

Staff Report

City of Loma Linda

From the Department of Community Development

PLANNING COMMISSION MEETING OF SEPTEMBER 5, 2012

TO: PLANNING COMMISSION

FROM: KONRAD BOLOWICH, ASSISTANT CITY MANAGER
COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: Time Extension of Tentative Parcel Map No. 10-205 and Conditional Use Permit No. 10-203

SUMMARY

The project applicant is requesting a one year time extension from December 13, 2012 to December 13, 2013 for the previously approved Conditional Use Permit No. 10-203 and Parcel Map No. 10-205 for a subdivision of an existing 7.7 acre parcel into seven individual lots to construct a new neighborhood business center. The project is located at 25701 Barton Road in a Neighborhood Business (C-1) Zone.

BACKGROUND

On November 2, 2011, the Planning Commission recommended to the City Council, approval of Tentative Parcel Map No. 10-205 and Conditional Use Permit No. 10-203, a request to subdivide an existing 7.7 acre parcel into four individual lots to construct a new neighborhood business center. The proposed project includes a total of 65,475 square feet of building area divided into four subdivided lots. On-site improvements include associated parking areas, landscaping and lighting facilities. The project is located at 25701 Barton Road in a Neighborhood Business (C-1) Zone.

On December 13, 2011, the City Council approved Tentative Parcel Map No. 10-205 and Conditional Use Permit No. 10-203.

On August 14, 2012, the Applicant submitted a one-year time extension request.

ANALYSIS

The Applicant is requesting a one-year extension in order to obtain building permits and begin grading and construction for the above mentioned project. The Applicant has shown progress in the plan submittal process by submitting the following plans:

- final parcel map;
- precise grading plans;
- site drainage plans;

- site utility plans
- off-site improvements plans.

The above mentioned plans are currently in the City's plan check process.

The Applicant has also submitted a Master Sign Program for Planning Commission review and is tentatively scheduled for the October 3, 2012 meeting.

ENVIRONMENTAL

On December 13, 2011, the City Council adopted a Mitigated Negative Declaration (MND) for the project and approved PM No. 10-205 and CUP No. 10-203. The request for a Time Extension falls within the scope of the project MND and as such, no additional environmental review is required.

RECOMMENDATION

Staff recommends that the Planning Commission recommend approval to the City Council of a one year time extension (December 13, 2012 to December 13, 2013) for TPM No. 10-205 and CUP No. 10-203, based on the analysis and original project Findings (Attachment A1) and subject to the Revised Conditions of Approval (Attachment B).

ATTACHMENTS

- A – December 13, 2011 City Council Staff Report and Findings
- B – Revised Conditions of Approval
- C – Applicant's Time Extension Request



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
Ovidiu Popescu, Mayor pro tempore
Stan Brauer, Councilman
Ronald Dailey, Councilman
Phillip Dupper, Councilman

Approved/Continued/Denied
By City Council
Date _____

COUNCIL AGENDA: December 13, 2011
TO: City Council
VIA: T. Jarb Thaipejr, City Manager
FROM: Konrad Bolowich, Assistant City Manager
SUBJECT: TENTATIVE PARCEL MAP (TPM) NO. 10-205 AND
CONDITIONAL USE PERMIT (CUP) NO. 10-203 - The project

applicant is proposing to subdivide an existing 7.7 acre parcel into four individual lots to construct a new neighborhood business center. The proposed project includes a total of 65,475 square feet of building area divided into four subdivided lots. The single-story commercial buildings will access from both Barton Road and Mountain View Avenue. On site improvements will include 304 parking spaces, and the associated landscaping and lighting facilities. The project is located at 25701 Barton Road in a Neighborhood Business (C-1) Zone.

RECOMMENDATION

The recommendation is that the City Council takes the following actions:

- A. Adopt Mitigated Negative Declaration
- B. Approve Tentative Parcel Map (TPM) No. 10-205 to subdivide an existing 7.7 acre parcel into seven individual lots, subject to the Conditions of Approval.
- C. Approve Conditional Use Permit (CUP) No. 10-203 – 65,475 square feet of single-story commercial building area divided into four (4) separate pads with access from Barton Road and Mountain View Avenue, 369 parking spaces and associated landscaping and lighting facilities, subject to the Conditions of Approval.

BACKGROUND

On June 15, 2011, the Planning Commission reviewed the project and requested that the applicant address specific design concerns that were raised during the public hearing. The Planning Commission had some concerns about the site layout and the clustering of buildings. The applicant met with Commissioner Rojas on July 5, 2011 to discuss in detail the associated site plan issues. The resulting modifications include the reduction of building area, the relocation of the smaller retail spaces into the larger Major 1 building pad, and the addition of pedestrian plazas and pathways.

EXHIBIT - A

On October 5, 2011, the Planning Commission continued the Tentative Parcel Map (TPM) No. 10-205 and Conditional use Permit (CUP) No. 10-203 to the November 2, 2011 meeting to allow the applicant additional time to resolve the issues related to the project and to resubmit revised plans. A revised traffic study (supplementing the revised project description) was completed on October 15, 2011. Additionally, the revised plans and supporting documents were submitted to City staff on October 25, 2011.

On November 2, 2011, the Planning Commission reviewed the revised plans and forwarded a recommendation of approval to the City Council.

ANALYSIS

Project Description and Location

The project site has been vacant for over thirty years. Properties to the south are zoned Multi-Family Residence (R-3). The existing commercial property to the east is zoned Neighborhood Business (C-1). To the west is the Loma Linda Health Center which is zoned Administrative Professional Offices (AP). To the north is the Rite Aid and Loma Linda Plaza which are both zoned Neighborhood Business (C-1).

As previously stated, the proposed project is a request to subdivide a 7.7 acre site into four parcels (buildings) for the development of approximately 65,475 square feet of commercial space. The square footage for the four buildings is divided, as follows:

- Major 1 42,000 square feet
- Shops/Food 15,422 square feet
- Fast Food 3,858 square feet
- Bank 4,195 square feet

The project is a single-story design and exhibits a contemporary modern style. The majority of structures are designed with flat roofs (in keeping with the modern style) which helps minimize the visual impacts to the site. The structures will also incorporate stone veneer, metal trim, and vertical and horizontal score lines extenuating the contemporary modern style.

Site Analysis

The project site is a rectangular shaped lot with dimensions of approximately 600 feet in width by approximately 540 feet in length (Attachment D). Per Zoning Code §17.44.060 setbacks in the C-1 Zone are as follows:

- Front yard - No building may be constructed closer than twenty feet to the established planned right-of-way.
- Side yards - None
- Rear yard - When any lot or parcel in the C-1 Zone abuts R-zoned property, such lot or parcel shall observe and maintain a twenty-five foot rear yard.

The site plan indicates at least a 70 foot front yard building (restaurant building) setback along Barton Road. The setback to the side property line is approximately 40 feet on the east side of the property and nearly 70 feet on the west side. The rear-yard setback is identified at over 50 feet from the Brittany Place townhouse community. As a result, this project meets the minimum setback requirements.

The site plan indicates two points of ingress and egress on both Barton Road and Mountain View Avenue. The site plan also shows a driveway access to the property to the east for potential reciprocal access between the properties. This will enhance on site traffic circulation between these two separate parcels once the subject property develops.

The site plan indicates that there are 304 parking spaces provided, which include 10 accessible parking spaces. A reference to Zoning Code §17.24.070 provides parking requirements for the various commercial uses. Based on the proposed uses and the Loma Linda Parking Ordinance, the proposed project will require a minimum 242 parking spaces. As proposed, the project will provide more than adequate parking for the neighborhood business center.

Landscape Design

The landscape plan indicates the use of grass, ground covers, shrubs and trees throughout the project. Fruitless Olive, Chinese Pistache and Orange trees are proposed for the shade trees. Street trees include the Golden Rain tree and additional Fruitless Olive trees. The landscaping will incorporate most of the existing poplar trees on site, especially on the south side of the property. Some of the existing orange trees will remain in place while others (like the ones on the south side) will be replanted. The various shrubs and accent plants include, among other things, the Dwarf Myrtle, Pink Muhly, Century Plant, Woolly Blue Curls, and New Zealand Flax.

Approximately 15% (from the total site) of landscaping will be provided. A variety of 24-inch and 36-inch box trees will be utilized, as well as one and five gallon shrubs. The off-site landscaping will compliment landscaping of the adjacent sites.

Findings

Tentative Parcel Map Findings

1. That the proposed project is consistent with the General Plan and Zoning designations.

The proposed project is located on a property that has a Commercial General Plan Land Use designation. The project is consistent Policy 2.2.4.1 which states that the City needs to attract new commercial uses to better serve the retail and service needs of the community in that new retail development will be located near both commercial and residential uses. The project is also consistent with the Neighborhood Commercial (C-1) development standards.

2. The design of the proposed improvements is not likely to cause substantial environmental damage or substantially and unavoidably injure fish and wildlife or their habitat.

Except for the existing orange trees, no natural vegetation or wildlife is present on the site of the proposed neighborhood business center. The General Plan Program Environmental Impact Report (EIR) indicates that there are no critical habitats identified in the project area. As a result, development of the subject property is not anticipated to result in any substantial environmental damage or injure fish and wildlife or their habitat.

3. The design of the proposed improvements is not likely to cause serious public health problems.

The design of the project and the use of the commercial development will not cause any serious public health problem because the proposed commercial use is compatible with the surrounding area and is consistent with the development requirements of the Municipal Code and General

Plan. An initial study was generated for the analysis of any potential impacts that may result from the construction of the project. There were no significant impacts identified that cannot be effectively mitigated. The proposed improvements are not likely to cause serious public health problems.

Conditional Use Permit Findings

In an effort to ensure that the foregoing project is consistent with the General Plan, compliant with the zoning and other City requirements, compatible with the surrounding area, and appropriate for the site, staff and the City Attorney have opted to apply the Conditional Use Permit Findings in LLMC §17.30.210 to this project, as follows:"

1. That the use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this title.

The Loma Linda Municipal Code (LLMC), Section 17.44.030 (B), requires a Conditional Uses Permit for outdoor dining, small collection facilities and drive-in businesses (as defined in 17.30.140). The proposed use (including the fast food drive-thru restaurant) meets the LLMC requirements to establish the various commercial and service oriented uses on site.

2. That the said use is necessary or desirable for the development of the community, is in harmony with the various elements and objectives of the general plan, and is not detrimental to existing uses specifically permitted in the zone in which the proposed use is to be located.

