsible for maintenance of its respective portion of the Specific Plan area unless otherwise determined by the City of Loma Linda.

5.13 - TRANSFER OF RESIDENTIAL DEVELOPMENT REQUIREMENTS/ RIGHTS

Purpose

The ability to transfer residential development rights between Planning Areas provides flexibility to respond to site constraints and market demands, yet ensures that the overall goals of THE GROVES Specific Plan are maintained.

General Provisions

Allocations of residential units may be transferred between Planning Areas in compliance with the process outlined in this Section.

- a. Residential - Transfer of residential units between Planning Areas may be permitted, provided that each transferred unit is identified as either affordable or market rate and a "sending" site (the Planning Area seeking to divest its residential unit obligation) and a "receiving" site (the Planning Area seeking to obtain the divested residential units) are determined. The identified receiving site shall be within THE GROVES Specific (i.e., within Special Planning Area "D"). The sending Planning Area may transfer up to the number of dwelling units allocated to the Planning Area indicated in Table III-1, Description of Land Use by Planning Area. Under no circumstance shall THE GROVES provide less than 299 residential units in compliance with the affordable housing provisions in Section II.A.b(3), Consistency with General Plan Housing Element (unless such units are transferred outside of the Master Plan boundary elsewhere within Special Planning Area D in compliance with Section II.A.b(6), Mixed Use Exemptions), nor the maximum number of residential units in the Master Plan exceed 581 units.
- b. Responsibility for Associated Improvements and Obligations - The receiving site shall be responsible for all improvements and obligations associated with the transferred units, which may include, but are not limited to, on-site and off-site infrastructure, other improvements, park requirements, and fees. Furthermore, the receiving site shall be responsible for all improvements and infrastructure required to adequately serve a project, as determined by the City.

- c. Consistency with Development Standards and Design Guidelines - Transfer of development may occur only if the resulting project is consistent with the Development Standards and Design Guidelines of this Master Plan, except as otherwise provided in Section II.H.3.b(2), Deviation from Master Plan Development Standards. Each Mixed Use Planning Area shall provide a mix of uses, except as authorized in Section II.A.b(6), Mixed Use Exemptions.

Process for Transferring Development Rights

The process for transferring residential development rights between Planning Areas shall include, at a minimum, the following steps:

- a. A letter requesting a transfer of development rights permit must be filed with the City of Loma Linda Planning Division by the owner of either the sending or receiving Planning Area in conjunction with the application for the associated development project.
- b. The decision-making body for the transfer of development rights permit shall be the same body as for the accompanying development project, and both the transfer of development rights permit and the development project shall be reviewed concurrently. However, a transfer of development rights consistent with the provisions of this Section does not constitute an amendment to the Specific Plan.
- c. The letter requesting a transfer of development rights permit shall include, at a minimum, the following information:
 - 1) Written and notarized consent to the transfer from the owner(s) of record of all property subject to the transfer of development rights.
 - 2) Calculation of the number of affordable and market rate residential units available to be transferred from the sending Planning Area and the number of affordable and market rate residential units requested to be transferred to the receiving Planning Area or site.
 - 3) The applicable Specific Plan Planning Area numbers and Assessor Parcel Numbers.
 - 4) A revised Specific Plan Land Use Plan depicting the requested transfer of development rights.
- d. A binding agreement to transfer the density shall be executed between the land owners of the sending and receiving Planning Areas and recorded via an instrument

legally sufficient in both form and content to affect such development rights transfer.

- e. A recorded restriction or other instrument tied to the land shall be recorded on both the sending and receiving Planning Area or property stating the number of affordable and market rate residential units resulting from approval of a transfer of development rights permit.
- f. To ensure that development does not exceed the maximum residential unit count permitted by this Specific Plan, a monitoring report and tracking system shall be used by the City of Loma Linda to track transfers of development rights within THE GROVES.

5.14 - PUBLIC USE SITE RESERVATION

Each development project within The Groves will comply with the LLMC Section 16.04.240, Public use site reservation-Standards, which requires:

"Where a park, recreational facilities, fire station, library, or other public use is shown on an adopted specific plan or adopted general plan containing a community facilities element, recreation and parks element and/or a public building element, the subdivider may be required by the city council to reserve sites as so determined by the city or county in accordance with the definite principals and standards contained in the above specific plan or general plan. The reserved area must be of such size and shape as to permit the balance of the property within which the reservation is located to develop in an orderly and efficient manner. The amount of land to be reserved shall not make development of the remaining land held by the subdivider economically unfeasible. The reserved area shall conform to the adopted specific plan or general plan and shall be in such multiples of streets and parcels as to permit an efficient division of the reserved area in the event that it is not acquired within the prescribed period. (Ord. 109 § 15(B), 1975)"

The City has determined that a new fire station shall be located within The Groves. Prior issuance of a certificate of occupancy for the one-hundredth residential unit within The Groves, a location for an interim or permanent fire station within the Specific Plan area (either Phase Two or Phase Three) shall be offered to the City. If the City chooses to develop an interim fire station, the Fire Department retains the right of first refusal in locating a site for a permanent fire station.

5.15 - PARKS AND OPEN SPACE IMPLEMENTATION

Each development project within The Groves will comply with the LLMC Section 16.04.240, Public use site reservation-Standards, see Section 5.15, Public Use Site Reservation, above.

In addition, each development project within The Groves shall provide for park facility implementation in compliance with Section 3.4, Parks, Open Space, and Recreation Plan. The process for determining each development project and/or Planning Area responsibility for the funding, design, and construction of park facilities within The Groves is defined in Section 3.4.3 of this Specific Plan.

More specifically, the responsibility for park facilities are proportionally allocated to each Planning Area based on the type of residential development and the number of residential units (assigned or ultimately built) within the Planning Area using the residential unit-to-parkland ratios set forth in Section 3.4.3 of this Specific Plan.

Design and construction of the park facilities may be undertaken by the Planning Area property owners under a private cost sharing reimbursement agreement. Such an agreement is required to establish the proportional allocation of the expenses associated with the design, construction, and dedication of park facilities, and to determine in advance the specific improvements that will count toward fulfilling the City's park credit. Cost sharing and reimbursement agreements shall be as set forth in Section 5.12, Specific Plan Improvements Financing, above.

A

GENERAL PLAN CONSISTENCY



A. General Plan Consistency

A.1 - OVERVIEW

The Groves Specific Plan has been prepared pursuant to the provisions of the California Government Code, Sections 65450 through 65457. This Specific Plan also follows the California Office of Planning and Research Guidelines.