The proposed commercial use is desirable for the development of the community and in harmony with various elements of the General Plan. The project is consistent with General Plan Section 2.2.4.1, Commercial/Office Guiding Policy, which encourages the development of commercial uses to better serve the community and to keep the sales tax revenues from going elsewhere. The proposed retail uses are specifically permitted in the Neighborhood Commercial (C-1) zone and would not be detrimental to existing uses in the immediate vicinity and surrounding area.

3. That the site for the intended use is adequate in size and shape to accommodate said use and all of the yards, setbacks, walls, or fences, landscaping and other features required in order to adjust said use to those existing or permitted future uses on land in the neighborhood.

The subject parcel is adequate in size and shape to accommodate the proposed use. The lot coverage of the new commercial uses is 19 percent of project site. The building conforms to required setbacks found in the C-1 zoning designation in the Municipal Code. Therefore, the project site can accommodate the proposed use which is compatible with the existing land uses along Barton Road and Mountain View Avenue.

4. That the site or the proposed use related to streets and highways is properly designed and improved to carry the type and quantity of traffic generated or that will be generated by the proposed use.

The project site has access from Barton Road and Mountain View Avenue, which can accommodate the type and quantity of traffic generated by this use. The project has been designed to incorporate vehicular access to the adjacent commercial site to the east. A total of 304 parking spaces are proposed to accommodate the proposed 65,475 square feet of commercial space. The proposed project and related on and off-site improvements would not conflict with other uses immediately adjacent to the project site.

5. That the conditions set forth in the permit and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare.

The public health, safety, and general welfare will be protected through implementation of the Conditions of Approval, which will ensure that the commercial center is compatible with the neighborhood and City's Development Code. Additionally, the project will meet the minimum development standards required by the latest adopted Building Code.

Public Comments

No public comment.

ENVIRONMENTAL

On May 24, 2011, staff completed the Initial Study pursuant to CEQA and issued a Notice of Intent (NOI) to Adopt a Mitigated Negative Declaration (Attachment B). The mandatory CEQA public review began on May 24, 2011 and ended on June 13, 2011. No comments on the environmental documents have been received to date. A Copy of the NOI/IS is available as Attachment B.

FINANCIAL IMPACT

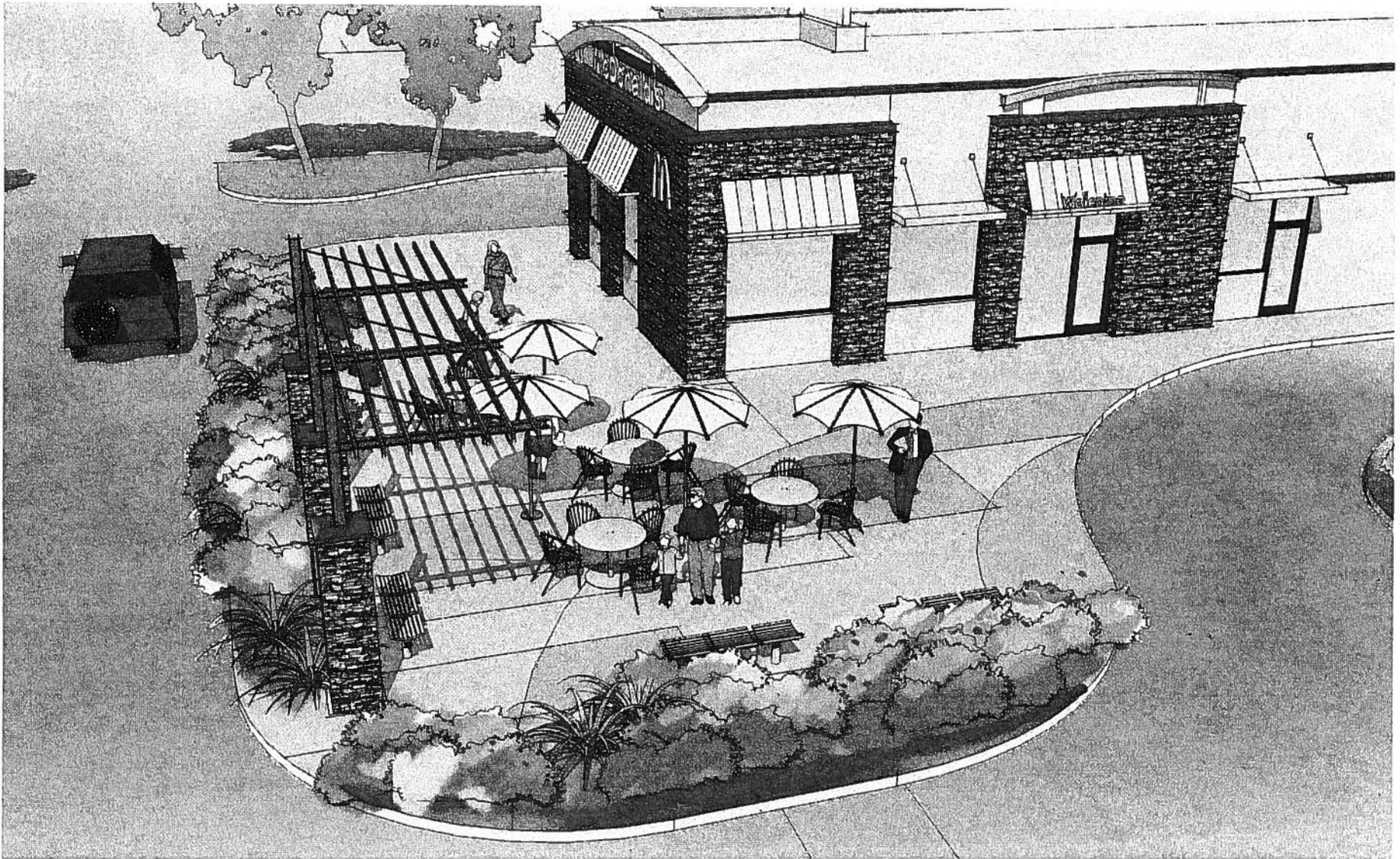
The financial impact of the commercial development on the City is not completely known at this time. However, the proposed construction will require the payment of approximately \$567,432.00 in Development Impact Fees to the City in addition to Building and Construction Plan Check and Permit fees.

Respectfully submitted,

Guillermo Arreola
Associate Planner

ATTACHMENTS

- A. Planning Commission Staff Report (November 2, 2011)
 - Attachments:
 - A. Site Location Map
 - B. NOI/Initial Study (Mitigated Negative Declaration)
 - C. Supplemental Environmental Information
 - D. Revised Conditions of Approval
 - E. Revised Project Plans



A-6

VIEW OF MCDONALD'S PLAZA

DLR Group
WWCOT

CENTER POINT

A1-3

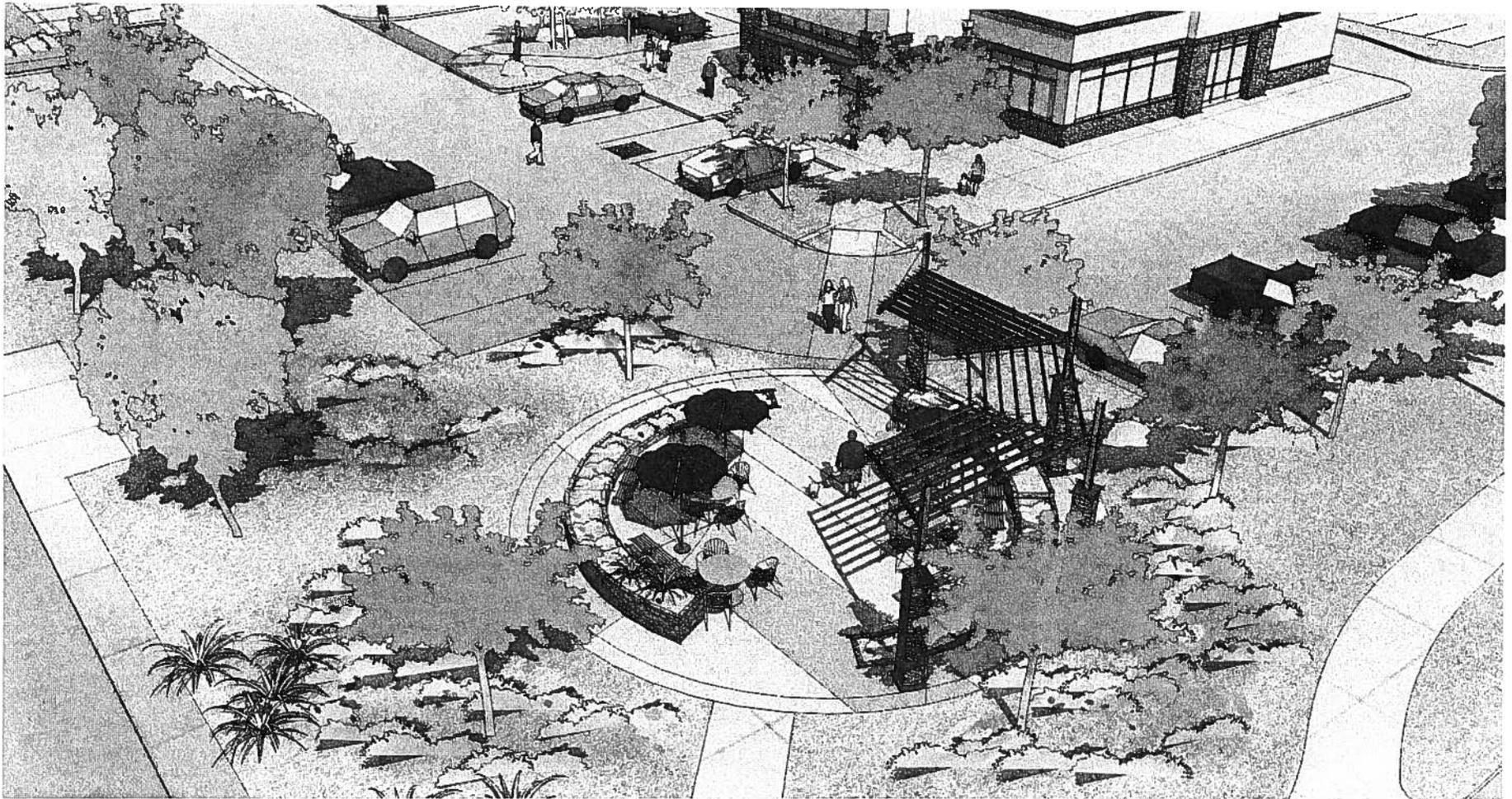
OCTOBER 24, 2011

LOMA LINDA, CA

SCHEMATIC DESIGN

18 Mills Place
Pasadena, CA 91105
T: 626.796.8730
F: 626.776.8733

THIS IS A PRELIMINARY CONCEPT AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY ANY USE OF ANY INFORMATION CONTAINED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED BY HIM.



A-7

THIS IS A PRELIMINARY ARCHITECTURAL CONCEPT AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT HAS REVIEWED AND APPROVED THE GENERAL CONCEPTS AND APPROXIMATE SCHEDULES OF WORK AND IS SUBJECT TO THE ARCHITECT'S SCHEDULE.

OCTOBER 24, 2011

CENTER POINT

LOMA LINDA, CA

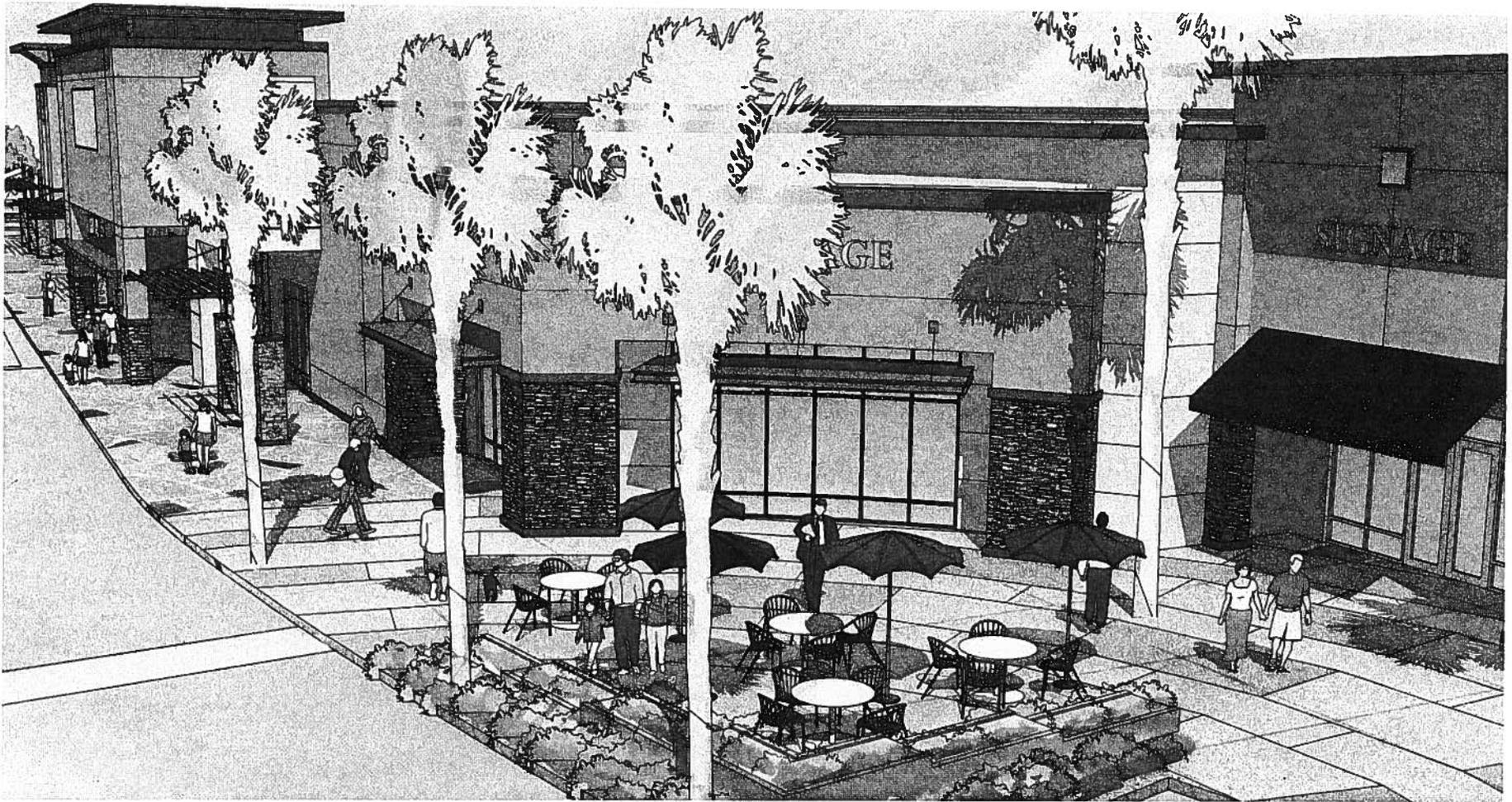
VIEW OF CORNER PLAZA



SCHEMATIC DESIGN

DLR Group
WWCOT

8 Milk Place
Pasadena, CA 91105
T: 626.796.6230
F: 626.796.6735



A-8

NOTE: THIS ARCHITECTURE IS PRELIMINARY AND IS SUBJECT TO APPROVAL BY THE LOCAL GOVERNMENT AND THE LOCAL COMMUNITY. THE ARCHITECTURE IS NOT TO BE CONSIDERED AS A COMMITMENT OR AS A GUARANTEE OF ANY KIND AND IS GIVEN OR OFFERED BY THE ARCHITECT.

OCTOBER 24, 2011

CENTER POINT

LOMA LINDA, CA

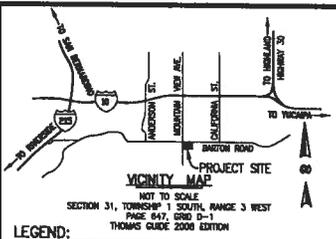
VIEW OF SHOPS/MAJOR

A1-2

SCHEMATIC DESIGN

DLR Group
WWCOT

8 Mills Place
Pasadena, CA 91105
P: 626.796.6730
F: 626.776.6735



PROPOSED PARCEL SIZES:

PARCEL 1	35,000±S.F.	0.80±ACRES
PARCEL 2	81,440±S.F.	1.86±ACRES
PARCEL 3	177,884±S.F.	4.05±ACRES
PARCEL 4	35,200±S.F.	0.80±ACRES
TOTAL	339,524±S.F.	7.70±ACRES

CITY OF LOMA LINDA TENTATIVE PARCEL MAP NO. 19296

DECEMBER 2010
(REVISED OCTOBER 2011)

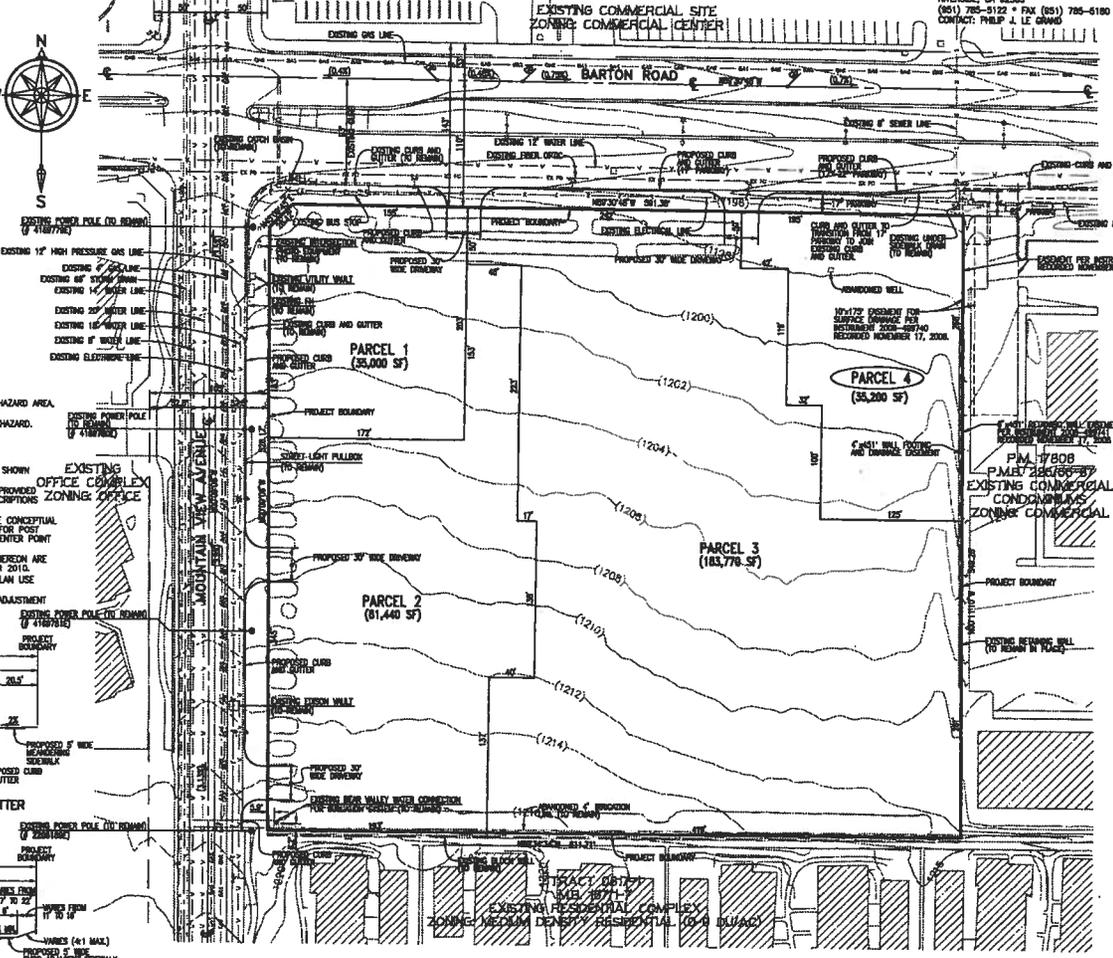
LAND OWNER/SUBDIVIDER/APPLICANT:
TERRA LINDA COMMERCIAL, LLC
11828 LANGSD COURT
LOMA LINDA, CA 92354
(909) 283-3327
CONTACT: ROBERT M. STEWART

ENGINEER:
CSL ENGINEERING, INC.
3410 LA SIERRA AVENUE, #7190
POMEREA, CA 92663
(951) 785-5122 • FAX (951) 785-5180
CONTACT: PHILIP J. LE GRAND