In addition, The Groves Specific Plan is consistent with other elements and components of the Loma Linda General Plan (General Plan). The Specific Plan reflects extensive technical analysis, input from the City, input from the land owners and surrounding property owners, input from the community, and applicable goals, objectives and policies of the General Plan, culminating in a functional program and vision for SPA-D (SPA-D) as a vibrant mixed-use community rooted in values important to the citizens of Loma Linda.

Included in the Specific Plan document are land use regulations, infrastructure plans, zoning and development standards, design guidelines and implementation measures to ensure that buildout of The Groves will be implemented in accordance with the goals and objectives established for the Specific Plan area, and consistent with the General Plan.

This Specific Plan, when adopted by ordinance, becomes the Plan that serves as the zoning ordinance for the subject property. All other City codes and ordinances shall continue to be applicable, unless expressly superseded by the terms of this Specific Plan or unless they are inconsistent with this Specific Plan, in which case they are superseded.

Any proposed parcel or subdivision maps, site plans, agreements or any other development approvals must be consistent with this Specific Plan. Projects which are found consistent with this Specific Plan will be deemed consistent with the City's General Plan and its adopted elements.

At the time of preparation of this Specific Plan, two projects have been previously approved for SPA-D, the "Phase One Concept" and "Phase Two Concept". The "Phase One Concept" involves a +46-acre area within SPA-D to accommodate the Veterans Affairs (VA) Ambulatory Care Center, 5 acres of commercial property and the southerly extension of Bryn Mawr Avenue. The VA facility has been constructed, but the commercial parcel remains vacant. The "Phase Two Concept" involves the 111.7-acre Citrus Trails Master Plan project, which will accommodate development of up to 581 residential units, a maximum of 562,000 square feet of commercial/office uses, and almost 22 acres

of parks, open space and trails. The balance of SPA-D includes approximately 79 acres managed by the Successor Agency to the City of Loma Linda Redevelopment Agency (Successor Agency), approximately 6.5 acres designated as "Heritage Park" and approximately 18 acres owned by other multiple property owners. Also included within the area is approximately 39 acres owned by the Redlands Unified School District (RUSD) (i.e., 11.5 acres associated with the Mission Elementary School and 27.5 acres set aside for a future middle school).

The following General Plan policies are the relevant policies for this Specific Plan and illustrate consistency between the General Plan and The Groves Specific Plan.

A.2 - LAND USE PLAN

The following General Plan policies influence the Land Use Plan for THE GROVES Specific Plan.

Guiding Policy for Residential Land Use (2.2.2.1)

Ensure quality single-family and multi-family residential development in order to create and preserve residential neighborhoods that embody the strengths and accomplishments of the community and to preserve both the economic investment of new and existing individual property owners and the community's natural resources.

Residential Land Use Implementing Policies (2.2.2.1)

- a. Encourage a mixture of dwelling sizes, layouts, and ownership types (consistent with the corresponding land use designation, density range, and applicable General Plan requirements), especially within large-scale residential development projects, in order to provide housing opportunities for a range of incomes and households.
- e. Provide the citizens of Loma with a choice of areas of varying densities and housing with a range of costs.
- h. Require that all new detached single-family residences shall have a minimum lot size of 7,200 sf, regardless of the underlying land use designation or zone.

Guiding Policy for Commercial/Office (2.2.4.1)

Attract new, and maintain existing, commercial and office uses to better serve the retail and service needs of the community, to keep the sales tax revenues from purchases by the Loma Linda community from going elsewhere, to reduce the length of trips necessary to meet retail and service needs, and to expand employment opportunities within the community.

Commercial/Office Implementing Policies (2.2.4.1)

- a. Encourage commercial uses that are currently underrepresented within Loma Linda (e.g., membership bulk-merchandise stores, home improvement warehouses, discount general

- merchandisers, electronics, pet supplies, office supplies, sporting goods, linens, furniture, books, toys, family clothing, baby and children's clothing, discount designer clothing, etc.).
- b. Encourage pedestrian-oriented development and small-scale development that feature specialty stores and boutiques to create vibrant areas for people to gather and socialize and to better serve the community by providing a greater range of commercial uses (e.g., sit-down restaurants, upscale apparel, stores related to hobbies or collectibles, gifts, etc.).
 - c. Encourage a greater variety of visitor/service commercial uses to better serve the community (e.g., hotels and extended-stay suites that include special event facilities to hold conventions, corporate events, weddings, etc., particularly along Redlands Boulevard, car wash/detailing facilities, service stations, etc.). On sites where a proposed hotel facility cannot feasibly provide appropriate and desirable amenities and parking with an FAR of 0.50 or less, the City may permit an increase in the allowable floor area ratio up to a maximum FAR of 0.75, if the City determines that the resulting development would be compatible with surrounding existing and planned development.
 - d. Encourage more commercial leisure activities (e.g., family-oriented commercial recreation facilities, kids' entertainment restaurants, day spas, sit-down restaurants that not only provide food but are oriented around family gatherings and appreciation of nature through their settings).
 - f. Place commercial and office development so that it has a strong relationship with the street, such as by siting the buildings so that they are close to the street, or for buildings that need to be set back from the street with a large parking lot, locate pad buildings along the street to maintain an attractive street edge and visually buffer the parking lot.
 - g. Ensure that new commercial/office developments are designed to provide for reciprocal access, where feasible, along commercial corridors to minimize the number of driveway entries necessary, limit the need to use the street to gain access to nearby uses, and provide a unified street edge.

Guiding Policy for the Redlands Boulevard/California Street Special Planning Area D (2.2.7.4)

This area is intended to be characterized by a horizontal and vertical mixed uses developed along the frontages of Redlands Boulevard and California Street, including commercial, office, structured parking, and up to 400 very high density residential dwelling units. Religious assembly uses are also anticipated along Redlands Boulevard and California Street.

Single-family residential uses should be placed towards the central, western, and southern portions of the Redlands Boulevard/California Street Special Planning Area, with multi-family development permitted toward the interior of the area. New residential uses in proximity to existing, historical residential uses along Mission Road should be compatible in density and scale to the historic residential uses (although not necessarily the same), since the General Plan intends for these

existing residences to remain. Overall, the pattern of land use should reflect the pattern and mix of uses identified below.

The General Plan envisions establishment of a heritage park within the Redlands Boulevard/California Street Special Planning Area, providing passive recreational uses within an historic setting, consisting of examples of local historic architecture. This vision includes relocating historic homes into the park, and establishing a local heritage/cultural museum, as well as adapting the structures for use for civic and cultural events, as well as for use by local civic and cultural organizations.

The General Plan's vision for this area is a "livable, walkable community" with a high level of amenities for residents, such as parks, trails and paseos, and other recreational uses, exhibiting a high level of design quality. Another key concept for this area is development of a large, sports oriented community park to assist Loma Linda in achieving its desired park acreage to population ratio.