AMENDMENTS:		SCALE: 1" = 50'
DATE	DESCRIPTION	

- LEGEND:**
- FL FLOW LINE
 - GB GRADE BREAK
 - PS PAVED SURFACE
 - HP HIGH POINT
 - EX EXISTING
 - S.D. STORM DRAIN
 - WTR WATER
 - MANHOLE
 - S.F. SQUARE FEET
 - STREET CENTERLINE
 - PH FINE HYDRANT
 - CB CATCH BASIN
 - SL EXISTING STREET LIGHT (TO REMAIN)
 - SW EXISTING GAS LINE (TO REMAIN)
 - WV EXISTING WATER LINE (TO REMAIN)
 - FO EXISTING FIBER OPTIC (TO REMAIN)
 - SL EXISTING SERVICE LINE (TO REMAIN)
 - AP APPROXIMATE STREET CORNER AND DIRECTION OF FLOW
 - DIR DIRECTION OF FLOW
 - EM EXISTING MANHOLE (TO REMAIN)
 - TR EXISTING TREE
 - (1205) EXISTING CONTOUR
- PARCEL 4** LAST PARCEL PROPOSED

- GENERAL NOTES:**
- TENTATIVE PARCEL MAP 19296 IS NOT LOCATED IN EITHER A GEOLOGICAL HAZARD AREA, LOUQUEREAU HAZARD AREA, OR A SPECIAL STUDIES ZONE.
 - THIS PARCEL MAP IS NOT SUBJECT TO OVERTFLOW, INUNDATION OR FLOOD HAZARD.
 - THERE ARE NO EXISTING STRUCTURES ON SITE.
 - THIS MAP SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP.
 - NO OPEN CHANNELS ARE PROPOSED BY THIS PARCEL MAP.
 - THE PROJECT IS WITHIN ZONE "C" (NOT IN A 100 YEAR FLOOD PLAN) AS SHOWN ON FEMA PANEL NUMBER 0507111A.
 - IT IS TO BE ASSUMED THAT NEIGHBORLY ACCESS EASEMENTS SHALL BE PROVIDED FOR ALL PARCELS EITHER BY COAR'S OR SEPARATE EASEMENT LEGAL DESCRIPTIONS AND PLATS AS THE PROJECT IS DEVELOPED.
 - FOR PRELIMINARY SITE GRADING DESIGN AND DRAINAGE PATTERNS, SEE THE CONCEPTUAL GRADING PLAN PREPARED FOR THE CENTER POINT COMMERCIAL CENTER FOR POST CONSTRUCTION (IMP'S). SEE THE PRELIMINARY WMP PREPARED FOR THE CENTER POINT COMMERCIAL CENTER.
 - EXISTING UTILITIES, IMPROVEMENTS, EASEMENTS AND TOPOGRAPHY SHOWN HEREON ARE BASED ON ALTA SURVEY PROVIDED BY THE LAND OWNER, DATED NOVEMBER 2010.
 - THE ZONING SHOWN HEREON IS PER THE CITY OF LOMA LINDA GENERAL PLAN USE MAP ADOPTED MAY 26, 2008.
 - PARCEL LINE LOCATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO ADJUSTMENT WHICH COULD BE NECESSARY TO MEET FUTURE TOWN REQUIREMENTS.



ASSESSOR'S PARCEL No.:

LEGAL DESCRIPTION:

PARCEL 1:
THAT PORTION OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO GOVERNMENT SURVEY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 31;
THENCE EAST 883.75 FEET ALONG THE CORNER LINE OF BARTON AVENUE;
THENCE SOUTH 800 TO THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31,
THENCE WEST 884.175 FEET TO THE CENTER LINE OF MOUNTAIN VIEW AVENUE;
THENCE NORTH 880 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ALL PORTIONS THEREOF HERETOFORE DEDICATED TO STREETS AND COUNTY HIGHWAYS.

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE COUNTY OF SAN BERNARDINO, IN DEED RECORDED IN BOOK 5763, PAGE 9, OFFICIAL RECORDS.

ACREAGE:

NET AREA 7.7 ACRES
STREET RESERVATIONS 0 ACRES
GROSS AREA 7.7 ACRES

GENERAL PLAN:
COMMERCIAL

ZONING & LAND USE:
SUBJECT PROPERTY COMMERCIAL
EXISTING ZONING COMMERCIAL
PROPOSED ZONING COMMERCIAL
EXISTING LAND USE VACANT
PROPOSED LAND USE COMMERCIAL

No. OF PROPOSED PARCELS:
4 COMMERCIAL PARCELS

UTILITIES:

ELECTRIC: SOUTHERN CALIFORNIA EDISON
287 TENNESSEE STREET
REDLANDS, CALIFORNIA 92373
(909) 307-4788

GAS: SOUTHERN CALIFORNIA GAS COMPANY
P.O. BOX 3033
REDLANDS, CALIFORNIA 92373
(909) 882-2253

WATER & SEWER: CITY OF LOMA LINDA
25541 BARTON ROAD
LOMA LINDA, CA 92354
(909) 799-2800

TELEPHONE: VERIZON
1800 ORANGE TREE LAKE
REDLANDS, CALIFORNIA 92373
(909) 749-0055

TELEVISION: CDTV TIME WARNER
17777 CENTER COURT
CERRITOS, CALIFORNIA 90703
(310) 874-1418

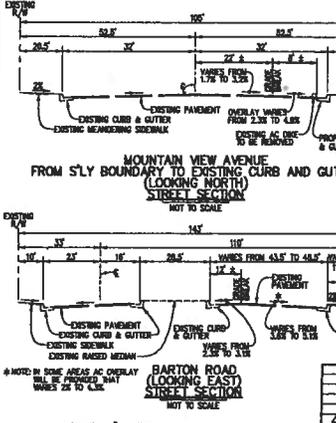
FIBER OPTIC: CITY OF LOMA LINDA
25541 BARTON ROAD
LOMA LINDA, CALIFORNIA 92354
(909) 799-2839

SMALLEST COMMERCIAL LOT SIZE:
0.8 ACRES

SCHOOL DISTRICT:
REDLANDS UNIFIED SCHOOL DISTRICT
20 W. LUCOMA AVENUE
REDLANDS, CALIFORNIA 92374
(909) 307-4330

TOPOGRAPHY:
THE TOPOGRAPHY SHOWN HEREON IS BASED ON THE ACRAL TOPOGRAPHY REFLECTED ON AN ALTA SURVEY AS PROVIDED BY THE LAND OWNER, DATED NOVEMBER 2010.

SOILS ENGINEER:
INLAND FOUNDATION ENGINEERING, INC.
1310 SOUTH FE AVENUE
SAN JACINTO, CA 92583
(951) 854-1550
CONTACT: DAN LIND



SCALE: 1" = 50'

0 25' 50' 100' 150' 200'

DESIGNED BY: P.J.L.	DRAWN BY: M.R.C.	CHECKED BY: P.J.L.
DATE: 12/15/10	DATE: 12/15/10	DATE: 12/15/10
REVISIONS:	REVISIONS:	REVISIONS:

SOILS ENGINEER:
INLAND FOUNDATION ENGINEERING, INC.
1310 SOUTH FE AVENUE
SAN JACINTO, CA 92583
(951) 854-1550
CONTACT: DAN LIND

PREPARED FOR:
TERRA LINDA COMMERCIAL, LLC
11828 LANGSD COURT
LOMA LINDA, CA 92354
(909) 283-3327
CONTACT: ROBERT M. STEWART

PREPARED BY:
CSL ENGINEERING, INC.
3410 LA SIERRA AVENUE, #7190
POMEREA, CALIFORNIA 92663
(951) 785-5122 • FAX (951) 785-5180

SCALE: 1" = 50'
DATE: DECEMBER 2010

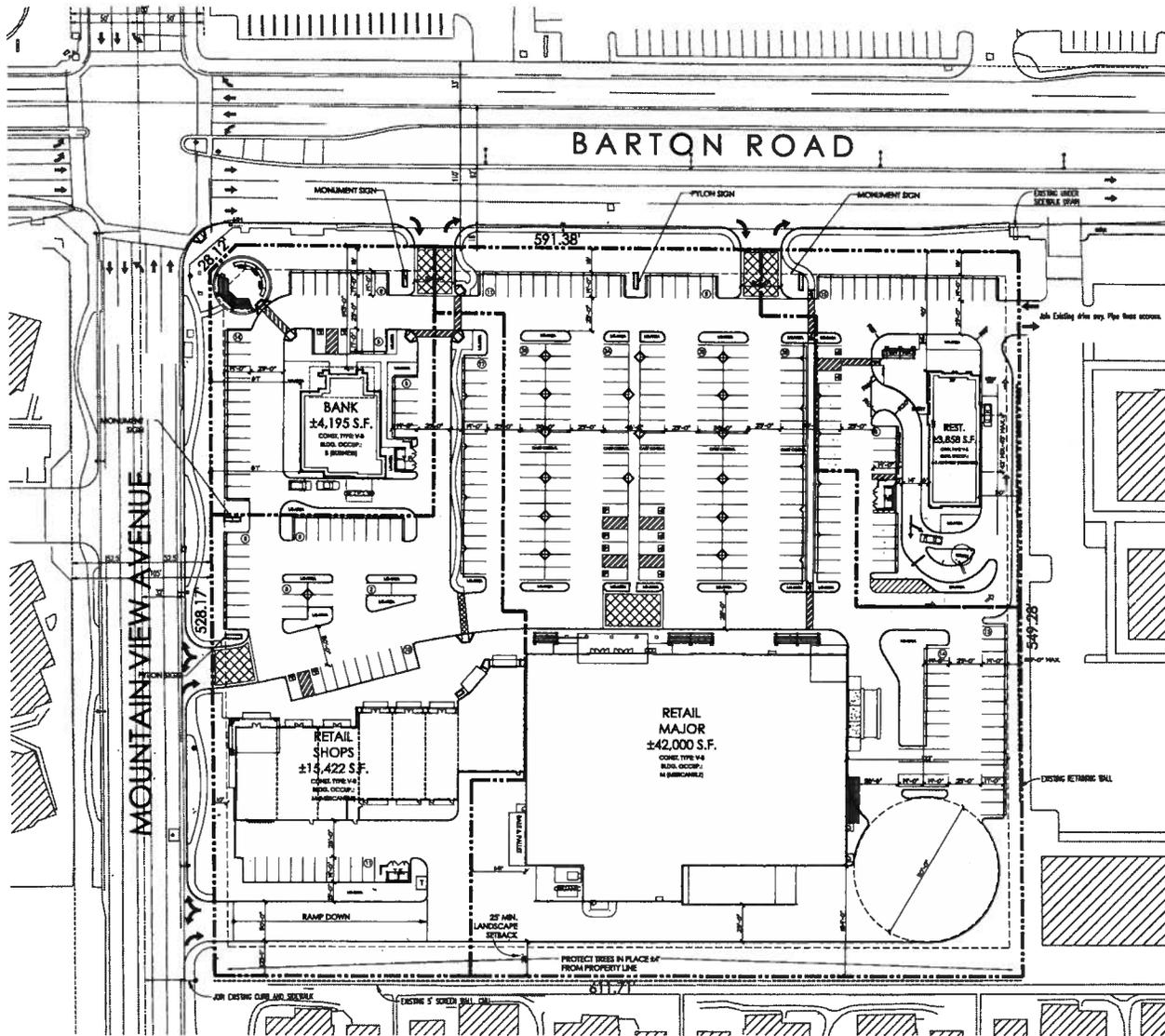
BENCHMARK: BRASS COP IN CONCRETE SIGNAL LIGHT BASE, NORTH WEST CORNER AT INTERSECTION OF BARTON ROAD AND MOUNTAIN VIEW AVENUE. ELEV. = 1185.247