Redlands Boulevard/California Street Special Planning Area D Implementing Policies (2.2.7.4)

- a. Allow retail and service commercial, office, institutional, single-family residential, multi-family residential, senior housing, and public open space uses in SPA-D consistent with Table 2.B (of the General Plan).
- g. Provide residential uses with easy access to the planned recreation trail running north and south through the city (located approximately one half mile east of Mountain View Avenue), such as by placing trail connections at the end of cul-de-sacs.
- h. Provide public open space in proximity to residential uses, either in concert with (and in addition to) the planned recreation trail running north and south through the city (located approximately one half mile east of Mountain View Avenue), or in a separate area.
- k. The maximum allowable number of residential units within SPA-D shall be 1,067.
- m. New residential uses in proximity to existing residential uses that will remain along Mission Road shall be compatible in density (generally, low density residential 0 to 4 dwelling units per acre) and scale. A gradation of lot sizes shall be provided from large lots along Mission Road to the north and east.
- n. The appropriate density for shopping centers, business parks, and office buildings shall be 0.5 FAR. The appropriate density for small institutional uses (e.g., religious assembly uses and schools) shall also be 0.5 FAR.
- r. Pursue establishment of a heritage park to preserve the existing reminders of Loma Linda's history; establish a location to which historic structures can be relocated, restored, and protected; and provide a location for the operation of historical preservation organizations and passive recreation in an historic setting.
- s. Within planned open space and park areas, provide active sports facilities.

Guiding Policy for Commercial and Industrial Land (4.6.2)

Protect fiscal and financial health of the City of Loma Linda.

Guiding Policy for Maintaining and Improving Fiscal Health (4.6.3)

Development of commercial/industrial uses with "point of sale: retail sales tax revenues should be located in mixed-use areas such as along California Avenue and in the business park on Redlands Boulevard.

Guiding Policy for Maintaining and Improving Fiscal Health (4.6.3)

Provide sufficient land to accommodate planned development, with office, business park, and commercial areas complementing residential and public development in location, access, mix of uses, attractiveness, and design quality.

Housing Element Goal 1: Enhance housing opportunities for all Loma Linda residents (5.3.1)

Policy 1.1 Provide a range of different housing types and unit sizes for varying income ranges and lifestyles.

Policy 1.2 Encourage the provision for housing which meets the needs of residents with special housing needs, including the elderly, disabled, developmentally disabled, large families, the homeless, and students.

Policy 1.3 Encourage mixed use development and student and workforce housing in appropriate locations to allow for increased housing opportunities.

Housing Element Goal 2: Assist in the provision of adequate housing to meet the needs of the community (5.3.1)

Policy 2.1 Facilitate the development of extremely low, very low, low and moderate income housing by offering developers incentives such as density bonuses, City participation in on and off-site public improvements, and flexibility in zoning and development standards.

Housing Element Goal 5: Promote equal housing opportunity for all residents (5.3.1)

Policy 5.2 Encourage and facilitate the development of residential units that are accessible to handicapped persons or are adaptable for conversion to housing for handicapped persons.

Growth Management Principle One (2A.A)

New development within the planning area and sphere of influence of the City of Loma Linda shall conform to City development standards that promote environmentally sensitive development designed to preserve and enhance the quality of life now experienced in the City.

Growth Management Principle Four (2A.D)

Preservation of open space and agricultural land areas is a priority in the City of Loma Linda, its planning area and its sphere of influence, and dedication of open space in perpetuity shall be a requirement for certain development as well as for the City.

- a. Planned Residential Developments and Planned Communities shall meet one of the following open space standards as described below:
- b. Properties under Fifteen Percent Slope. Not less than twenty percent of the gross land area shall be held in common as landscaped, recreational open space. Such open space shall contain a minimum dimension of fifty square feet, and be accessible to each lot through a system of public or private walkways. Open space areas may include swimming pools, putting greens, court games, and other recreational leisure facilities, as well as landscaped areas or areas with native vegetation. Such areas shall be identified as permanent open space on the final tract map. Open space calculations shall not include buildings, private patios, balconies, driveways, and off-street parking areas.

A.3 - MOBILITY PLAN

The following General Plan policies influence the Mobility Plan for THE GROVES Specific Plan.

Guiding Policy for Transportation and Circulation (6.10)

Provide a balanced, convenient, energy-efficient, and safe transportation system that incorporates all feasible modes of transportation.

Transportation and Circulation Implementing Policies – Vehicular Circulation (6.10.1)

- a. Maintain long-term traffic levels of service at LOS C.
 - (1) In those locations where maintaining LOS C is not feasible and Measure V permits a lower level of service, implement all feasible mitigation measures.
- b. Require all development projects to provide their fair share (in the form of physical improvements and/or fee payment) for all feasible improvements needed to implement Policy "a," above.
- f. Promote the design of arterial and collector roadways to optimize safe traffic flow within established roadway configurations by minimizing driveways and intersections, uncontrolled access to adjacent parcels, on-street parking, and frequent stops to the extent consistent with the character of adjacent land uses.
- k. Require the design of new developments to focus through traffic onto arterial streets, and away from local neighborhoods.

- v. As part of the development of the mixed-use area west of California Street, realign Mission Road to connect to Orange Street. West of California Street, design the realigned Mission Road to maximize access to lands north of Barton Road.
- w. Place ultimate responsibility for mitigating the impacts of future growth and development, including construction of a new and widened roadways, as well as intersection improvements, with individual development projects. The City's Capital Improvements Program will be used primarily to address the impacts of the existing development, and to facilitate adopted economic development programs.

Transportation and Circulation Implementing Policies – Non-motorized Transportation (6.10.2)

- a. Design new residential neighborhoods to provide safe pedestrian and bicycle access to schools, parks and neighborhood commercial facilities through explicit development requirements for such amenities.
- c. Maintain roadway designs that maintain mobility and accessibility for bicyclists and pedestrians through incorporation of sidewalks and bicycle lanes, where appropriate.
- e. Where shopping facilities are located adjacent to residential areas, provide direct access between residential and commercial uses without requiring pedestrians and bicyclists to travel completely around the commercial development through stipulations in the design review process.
- f. Require the construction of attractive walkways in new residential, commercial, office, and industrial developments, through the use of landscaping which includes shading for pedestrian paths.
- g. Orient site design in non-residential areas to allow for safe and convenient pedestrian access from sidewalks, transit and bus stops, and other pedestrian facilities, in addition to access through required parking facilities.

Transportation and Circulation Implementing Policies – Transit (6.10.3)

- a. Ensure that the site design of new developments provides for pedestrian access to existing and future transit routes and transit centers through specific review during the development review process.