CITY OF LOMA LINDA

**TENTATIVE
PARCEL MAP NO. 19296**

SHEET NO. 1
OF 1 SHEET
FILE NO. UN 786

A-9



PROJECT SUMMARY

SITE AREA	±7.7 AC	±335,420 SF
APN	0293-011-01	
CITY REQUIRED PARKING CALCS		
BUILDING SUMMARY	GLA	PARKING REQ'D
MAJOR 1	±42,000 SF	161 STALLS
MAJOR 2	±15,172 SF	48 STALLS
BANK	±4,195 SF	17 STALLS
RESTAURANT	±3,858 SF	25 STALLS
TOTAL	±65,225 SF	242 STALLS
TENANT PREFERRED PARKING CALCS		
BUILDING SUMMARY	GLA	PARKING PROV.
MAJOR 1	±42,000 SF	175 STALLS
SHOPS	±15,172 SF	65 STALLS
BANK	±4,195 SF	33 STALLS
RESTAURANT	±3,858 SF	37 STALLS
TOTAL	±65,225 SF	304 STALLS
LOT COVERAGE	18.9 %	
PARKING SUMMARY		
PARKING REQD TOTAL	242 STALLS	
PARKING PROVIDED	304 STALLS	
OVERALL PARKING RATIO	4.66/ 1000	
TYP. STALL SIZE	9'-0" x 19'	
TYP. STALL SIZE	9'-0" x 19'	
MAJOR 1 STALL SIZE	9'-6" x 19'	
TYP. STALL SIZE	25' W	
GENERAL PLAN:	COMMERCIAL	
LANDSCAPE AREA:	±51,874 SF	
LANDSCAPE RATIO:	15 % SITE	
LEGAL DESCRIPTION:	NW CORNER, SECTION 31	

VICINTY MAP



PRECISE PLAN OF DESIGN
SCALE: 1" = 40'-0"



75-11766.00

CENTER POINT

A101

OCTOBER 13, 2011

25701 Barton Road, Loma Linda, CA 92354

CUP 10-203

COPYRIGHT © 2011

No.	Date	Revisions Description
1	12/14/2010	- City Submitted
2	10/13/2011	- Revised Plan

NOTE: SEE INFORMATION IN CONCEPTUAL IN MATTER AND IS SUBJECT TO ADJUSTMENTS PENDING FURTHER INFORMATION AND CITY, TOWN, AND GOVERNMENTAL AGENCY APPROVAL. NO WARRANTIES OR GUARANTEES OF ANY KIND ARE GIVEN OR IMPLIED BY THE ARCHITECT.

DLR Group
WWCOT

RMS

11695 Largo Court
Loma Linda, CA 92354
t: 909.583.3307

8 Mills Place, 3F
Pasadena, CA 91101
t: 626.796.8230
f: 626.796.8735

A-10



CLIENT: **TERRA LINDA COMMERCIAL, LLC**
 11695 LARGO COURT
 LOMA LINDA, CA 92354
 CONTACT: ROBERT STEWART
 (909) 583-3307

PROJECT: **CENTER POINT COMMERCIAL**
 25701 BARTON ROAD
 LOMA LINDA, CA 92354
 CONCEPTUAL LANDSCAPE PLAN

REVISIONS	DATE	BY

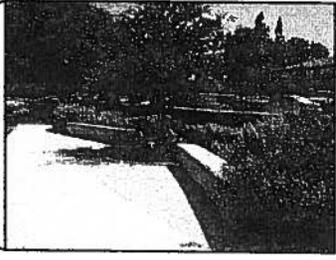


SHEET TITLE
CONCEPTUAL LANDSCAPE

DESIGNED	RJK
DRAWN	
CHECKED	
DATE	3/26/11
SCALE	1" = 30' ±
JOB NO.	10000

SHEET
CP
 OF 11 SHEETS

PLOT DATE: 3/26/11



PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	SIZE	SPACING	REMARKS
(Symbol)	2-3	DISTING GRASSES AND/OR POPLAR TREE			
(Symbol)	2-3	KOELBUTERIA PINCOLATA GOLDEN RAIN TREE	24" BOX	REFER TO PLAN	STANDARD
(Symbol)	2	OLEA EUROPAEA SILAONI FRUITLESS OLIVE	24" BOX 36" BOX	REFER TO PLAN	STANDARD LOW BRANCHING AT CORNER
(Symbol)	2	PERSEA GARDNERI CHERRY PINEAPPLE	24" BOX	REFER TO PLAN	STANDARD
(Symbol)	2	TRIA BY LA ORANGE TREE	9 GAL	REFER TO PLAN	STANDARD

ALL TREE LOCATED IN PARKING LOT ISLANDS OR DIAPHRAGMS 6" AND LESS ARE TO RECEIVE A 3" DEEP BY 7" DEEP RING OF C-1 STRUCTURAL SOIL AROUND THE EDGE OF THE PLANTER UNDER THE ASPHALT. TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

ALL TREES LOCATED BEYOND 10' OF ANY UTILITY, LIGHT STANDARD, OR HARDSCAPE TO RECEIVE A LINEAR ROOT BARRIER.

GRASSES

(Symbol)	2	AGAVE AMERICANA CENTURY PLANT	9 GAL	6" OC.
(Symbol)	2	AGAVE MEXICO PICTA DWARF VARIEGATED CENTURY PLANT	9 GAL	4" OC.
(Symbol)	2	CALLISTEMON LITTLE JOAN DWARF BOTTLE BRUSH	9 GAL	3" OC.
(Symbol)	2-3	SCYTHUS VARIEGATA YELLOW VARIEGATED EBENTHUS	9 GAL	4" OC.
(Symbol)	2-3	HEPERICALLIS 'AMIE GOLDSTILY' RED DAYLILY FROTH GREENWOOD DAYLILY	1 GAL	2" OC.
(Symbol)	2	IMPATIENS LVARIA RED HOT POKER	9 GAL	3" OC.
(Symbol)	2-3	LEUCOPHYLLUM C. 'HARBOR CLOUD' HARBOR CLOUD TEAN BARKER	9 GAL	3" OC.
(Symbol)	2	HALIMOLOBOS CAPILLARS RESAL HEY PINK HEALY	1 GAL	3" OC.
(Symbol)	2	HYDRIS COPPINI COPPACTA DWARF HYDRILE	9 GAL	3" OC.
(Symbol)	2	PERANIBETH FASERII PURPLE FOUNTAIN GRASS	1 GAL	3" OC.
(Symbol)	2	PHOENIX L BUNDOPHENS NEW ZEALAND FLAX	9 GAL	3" OC.
(Symbol)	2-3	RAFFAELLES L 'CONCRE' ELEANOR TABER INDIA HARBORHORE	9 GAL	3" OC.
(Symbol)	2	ROSA STARLA WHITE PINK ROSE FRUCH OTTO AND SOHN	1 GAL	2" OC.
(Symbol)	2	TRICOSTEMA LAMERTII SOULY BLUE GIBEL	9 GAL	3" OC.

MISCELLANEOUS

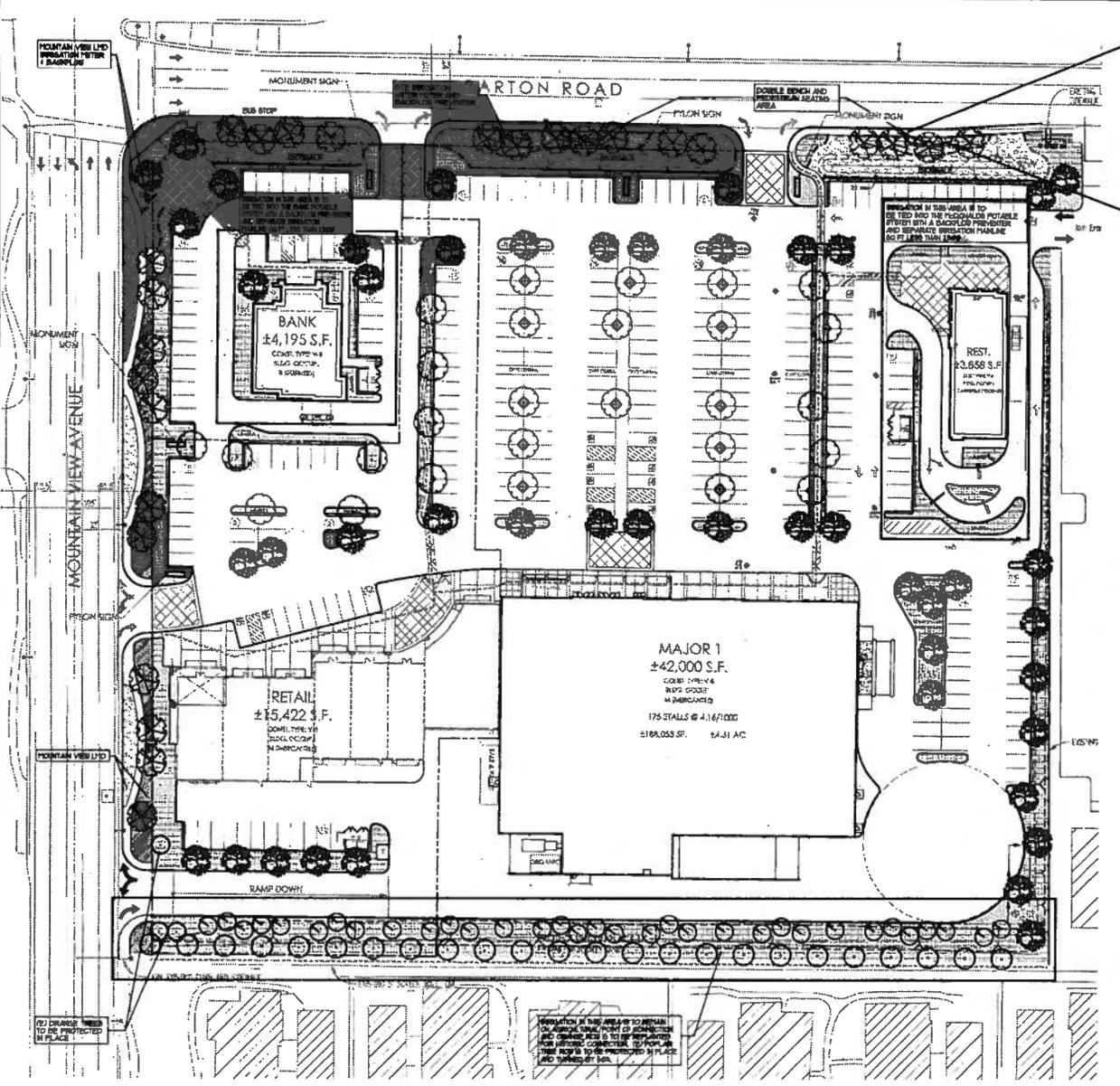
(Symbol)	2	TRIFOLIUM HYBRID BENTPEDIA SEST COAST TURF 54-56-50S	600	
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IRRIGATION
 LINDA IRRIGATION SYSTEM IS TO FOLLOW CITY OF LOMA LINDA STANDARDS.

ON SITE IRRIGATION SYSTEM IS TO BE AUTOMATIC AND USE A SMART CONTROLLER WITH REAL TIME SENSING READINGS. IRRIGATION SYSTEM SHALL BE TOOK ACCORDING TO PLANT WATER USE, SLOPE, SOIL ASPECT, AND BANNAHIRE MICROCLIMATE. 2 1/2" SLOPES AND GREATER TO BE MAINTAINED AND TO ALLOW FOR COLLECTORS IN WATER NEEDS.

USE OF CHECK VALVES WILL INSURE THAT THERE WILL BE NO LOW HEAD DRAINAGE.

PLANT PLACING AND QUANTITIES
 A COMPLETE PLANTING PLAN WILL BE PROVIDED FOR REVIEW AND APPROVAL AT FINAL BIDDING FOR APPROVAL OF THE SITE PLAN AND PRIOR TO CONSTRUCTION OCCUPANTS.



APPROX. LANDSCAPE QUANTITIES

AREA	CITY LINDA SQ. FT.	SITE LANDSCAPE SQ. FT.	AS AREA SQ. FT.	DRAIN SQ. FT.	PCDCHALDS SQ. FT.
TURF PLANTS	1,251	7,820,848.92	9,071.93	2,763	3,691
APPROX. PLANTS BASED ON 7" SPACING OR REDUCED TO 10" SPACING	76	669	MULCH	81	65

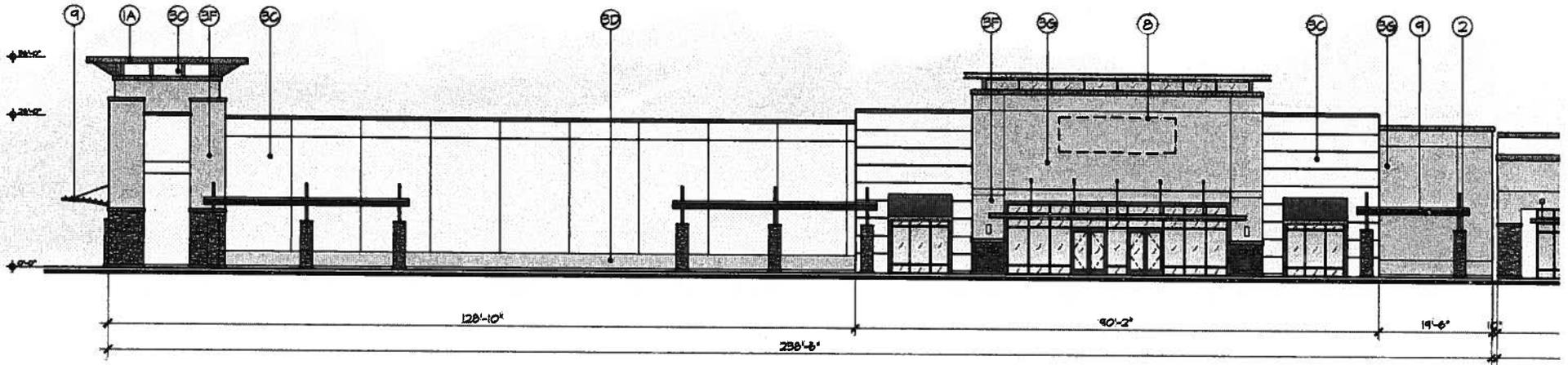
Landscape Water Use Calculations
Center Point Commercial LMD

1 Maximum Annual Water Allowance (MAWA)	(MAWA)
IMPLY the total square footage of landscape = 8,824 S.F.	
IMPLY the MAWA ETS for this area = 58.37	
MAWA = 218 gal/yr	

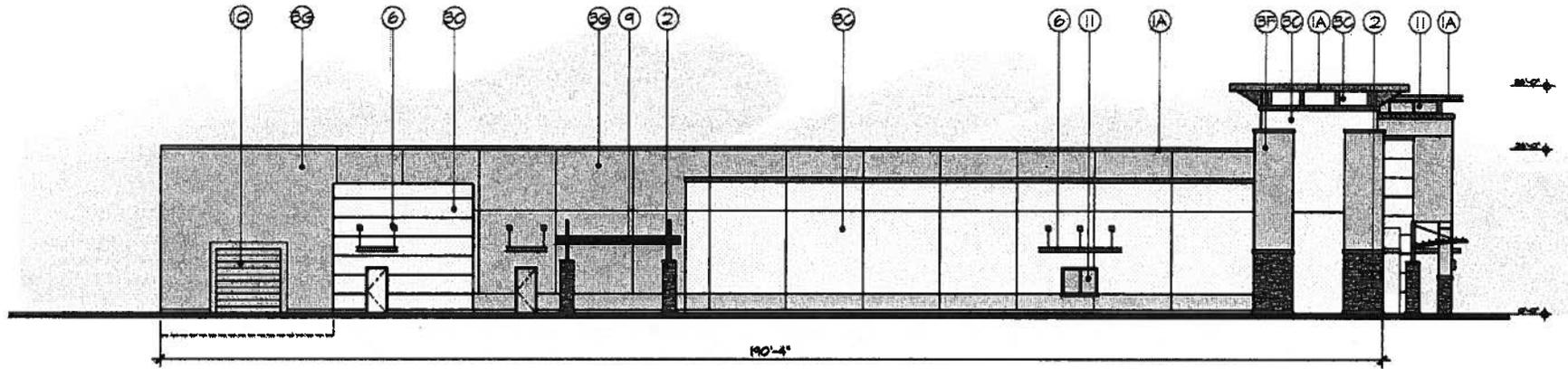
Landscape Water Use Calculations
Center Point Commercial

1 Maximum Annual Water Allowance (MAWA)	(MAWA)
IMPLY the total square footage of landscape = 47,365 S.F.	
IMPLY the MAWA ETS for this area = 31.37	
MAWA = 1,787 gal/yr	

A-11



MAJOR NORTH ELEVATION
SCALE: 1" = 8'-0"



MAJOR EAST ELEVATION
SCALE: 1" = 8'-0"



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75-11764-00

OCTOBER 24, 2011

CENTER POINT

25701 Barton Road, Loma Linda, CA 92354

1" = 8'-0"

ELEVATIONS

A301

PRELIMINARY DESIGN

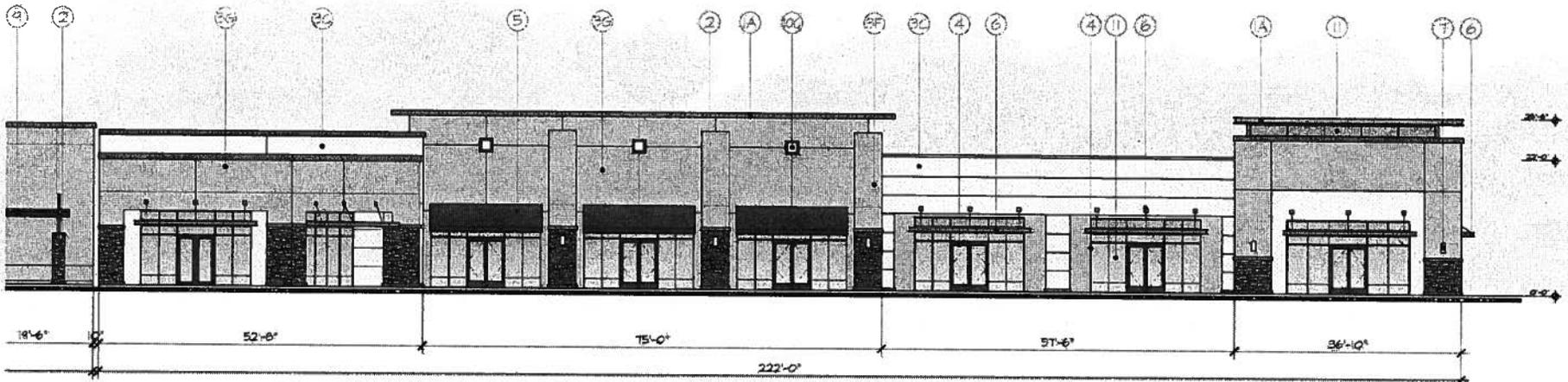
RMS

11695 Largo Court
Loma Linda, CA 92354
t: 909.583.3307

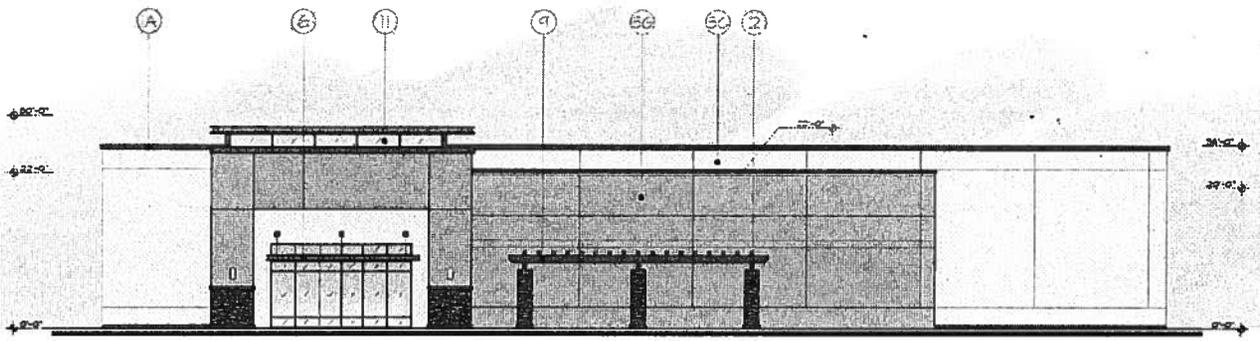
DLR Group
WWCOT

8 Mills Place, 3F
Pasadena, CA 91101
t: 626.796.8230
t: 626.796.8735

A-12



SHOPS NORTH ELEVATION
SCALE: 1" = 8'-0"