Redlands Boulevard/California Street Special Planning Area D Implementing Policies (2.2.7.4)

- c. Design multiple building developments that might not include "pad" buildings, such as an office building or business park complex to feature a strong street presence by placing buildings so that they side on to the street and by placing parking lots so that they are easily accessed but not dominating the street frontage.
- f. Design vehicular and pedestrian circulation patterns in the residential areas to facilitate access to the commercial uses along Redlands Boulevard and California Street via the residential collector streets behind the commercial uses. Thus, nearby residents should not

need to drive or walk along Redlands Boulevard or California Street to access the commercial and service uses.

- g. Provide residential uses with easy access to the planned recreation trail running north and south through the city (located approximately one half mile east of Mountain View Avenue), such as by placing trail connections at the end of cul-de-sacs.

Growth Management Principle Six (2A.F)

Traffic levels of service throughout the City of Loma Linda shall be maintained at current levels and new development shall be required to fully mitigate any impact on traffic resulting from that development.

- h. To assure the adequacy of various public services and to prevent degradation of the quality of life experienced by the residents of Loma Linda, all new development projects shall assure by implementation of appropriate mitigation measures that, at a minimum, traffic levels of service (LOS) are maintained at a minimum of LOS C throughout the City, except where the current level of service is lower than LOS C. In any location where the level of service is below LOS C at the time an application for a development project is submitted, mitigation measures shall be imposed on that development project to assure, at a minimum, that the level of traffic service is maintained at levels of service that are no worse than those existing at the time an application for development is filed. In any location where the Level of Service is LOS F at the time an application for a development project is submitted, mitigation measures shall be imposed on that development project to assure, at a minimum, that the volume to capacity ratio is maintained at a volume to capacity ratio that is no worse than that existing at the time an application for development is filed. Projects where sufficient mitigation to achieve the above stated objectives is infeasible shall not be approved unless and until the necessary mitigation measures are identified and implemented.

A.4 - PARKS, OPEN SPACE AND RECREATION PLAN

The following General Plan policies influence the Parks, Open Space and Recreation Plan for THE GROVES Specific Plan.

Guiding Policy for Open Space (9.2.10.2)

Acquire, preserve and maintain open space and its natural resources for future generations.

Open Space Implementing Policies (9.2.10.2)

- i. Continue to require through development standards, the integration of open space and recreational uses and facilities in all multi-family residential projects

Guiding Policy for Trails (9.2.10.6)

Maximize the benefits of open space through the provision of recreational trails.

Trails Implementing Policies (9.2.10.6)

- b. Coordinate with public and private entities to link open spaces with the network of paths and trails to create a system of connecting open space

Residential Land Use Implementing Policies (2.2.2.1)

- f. Require that new residential development provide for construction of infrastructure and provision of open space and/or construction of recreational facilities in order to reduce the public cost associated with such uses.

Guiding Policy for the Redlands Boulevard/California Street Special Planning Area D 2.2.7.4

...The General Plan envisions establishment of a heritage park within the Redlands Boulevard/California Street Special Planning Area, providing passive recreational uses within an historic setting, consisting of examples of local historic architecture...The General Plan's vision for this area is a "livable, walkable community" with a high level of amenities for residents, such as parks, trails and paseos, and other recreational uses, exhibiting a high level of design quality. Another key concept for this area is development of a large, sports oriented community park to assist Loma Linda in achieving its desired park acreage to population ratio.

Redlands Boulevard/California Street Special Planning Area D Implementing Policies (2.2.7.4)

- g. Provide residential uses with easy access to the planned recreation trail running north and south through the city (located approximately one half mile east of Mountain View Avenue), such as by placing trail connections at the end of cul-de-sacs.
- h. Provide public open space in proximity to residential uses, either in concert with (and in addition to) the planned recreation trail running north and south through the city (located approximately one half mile east of Mountain View Avenue), or in a separate area.
- i. Multi-family and senior housing products shall be provided with sufficient usable open space within the development. The internal open space provided within such developments may not be counted toward meeting minimum requirements for public park area, but shall be considered to be an added amenity pursuant to General Plan policy "o," below.
- o. Implementation of development within SPA-D shall be through a master plan prepared by the City so that specific siting of land uses/buildings, architectural design, landscaping, road infrastructure, utilities, and other elements can be planned in a comprehensive, rather than piecemeal, manner throughout the Special Planning Area. Such specific plans shall provide development standards and guidelines to:
 - Maintain a feeling of "openness" within the area;
 - Provide for varying front yard setbacks and a mix of one- and two-story residential dwelling units;

- Development of an area of lots larger than those found in a typical suburban subdivision; and
 - Preserve existing oak trees and provide for replacement at an appropriate ratio of those trees than cannot feasibly be preserved.
- p. The design of development within SPA-D must encompass a variety of amenities to serve the project. Development of residential product types other than single family detached dwelling units on minimum 7,200 square foot lots shall require the provision of a strong package of project amenities within the overall Specific Plan or planned development, including, but not limited to:
- 25 percent usable open space;
 - Trails and paseos;
 - Fountains and water features;
 - Public art;
 - Amphitheaters and public gathering places;
 - Homeowner-owned parks and recreational facilities, such as sports fields, ball courts, tot lots, putting greens, pools, lakes, and community center buildings;
 - Public facilities/parks substantially in excess of that required by Quimby Act provisions;
 - Provision of one or more high density, walkable village areas and/or
 - Public facilities with a recognizable connection to the project that are substantially in excess of the city's minimum requirements.
- q. Development of commercial, office, and business park development within the Redlands Boulevard/ California Street Special Planning Area shall comply with the following.
- 1) Provide plazas, pocket parks, public art, and similar amenities to create gathering places with a high level of visual interest.
 - 3) Encourage a pedestrian-oriented character through detailed, pedestrian oriented architecture; pedestrian amenities such as seating areas, landscaping, and lighting; water features such as fountains and public art; signs that are placed and scaled to the pedestrian; wide sidewalks and/or pathways to link buildings; and open areas such as plazas to encourage gathering.
- r. Pursue establishment of a heritage park to preserve the existing reminders of Loma Linda's history; establish a location to which historic structures can be relocated, restored, and protected; and provide a location for the operation of historical preservation organizations and passive recreation in an historic setting.
- s. Within planned open space and park areas, provide active sports facilities.

Growth Management Principle Four (2A.D)

Preservation of open space and agricultural land areas is a priority in the City of Loma Linda, its planning area and its sphere of influence, and dedication of open space in perpetuity shall be a requirement for certain development as well as for the City.