SHOPS WEST ELEVATION
SCALE: 1" = 8'-0"



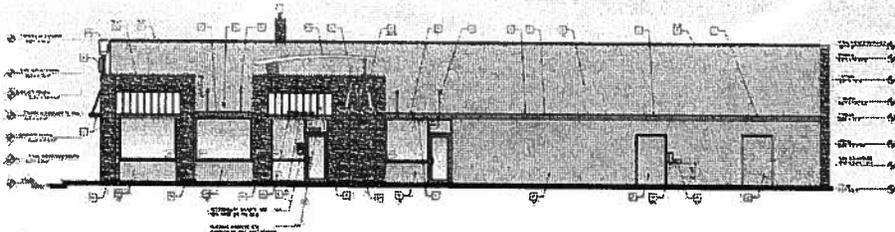
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75-1176400 **CENTER POINT** **ELEVATIONS** **A302**
OCTOBER 24, 2011 25701 Barton Road, Loma Linda, CA 92354 PRELIMINARY DESIGN

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WWCOT
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f: 626.796.8735

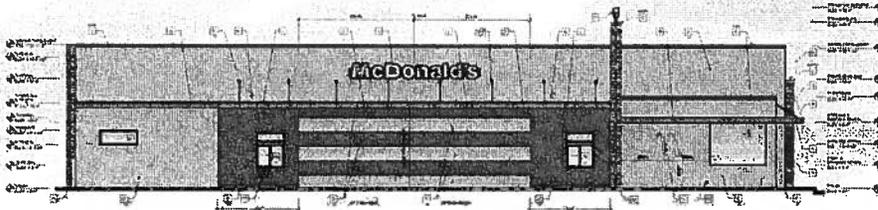
A-13



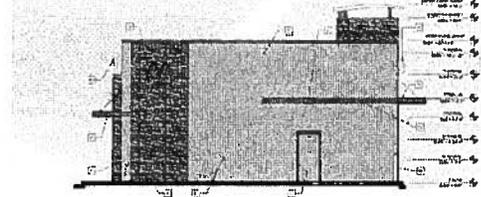
MCDONALD'S WEST ELEVATION
SCALE: 1" = 8'-0"



MCDONALD'S NORTH ELEVATION
SCALE: 1" = 8'-0"



MCDONALD'S EAST ELEVATION
SCALE: 1" = 8'-0"



MCDONALD'S SOUTH ELEVATION
SCALE: 1" = 8'-0"

- NOTES:**
- 1. SEE ARCHITECT'S GENERAL NOTES FOR ALL NOTES.
 - 2. SEE ARCHITECT'S GENERAL NOTES FOR ALL NOTES.
 - 3. SEE ARCHITECT'S GENERAL NOTES FOR ALL NOTES.
 - 4. SEE ARCHITECT'S GENERAL NOTES FOR ALL NOTES.

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- 2. SEE ARCHITECT'S GENERAL NOTES FOR ALL NOTES.
- 3. SEE ARCHITECT'S GENERAL NOTES FOR ALL NOTES.
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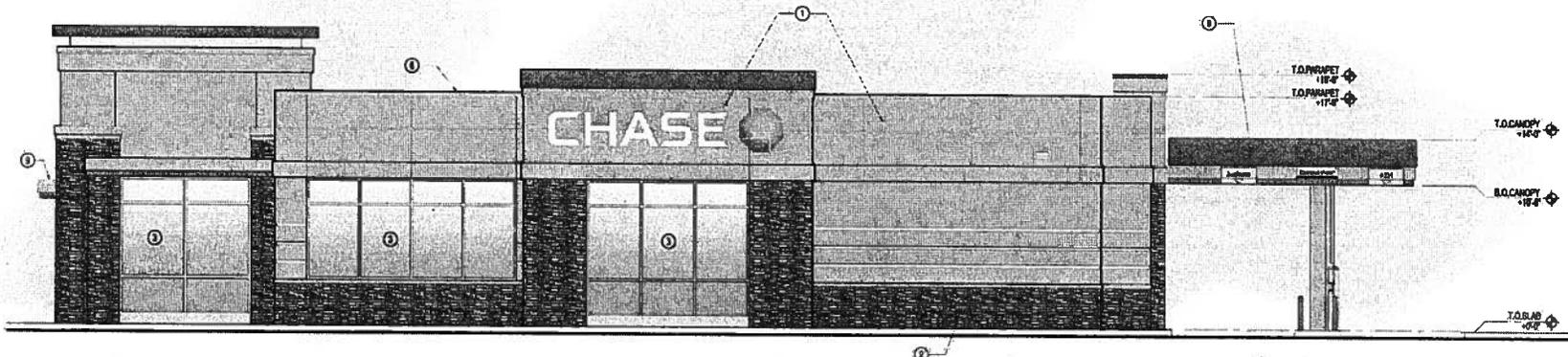
fiedler group
Architectural & Engineering Group
32241 Paul Road, Loma Linda, CA 92354
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info@fiedlergroup.com



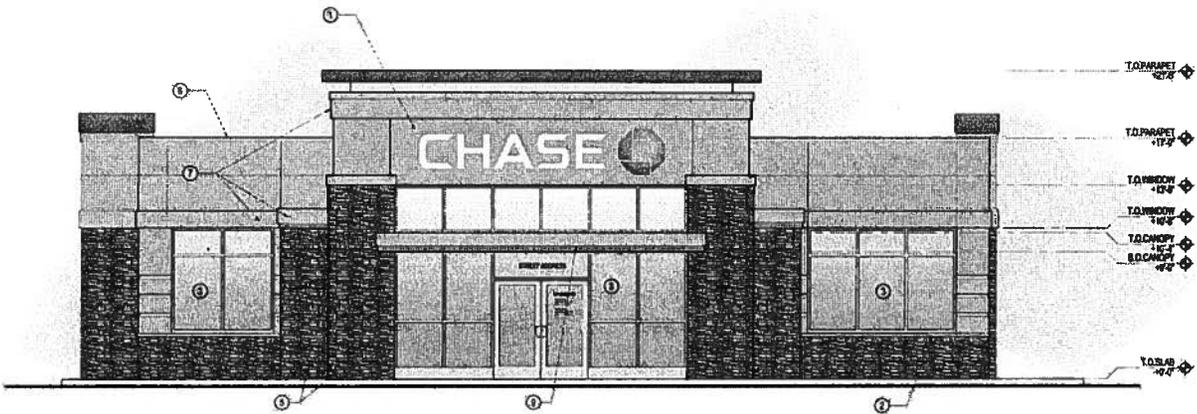
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A-14

75-11764-00
OCTOBER 24, 2011
CENTER POINT
25701 Barton Road, Loma Linda, CA 92354
ELEVATIONS
A303
PRELIMINARY DESIGN



WEST ELEVATION
SCALE: 1" = 4'-0"



NORTH ELEVATION
SCALE: 1" = 4'-0"

KEY NOTES

- ① STUCCO WALL FINISH (TYP.)
- ② PRECAST CONCRETE WALL CAP
- ③ CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH CLEAR GLAZING (TYP.)
- ④ NOT USED
- ⑤ STONE WALL VENEER (ELDORADO STONE, RUSTIC EDGE, BACKLASH, TYP.)
- ⑥ METAL CORNICE
- ⑦ EPS MOLDING DETAIL
- ⑧ DRIVE-UP AUTO CANOPY
- ⑨ METAL CLAD ENTRANCE CANOPY

Gensler

475 Market Street
Suite 350
Newport Beach, CA 92660
Telephone: 949.362.8254
Facsimile: 949.533.1878



**DLR Group
WWCOT**

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ELEVATIONS
A305

CENTER POINT

75:11764-00
OCTOBER 24, 2011

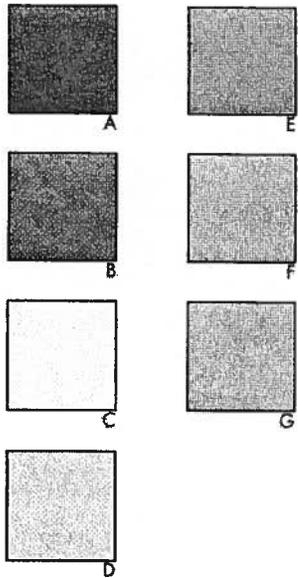
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PRELIMINARY DESIGN

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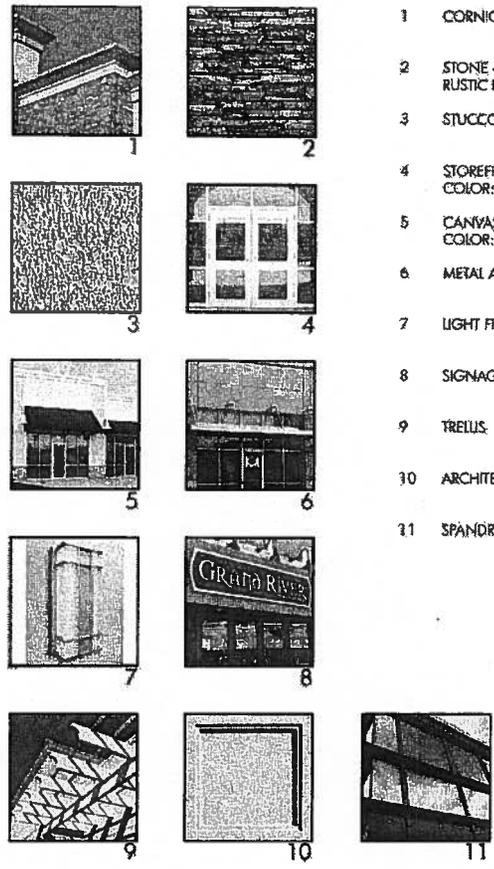
A-15

COLOR



- A DUNN EDWARDS
DEA161 WILD MUSTANG
- B DUNN EDWARDS
DEC797 BATTLESHIP GRAY
- C DUNN EDWARDS
DE6142 FLOATING FEATHER
- D DUNN EDWARDS
DEC714 FRIAR TUCK
- E DUNN EDWARDS
DEC707 FOXTAIL
- F DUNN EDWARDS
DEC708 SUNSET COVE
- G DUNN EDWARDS
DE6137 TAN PLAN

MATERIAL



- 1 CORNICE - EIFS
- 2 STONE - EL DORADO STONE
RUSTIC LEDGE, CASCADE
- 3 STUCCO
- 4 STOREFRONT - KAYNEER
COLOR: ANODIZED ALUMINUM
- 5 CANVAS AWNING - SUNBRELLA
COLOR: BLACK CHERRY
- 6 METAL AWNING
- 7 LIGHT FIXTURE
- 8 SIGNAGE
- 9 TRELLIS
- 10 ARCHITECTURAL ELEMENT
- 11 SPANDELI GLASS

75.11766.00
OCTOBER 24, 2011

CENTER POINT

25701 Barton Road, Loma Linda, CA 92354

COLOR MATERIAL BOARD
SCALE: 1/8" = 1'-0"

A401

CUP 10-203



DLR Group
WWCOT

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A-16

**CONDITIONS OF APPROVAL
TENTATIVE PARCEL MAP (TPM) NO. 10-205 AND CONDITIONAL USE PERMIT
(CUP) NO. 10-203**

COMMUNITY DEVELOPMENT DEPARTMENT

General

1. Within one year of this approval, the Conditional Use Permit shall be exercised by substantial construction or the permit/approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one year, the permit/approval shall become null and void.