- t. Planned Residential Developments and Planned Communities shall meet one of the following open space standards as described below:
- u. Properties under Fifteen Percent Slope. Not less than twenty percent of the gross land area shall be held in common as landscaped, recreational open space. Such open space shall contain a minimum dimension of fifty square feet, and be accessible to each lot through a system of public or private walkways. Open space areas may include swimming pools, putting greens, court games, and other recreational leisure facilities, as well as landscaped areas or areas with native vegetation. Such areas shall be identified as permanent open space on the final tract map. Open space calculations shall not include buildings, private patios, balconies, driveways, and off-street parking areas.
- v. Preservation of Citrus Groves. The City recognizes the desire to maintain citrus and avocado groves and other agricultural uses as a means to provide open space, to provide and maintain a balanced economy, and to maintain green space and vegetation that will consume carbon dioxide and improve air quality. The open space requirement of paragraphs (a) and (b) of this section may be met by preserving citrus and/or avocado groves or other agricultural uses determined appropriate by the City Council, and assuring ongoing maintenance through a conservation easement or other legal mechanism, provided that the minimum percentage open space requirement of (a) and (b) are met.
- w. Common Open Space. Common open space may include areas held in common by associations where the perpetual open space is guaranteed by acceptable legal mechanisms including public and private easements and conservation easements and other open space conditions, restrictions and covenants guaranteed in perpetuity by similar mechanisms. If an applicant proposes to dedicate a portion of a site as public park lands, this area may be considered as common open space by the affirmative vote of a majority of the City Council.
- x. Maintenance of Common Open Space. Maintenance of common open space areas within Planned Residential Developments and Planned Communities shall be the responsibility of the developer and the residents. In no event shall the City be responsible for such maintenance.

Guiding Policy for Parkland Acquisition (8.6.5)

The City will acquire and/or gain control of sufficient parkland to develop a system of park, recreational, and open space lands of sufficient size and in the appropriate locations, including provision of a range of

recreational facilities, to serve the needs of Loma Linda residents of all ages and attain a population-to-parkland acreage ratio of 5 acres per 1,000 population.

Parkland Acquisition Implementing Policies (8.6.5.1)

- a. Provide a range of public parklands for use by the community including the following:
 - Neighborhood Park. A park or playground generally 5 to 10 acres in size primarily developed to meet the recreational needs of citizens living within 0.5 to 1 mile.
 - Joint School/Park. A neighborhood park development, improved, and maintained on or adjacent to school grounds by the City. Joint school/park facilities are utilized jointly by students and residents from the surrounding neighborhoods. Since school facilities are only available for use by the general public when school is not in session, only half of the total acreage is to be applied to the City's park standard.
 - Community Park. A larger park facility developed to meet the park and recreational needs of those living or working within a 3- to 5-mile radius. Community parks generally range in size from 10 to 60 acres.
 - Sports Park. A park development designed to serve the needs of organized sports activities including youth and adult leagues. Generally ranges in size from 5 to 30 acres.
 - Specialized Recreational Area. These include linear parks (trails), community centers, and preservation areas or structures. These facilities vary in size depending on use.
- d. Encourage the preservation of significant natural features and development of landscaped parkways and trail systems in new development in addition to the required park develop.
- j. Require the provision of private play space for children in attached residential developments

Guiding Policy for Park Improvement (8.6.6)

Provide for the orderly and comprehensive planning of parklands and resources through specific planning and Master Plan procedures.

Park Improvement Implementing Policies (8.6.6.1)

- c. Ensure that neighborhood and community parks are developed with facilities appropriate to all ages and interests including athletic fields; active play areas, passive open space, tot lots, and picnic areas.
- d. Park design shall conform to standards developed by the National Recreation and Parks Association for access, safety, health and protection of humans and domestic animal species.
- e. Provide for the needs of special populations including the physically and mentally challenged in park facility and program design.

- f. Seek partnership opportunities with the private sector and with other public agencies to enhance park facilities and provide leisure time activities through mechanisms such as zoning, donation, purchase of easement, management strategies, or establishment of resource conservation and recreation authorities with coordinated taxing and management roles.

Recreation Programs and Services Implementing Policies (8.6.7.1)

- g. Promote historical and cultural education through special programs, the operation of museums, preservation of historical sites, and promotion of special events.

A.5 - CONSERVATION AND PRESERVATION PLAN

The following General Plan policies influence the Land Use Plan for THE GROVES Specific Plan.

Guiding Policy for Visual Resources (9.2.10.1)

Protect views and unique landforms.

Guiding Policy for Open Space (9.2.10.2)

Acquire, preserve and maintain open space and its natural resources for future generations.

Open Space Implementing Policies (9.2.10.2)

- i. Continue to require through development standards, the integration of open space and recreational uses and facilities in all multi-family residential projects

Guiding Policy for Biological Resources 9.4.4

Preserve habitats supporting rare and endangered species of plants and animals including wildlife corridors.

Biological Resources Implementing Policies (9.4.4)

- c. Preserve, as feasible, the oak woodland areas within the City by requiring development to incorporate the trees into the development design.

Guiding Policy for Water Quality and Availability (9.6.2)

Water quality and availability are critical to the current and future residents of the City of Loma Linda, its planning area, and its sphere of influence. No new development shall be approved that endangers the quality or quantity of water delivered to households within the City.

Water Quality and Availability Implementing Policies (9.6.2)

- d. Encourage sustainable landscapes or landscapes that require little irrigation through the use of drought-tolerant and native vegetation in new development.

- f. Pursue the use of reclaimed water for the irrigation of all appropriate open space facilities and City projects, and encourage existing and new developments to tie to the reclaim water system when available and recommended by the San Bernardino Municipal Water Department (wastewater provider) to reduce demand on municipal water supplies.
- g. Through the development review process, encourage water conservation in all new and rehabilitated development through the use of water conserving fixtures in all new residential and commercial development.

Guiding Policy for Water Efficiency (9.6.1.2)

Maximize water efficiency, water reuse, and the beneficial use of stormwater, including groundwater recharge and water quality improvement.

Water Efficiency Implementing Policies (9.6.1.2)

- d. Require site-appropriate, drought-tolerant low water use landscaping and efficient irrigation systems where appropriate for new development. For parcels adjacent to publicly managed open space, appropriate landscaping will also be non-invasive and have low flammability. Limit the amount of water intensive landscaping, particularly lawn area allowed, in order to reduce the amount of water needed for irrigation.
- e. Encourage use of irrigation technologies such as evapo-transpiration systems—where real-time weather data are transmitted to installed controllers to automate water needs—that save water, promote greater plant health, and reduce runoff. Encourage water agencies to conduct irrigation training workshops for homeowners and professionals.
- f. Encourage use of on-site rainwater capture, storage, and infiltration for irrigation and other nonpotable uses, and work with appropriate authorities to establish standards for rainwater quality and use. Ensure that catchments do not adversely affect habitat dependent on in-stream flow.

Guiding Policy for Cultural Resources (9.7.5)

Preserve and protect the City's historic structures and neighborhoods. Identify and preserve the archaeological and paleontological resources in Loma Linda.

Cultural Resources Implementing Policies (9.7.5)

- d. Preserve significant historic structures through review of demolition permits or alterations to such structures by the Historic Commission. Permit adaptive reuse of historic landmark structures for institutional, office, or commercial uses, where improvements to the structure retain the integrity of the historic landmark (see Community Design Element, Section 3.2).
- e. Where new development occurs around an historic structure, ensure that the surrounding setting is compatible with the historic structure (see Community Design Element).

Guiding Policy for Greenhouse Gas Reduction (9.8.1)

Minimize greenhouse gas emissions that are reasonably attributable to the City's discretionary land use decisions and internal government operations, with the goal of reducing Loma Linda's greenhouse gas emissions to 1990 levels by 2020.

Greenhouse Gas Reduction Implementing Policies – Compact Community Measures (9.8.1)

Encourage patterns of commercial development that support use of public transit, including modifying development regulations to facilitate commercial and/or mixed use projects at sites near transit stops.

Greenhouse Gas Reduction Implementing Policies – Energy Conservation and Air Quality Measures (9.8.1)

- d. Encourage energy-efficient landscaping for resource conservation by developing guidelines that emphasize proper irrigation techniques and sustainable landscaping (organic fertilizers and pesticides).
- e. Consider light-colored surfacing on pavements and rooftops where feasible to reduce heat absorption.
- f. As part of the development review process, work with builders to maximize energy conservation benefits in the placement of buildings on a site with regard to sun and natural breezes.
- l. Preserve and encourage planting trees in neighborhoods to provide shade in summer and reduce heat loss in winter. Successful methods include placing trees to the west and northwest of houses to shade from the hot summer sun and grouping trees to protect them from harsh elements and support their longevity. Trees can reduce air temperatures 5–10° F from shading and evapotranspiration (water in leaves converting into vapor, cooling the air).

Greenhouse Gas Reduction Implementing Policies – Transportation Measures (9.8.1)

- o. Require new development to incorporate features that reduce energy used for transportation, including pedestrian and bicycle pathways, and access to transit (where available).
- s. As appropriate, require new development and redevelopment projects to address the following: bicycle and pedestrian access internally and to other areas; safe access to public transportation and construction of paths that connect with other non-motorized routes; safe road crossings at major intersections for school children and seniors; and secure, weatherproof bicycle storage facilities. Ensure that such facilities will have ongoing maintenance.

Guiding Policy for Solid Waste Management (8.9.2)

Reduce the amount of solid waste requiring disposal at landfills, enhancing the potential for recycling of the City's solid wastes.

Solid Waste Management Implementing Policies (8.9.2.1)

- d. Require provision of attractive, convenient recycling bins and trash enclosures in new multi-family residential and non-residential development.
- e. Continue and expand public education programs involving waste reduction, recycling, composting, waste to energy, zero-waste programs, and household hazardous waste.
- f. Require builders to incorporate interior and exterior storage areas for recyclables into new commercial, industrial, and public buildings.

Guiding Policy for the Redlands Boulevard/California Street Special Planning Area D (2.2.7.4)

...New residential uses in proximity to existing, historical residential uses along Mission Road should be compatible in density and scale to the historic residential uses (although not necessarily the same), since the General Plan intends for these existing residences to remain...The General Plan envisions establishment of a heritage park within the Redlands Boulevard/California Street Special Planning Area, providing passive recreational uses within an historic setting, consisting of examples of local historic architecture. This vision includes relocating historic homes into the park, and establishing a local heritage/cultural museum, as well as adapting the structures for use for civic and cultural events, as well as for use by local civic and cultural organizations...

Redlands Boulevard/California Street Special Planning Area D Implementing Policies (2.2.7.4)

- d. Pursue adaptive reuse of the large residences associated with the citrus groves to the greatest extent feasible in order to maintain elements from the community's history; potential new uses for these historic structures may include restaurants, offices, and bed and breakfast establishments. New adjacent uses/buildings should be sensitively sited and designed in order to preserve historic buildings, allow for viable access to them, and create a cohesive architectural character that reflects, and is compatible with, the historic buildings. New development shall be consistent with the City's Historic Mission Overlay District.
- o. Implementation of development within SPA-D shall be through a master plan prepared by the City so that specific siting of land uses/buildings, architectural design, landscaping, road infrastructure, utilities, and other elements can be planned in a comprehensive, rather than piecemeal, manner throughout the Special Planning Area. Such specific plans shall provide development standards and guidelines to:
 - Maintain a feeling of "openness" within the area;

- Preserve existing oak trees and provide for replacement at an appropriate ratio of those trees than cannot feasibly be preserved.
- r. Pursue establishment of a heritage park to preserve the existing reminders of Loma Linda's history; establish a location to which historic structures can be relocated, restored, and protected; and provide a location for the operation of historical preservation organizations and passive recreation in an historic setting.

A.6 - INFRASTRUCTURE, UTILITIES, SERVICES AND WATER QUALITY PLAN

The following General Plan policies influence the Infrastructure, Utilities, Services and Water Quality Plan for THE GROVES Specific Plan.

Visual Resources Implementing Policies (9.2.10.1)

- c. Require new development to be designed to conserve soil and avoid erosion by limiting cut and fill areas and the exporting of soil from the development site.

Guiding Policy for Water Quality and Availability (9.6.2)

Water quality and availability are critical to the current and future residents of the City of Loma Linda, its planning area, and its sphere of influence. No new development shall be approved that endangers the quality or quantity of water delivered to households within the City.

Water Quality and Availability Implementing Policies (9.6.2)

- a. No development project shall be approved which would cause the quality of water delivered to Loma Linda households to fail to meet State and/or Federal water quality standards, or which would cause an increase in residential rates, or which would result in a restriction of water usage, except for those projects exempt under State and/or Federal law.
- d. Encourage sustainable landscapes or landscapes that require little irrigation through the use of drought-tolerant and native vegetation in new development.
- e. Through the development review process require that water supply capacity is available or will be available prior to approval of a development project. Do not approve projects for which assured water supply is not available.
- f. Pursue the use of reclaimed water for the irrigation of all appropriate open space facilities and City projects, and encourage existing and new developments to tie to the reclaim water system when available and recommended by the San Bernardino Municipal Water Department (wastewater provider) to reduce demand on municipal water supplies.
- g. Through the development review process, encourage water conservation in all new and rehabilitated development through the use of water conserving fixtures in all new residential and commercial development.
- h. Require implementation of Best Management Practices to reduce drainage system discharge of non-point source pollutants originating from streets, parking lots, residential

areas, businesses, industrial operations, and those open space areas involved with pesticide application.

Water Efficiency Implementing Policies (9.6.1.2)

- f. Encourage use of on-site rainwater capture, storage, and infiltration for irrigation and other nonpotable uses, and work with appropriate authorities to establish standards for rainwater quality and use. Ensure that catchments do not adversely affect habitat dependent on in-stream flow.

Guiding Policy for Flooding Hazards (10.2.3)

Protect the community from risks to lives and property created by flooding and stormwater runoff.

Flooding Hazards Implementing Policies (10.2.3)

- c. Require new development to provide for the perpetual maintenance of detention basins, if necessary to support the new development.
- d. Require new development to incorporate features into drainage plans that would reduce impermeable surface area, increase surface water infiltration, and minimize surface water runoff during storms.

Guiding Policy for Fire Protection Services (8.1.2)

Provide an adequate number of fire stations, along with fire fighting personnel and equipment to protect the residents and businesses of Loma Linda.

Fire Protection Services Implementing Policies (8.1.2.1)

- b. All discretionary development projects shall be reviewed by the Department of Public Safety to ensure that a five-minute response time (including three-minute running time) can be maintained for 80 percent of emergency fire, medical, and hazardous materials calls on a Citywide response area basis.

Guiding Policy for Police Protection Services (8.2.2)

Provide for the protection of Loma Linda citizens and businesses from crime through maintenance of an adequate force of police officers, appropriate physical planning of new development, and a high level of public involvement in crime prevention.

Police Protection Services Implementing Policies (8.2.2.1)

- h. Require design features in new development to reduce potential for crime.
 - Provide well-lighted and visible streets and street names, building entrances and addresses, recreation areas, and parking areas.

- Limit access into and between buildings to reduce escape routes and to make undetected entry difficult.
- Landscape development sites to permit surveillance of open areas and entryways, and avoid creating places for concealment.
- Within multi-family and non-residential developments, provide emergency vehicle access around buildings to the extent feasible.
- Within multi-family and non-residential developments, eliminate the potential for access to roofs by pallets, flag poles, etc.

Guiding Policy for Medical and Social Services (8.5.2)

Encourage the continuance and the development of private and public medical facilities and human and social services in Loma Linda.

Medical and Social Services Implementing Policies (8.5.2.1)

- a. Encourage the development of a variety of housing and recreational options for senior citizens in areas close to services and transportation.

Guiding Policy for Water Utilities (8.7.2)

Provide a water system that supplies high quality water to serve existing and future needs of the City during peak use conditions, with sufficient water in storage reservoirs for emergency and fire protection. Water quality and availability are critical to the current and future residents of the City of Loma Linda, its planning area, and its sphere of influence. No new development shall be approved that endangers the quality or quantity of water delivered to households within the City.

Water Utilities Implementing Policies (8.7.2)

- a. Ensure that adequate water supply capacity and infrastructure is in place prior to occupancy of new development.

Guiding Policy for Wastewater Management (8.8.2)

Ensure a wastewater collection, treatment, and disposal system is available to serve existing and future residences, businesses, institutions, and other uses within the City of Loma Linda.

Wastewater Management Implementing Policies (8.8.2.1)

- d. Investigate the use of reclaimed wastewater. Where reclaimed wastewater can be economically delivered, require the installation of dual water system supplies for irrigation purposes and industrial purposes.

Guiding Policy for Utilities, Telecommunications, and Cable Television (8.10.7)

Ensure the provision of adequate communication and utility systems for existing and future residents and the business community.

Utilities, Telecommunications, and Cable Television Implementing Policies (8.10.7.1)

- b. Require all new development projects and building additions exceeding 50 percent (50%) of the original structure that are within a fiber-optic master plan area to participate in the Loma Linda Connected Communities Program.
- c. Require new development to underground all utility lines needed to serve future buildings and their occupants, and work with Southern California Edison to underground utilities in existing neighborhoods.
- f. Encourage all new development to provide the technology to support multiple telecommunications facilities and providers such as multi-media products, wireless technologies, and satellite communications.

Growth Management Principle Five (2A.E)

Water quality and availability are critical to the current and future residents of the City of Loma Linda, its planning area and its sphere of influence. No new development shall be approved that endangers the quality or quantity of water delivered to households within the City.

- g. No development project shall be approved which would cause the quality of water delivered to Loma Linda households to fail to meet State and/or Federal water quality standards, or which would cause an increase in residential rates, or which would result in a restriction of water usage, except for those projects exempt under State and/or Federal law.

A.7 - DESIGN GUIDELINES

The following General Plan policies influence the Design Guidelines for THE GROVES Specific Plan.

Guiding Policy for Pedestrian-Oriented Development (3.1.1.1)

For pedestrian-oriented development (located within commercial or mixed-use land use designations as indicated in the Land Use Element) ensure that the features that make for attractive and functional pedestrian-oriented development are provided.

Pedestrian-Oriented Development Implementing Policies (3.1.1.2)

- a. Design buildings to be from one to three stories in height.
- b. Locate retail uses on the first floor in order to benefit from street activity and to generate activity themselves by providing convenient shopping opportunities and attractive window displays. Service uses, such as hair salons and dry cleaning drop-off/pick-up, should only be placed on the first floor if the interior tenant spaces are designed to present an attractive, active image that adds to the vitality of the street life.
- c. Within horizontally mixed-use buildings, provide professional services offered directly to the public on the first floor with other office-based employment reserved office uses for the

second floor of pedestrian-oriented buildings. Residential uses are appropriate on the second and third floors.

- d. Orient buildings so that they are always the primary element as seen from the street, as opposed to parking areas.
- e. Design streets to accommodate slow to moderate moving local traffic (e.g., two lanes maximum each direction) or close streets to provide for pedestrian use only. Thus, through traffic on arterials would be provide on the periphery of pedestrian oriented development.
- f. Though pedestrian access is the focus, also provide convenient vehicular parking via nearby parking in an adjacent parking lot located to the side or rear of the building and/or on-street parking (where feasible considering traffic). Permit off-street parking standards to be met with a convenient off-site parking structure or lot that serves the area.
- g. Provide wide sidewalks/walkways for pedestrian circulation and bicycle lanes or paths for bicycle travel.
- h. Scale buildings to the human user and feature detail that is an appropriate level and scale for close up viewing.
- i. Keep private residential areas on the upper floors of mixed-use buildings distinct from public spaces and public uses, providing separate entries where feasible.
- j. Feature prominent display windows on the first floor of buildings with commercial and commercial service uses.
- k. Employ awnings, covered archways, covered patios, arcades, or trees to provide shade and to offer protection from sun and rain.
- l. Use traditional materials such as stucco, brick, stone, wood siding, terra cotta roof tiles, and wood-look shingles.
- m. Avoid the use of extremely bright or fluorescent hues (e.g., neon orange).
- n. Provide seating areas (e.g., benches, tables and chairs, low walled planters) and trash receptacles. These items should complement the building in style, material, and color.
- o. Encourage public open areas such as plazas that are designed for gathering and ancillary outdoor uses such as outdoor dining.
- p. Provide abundant landscaping (e.g., street trees, walled planters, window boxes, and/or pots along the building) to add color, fragrance, and soften the appearance of the building. Plant materials and sizes should be appropriate to their placement.
- q. Design lighting so that it provides adequate levels of lighting for security and safety, and to create a "comfortable" atmosphere. Use lighting to highlight landscaping.
- r. Place signs so pedestrians can easily see them.
- s. Encourage the provision of amenities such as water features (e.g., fountains), public art, and enhanced paving (e.g., colored paving, special paving designs).

- t. Incorporate appropriate design details, such as street furniture (e.g., benches, trash enclosures and receptacles), fencing, and placement of murals and sculpture in public locations.
- u. Utilize streetlights that are pedestrian-oriented, attractively designed, compatible in design with other street furniture, and provide adequate visibility and security.
- v. Install "street furniture" (benches, bus shelters, planters, bike racks, trash receptacles, newspaper racks, water fountains, and bollards) within streetscapes to enhance the pedestrian experience and embellish pedestrian gathering places (places for sitting, meeting people, relaxing, people watching, etc.). It should be compatible with the streetscape theme, durable, easily maintained and easily replaced.
- w. The design and location of street furniture should avoid conflicts with driver sight lines and utilities.
- x. As pedestrian furniture is both in the public right-of-way and on private property, the style and placement of furniture should be coordinated on public and private property, and should avoid blocking travel on the sidewalk.

Guiding Policy for Residential Development (3.1.9.1)

Ensure quality of design for single-family and multi-family residential development in order to create and preserve functional and attractive residential neighborhoods that embody the strengths and accomplishments of the community and to preserve the economic investment of new and existing individual property owners.

Residential Development Implementing Policies (3.1.9.2)

- a. Neighborhood streets should be quiet, safe, and amenable to bicycle and pedestrian use.
- b. Locate parks and recreational areas as close to the center of the neighborhoods they serve as feasible.
- c. Provide individual neighborhoods with pathways and open spaces that connect residences to school and recreational facilities, thereby facilitating pedestrian and bicycle access.
- d. Create a distinct character for each residential neighborhood through the use of neighborhood signage, streetscapes and landscape buffers, a palette of various complementary architectural styles/materials, a complementary variety of dwelling setbacks and placement on the lot, and lot patterns that reflect the existing topography.
- e. Provide quality design and visual interest within a development by alternating the massing, layout, architectural details, accent materials, and colors so that adjacent dwelling units are not nearly identical.
- f. To reduce architectural massing, orient the shortest and lowest side of a corner residential dwelling unit toward the side street.

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- g. Where feasible, orient garages so that garage doors do not directly face the street (e.g., use of alleys, "side-on" garage configuration, and side loaded corner lots). Garage doors should be set back from the front face of the house so that residential tracts are more pedestrian/neighborhood friendly.
 - h. Within multi-family developments, cluster residential buildings around open space and/or recreational features.
 - i. Design the common space associated with each cluster of multi-family dwelling units to provide differences in size, dimensions, grading, amenities, and site furniture in order to create variety.
 - j. In higher density projects with tuck-under parking and/or opposing garages, avoid the monotony of long parking corridors by turning individual units, staggering parking areas, and/or using an interesting variety of landscaping within parking areas.
 - k. Provide each unit of a multi-family development project with some unique elements to create a sense of place and identity. Individual units within a multi-family development project should be distinguishable from each other, and should have separate entrances and entry paths, where feasible.
 - l. Where residential infill development is proposed, ensure that the scale and massing of dwellings as well as the architectural character of new development is compatible with the existing residential neighborhood.
 - Setbacks for new residential units should continue the prevailing setback pattern, unless a different setback standard is required.
 - New development should incorporate representative characteristics of the surrounding area when the area exhibits a positive, distinctive site layout and/or established pattern.
 - m. Structures that are historic or are otherwise distinctive should be preserved and incorporated into the design of new development.
 - n. Variation in setbacks should be provided within single-family residential neighborhoods. Within multi-family developments, buildings should be oriented to avoid instances where the living spaces of one unit face the living spaces of another and significantly reduce indoor privacy.
 - o. Ensure that applications for new single-family or multi-family residential projects require the submittal of site plans, elevations, and color and material boards.
 - p. Residential developments should be oriented toward major streets so as not to give the impression of an enclave/compound.
 - q. Promote and facilitate the development of custom and semi-custom home projects for move-up housing.

- r. Reduced front setbacks should be encouraged with mixed housing types. Density in these developments should not be tiered but integrated throughout.
- s. Implement traffic calming on residential streets subject to high speed through travel in order to improve neighborhood livability. Traffic calming techniques such as narrower than standard streets, speed humps, neck-downs and traffic diverters, rough-paved crosswalks, roundabouts, and planted median islands at the entries into neighborhoods can successfully reduce undesirable through traffic within residential neighborhoods.
- t. The maximum residential building height shall not exceed thirty-five (35) feet.
- u. The minimum lot size for a single-family residence, regardless of density bonuses, shall not be less than seven thousand, two hundred (7,200) square feet in any planning area or zone.

Guiding Policy for Adaptive Reuse and Preservation with New Development (3.2.1)

Employ adaptive reuse of structures that have local historic value because of their scientific, aesthetic, educational, cultural, architectural, or historical significance in order to incorporate them into any new adjacent development and prevent their demolition. Also, preserve other physical elements that are cultural resources by incorporating them (either in their entirety or through a representative sample/re-creation if it would carry the same merit) into any future development of the area.

Adaptive Reuse and Preservation with New Development Implementing Policies (3.2.1.1)

- a. Retain the historic and architectural integrity when pursuing adaptive reuse of buildings, while aiming to meet the design policies set forth within the applicable category of the intended new use (i.e., auto-oriented commercial) to the greatest extent feasible.
- b. Sensitively site and design new adjacent buildings in order to preserve historic buildings, allow for viable access to them, and create a cohesive architectural character that reflects, and is compatible with, the historic building.
- c. Preserve the character of the existing citrus groves by preserving and incorporating strategically located existing trees or rows of existing trees into new development (i.e., in the form of landscaped setbacks and/or landscape treatments). Having accomplished this, the remaining grove may be removed.
- d. Include new citrus trees of a hearty variety and/or other species that are similar to resemble citrus trees within appropriate new or re-landscaped City rights-of-way.
- e. Encourage private development to use new citrus trees as landscape materials on any private property when feasible.