PROJECT:

PM 10-205 AND CUP 10-203

EXPIRATION DATE:

December 13, 2013

2. The review authority may, upon application being filed 30 days prior to the expiration date and for good cause, grant a one-time extension not to exceed 12 months. The review authority shall ensure that the project complies with all current Development Code provisions.
3. In the event that this approval is legally challenged, the City will promptly notify the applicant of any claim or action and will cooperate fully in the defense of the matter. Once notified, the applicant agrees to defend, indemnify, and hold harmless the City, Redevelopment Agency (RDA), their affiliates officers, agents and employees from any claim, action or proceeding against the City of Loma Linda. The applicant further agrees to reimburse the City and RDA of any costs and attorneys fees, which the City or RDA may be required by a court to pay as a result of such action, but such participation shall not relieve applicant of his or her obligation under this condition.
4. Construction shall be in substantial conformance with the plan(s) approved by the Planning Commission. Minor modification to the plan(s) shall be subject to approval by the Director through a minor administrative variation process. Any modification that exceeds 10% of the following allowable measurable design/site considerations shall require the refilling of the original application and a subsequent hearing by the appropriate hearing review authority if applicable:
 - a. On-site circulation and parking, loading and landscaping;
 - b. Placement and/or height of walls, fences and structures;
 - c. Reconfiguration of architectural features, including colors, and/or modification of finished materials that do not alter or compromise the previously approved theme; and,
 - d. A reduction in density or intensity of a development project.
5. No vacant, relocated, altered, repaired or hereafter erected structure shall be occupied or no change of use of land or structure(s) shall be inaugurated, or no new business commenced as authorized by this permit until a Certificate of Occupancy has been issued by the Building Division. A Temporary Certificate of Occupancy may be issued by the Building Division subject to the conditions imposed on the use,

EXHIBIT - B

provided that a deposit is filed with the Community Development Department prior to the issuance of the Certificate, if necessary. The deposit or security shall guarantee the faithful performance and completion of all terms, conditions and performance standards imposed on the intended use by this permit.

6. This permit or approval is subject to all the applicable provisions of the Loma Linda Municipal Code, Title 17 in effect at the time of approval, and includes development standards and requirements relating to: dust and dirt control during construction and grading activities; emission control of fumes, vapors, gases and other forms of air pollution; glare control; exterior lighting design and control; noise control; odor control; screening; signs, off-street parking and off-street loading; and, vibration control. Screening and sign regulations compliance are important considerations to the developer because they will delay the issuance of a Certificate of Occupancy until compliance is met. Any exterior structural equipment, or utility transformers, boxes, ducts or meter cabinets shall be architecturally screened by wall or structural element, blending with the building design and include landscaping when on the ground.
7. Signs are not approved as a part of this permit. Prior to establishing any new signs, the applicant shall submit a Master Sign Permit Application, and receive approval from the Planning Commission (pursuant to LLMC, Chapter 17.18) and a Building Permit for construction of the signs from the Building Division, as applicable.
8. The applicant shall comply with all of the Public Works Department requirements for recycling prior to issuance of a Certificate of Occupancy.
9. A Final Phasing Plan shall be submitted to the Community Development Department for review and approval prior to issuance of any Building or Construction Permits.
10. Mitigation Measure During construction of the site, the project shall comply with Section 9.20 (Prohibited Noises) of the Loma Linda Municipal Code and due to sensitive receptors in the surrounding neighborhood, construction activities shall be further restricted to cease between the hours of 7:00 p.m. and 7:00 a.m.
11. Mitigation Measure The developer shall require that all construction equipment is properly maintained with operating mufflers and air intake silencers, and prioritized the location of equipment staging and storage as far as practical from the existing residential units and school.
12. Mitigation Measure The developer shall locate construction staging areas as far from existing noise-sensitive land uses as feasible.
13. Mitigation Measure Prior to issuance of Certificate of Occupancy, the applicant shall submit a photometric plan and final lighting plan to City staff showing the exact locations of light poles and the proposed orientation and shielding of the fixtures to prevent glare onto existing homes to the south.
14. Mitigation Measure. The applicant shall implement SCAQMD Rule 403 and standard construction practices during all operations capable of generating fugitive dust, which will include but not be limited to the use of best available control measures and reasonably available control measures such as:

The project proponent shall ensure that any portion of the site to be graded shall be pre-watered prior to the onset of grading activities.

- (a) The project proponent shall ensure that watering of the site or other soil stabilization method shall be employed on an on-going basis after the initiation of any grading activity on the site. Portions of the site that are actively being graded shall be watered regularly to ensure that a crust is formed on the ground surface, and shall be watered at the end of each workday.
 - (b) The project proponent shall ensure that all disturbed areas are treated to prevent erosion until the site is constructed upon.
 - (c) The project proponent shall ensure that landscaped areas are installed as soon as possible to reduce the potential for wind erosion.
 - (d) The project proponent shall ensure that all grading activities are suspended during first and second stage ozone episodes or when winds exceed 25 miles per hour.
15. Mitigation Measure. The operator shall comply with all existing and future CARB and SCAQMD regulations related to diesel-fueled trucks, which may include among others: (1) meeting more stringent emission standards; (2) retrofitting existing engines with particulate traps; (3) use of low sulfur fuel; and (4) use of alternative fuels or equipment.
 16. Mitigation Measure. To reduce emissions, all equipment used in grading and construction must be tuned and maintained to the manufacturer's specification to maximize efficient burning of vehicle fuel.
 17. Mitigation Measure. The project proponent shall ensure that existing power sources are utilized where feasible via temporary power poles to avoid on-site power generation during construction.
 18. Mitigation Measure. The project proponent shall ensure that construction personnel are informed of ride sharing and transit opportunities.
 19. Mitigation Measure. All buildings on the project site shall conform to energy use guidelines in Title 24 of the California Administrative Code.
 20. Mitigation Measure. The operator shall maintain and effectively utilize and schedule on-site equipment in order to minimize exhaust emissions from truck idling.
 21. Mitigation Measure. The contractor shall use coatings and solvents with a volatile organic compound (VOC) content lower than required under Rule 1113.
 22. Mitigation Measure. The developer/contractor shall use building materials that do not require painting.
 23. Mitigation Measure. The developer/contractor shall use pre-painted construction materials where feasible.
 24. All Development Impact fees shall be paid to the City of Loma Linda prior to the issuance of the Certificate of Occupancy.

25. Prior to issuance of any Building and/or Construction Permits, the applicant shall submit to the Community Development Department proof of payment or waiver from both the City of San Bernardino for sewer capacity fees and Redlands Unified School District for school impact fees.
26. The applicant to pay all required development impact fees to cover 100 percent of the pro rata share of the estimated cost of public infrastructure, facilities, and services.
27. The developer shall provide infrastructure for the Loma Linda Connected Community Program, which includes providing a technologically enabled development that includes coaxial, cable and fiber optic lines to all outlets in each unit of the development. Plans for the location of the infrastructure shall be provided with the precise plan of design, which includes providing a technologically enabled development that includes coaxial, cable, and fiber optic lines to all outlets in each unit of the development. Plans for the location of the infrastructure shall be provided with the precise grading plans and reviewed and approved by the City of Loma Linda prior to issuing grading permits.
28. The project shall comply with the City Art in Public Places Ordinance (LLMC Chapter 17.26), which establishes grounds for compliance for new enterprises to facilitate public art. The establishment of artistic assets will be financed and/or constructed by the development community as part of the development requirements.
29. Mitigation Measure. Should paleontological resources be uncovered during grading, a qualified vertebrate paleontologist shall be contracted to perform a field survey to determine and record any nonrenewable, paleontological resources found on site. The professional will be able to find, determine the significance, and make recommendations for appropriate mitigation measures in compliance with the guidelines of the California Environmental Quality Act.
30. Mitigation Measure In the event that human remains are encountered during grading, all provisions of state law requiring notification of the County Coroner, contacting the Native American Heritage Commission, and consultation with the most likely descendant, shall be followed.
31. Mitigation Measure Should significant subsurface prehistoric or historic archaeological resources be encountered during construction, the evaluation of any such resources shall proceed in accordance with the criteria outlined in Section 106 of the National Historic Preservation Act 1966, as amended. In the event that buried cultural materials are unearthed during the course of construction, all work must be halted in the vicinity of the find until a qualified archaeologist can assess its significance and make recommendations to the City of Loma Linda for appropriate mitigation measures in compliance with the guidelines of the California Environmental Quality Act.
32. Mitigation Measure. The proposed project shall implement the recommendations found in the Water Quality Management Plan (CSL Engineering, Inc, December 15, 2010).

Landscaping

33. The applicant shall submit three sets of the final landscape plan prepared by a state licensed Landscape Architect, subject to approval by the Community Development Department, and by the Public Works Department for landscaping in the public right-of-way. Landscape plans for the Landscape Maintenance District shall be on separate plans.
34. Final landscape and irrigation plans shall be in substantial conformance with the approved conceptual landscape plan and these conditions of approval. Any and all fencing shall be illustrated on the final landscape plan.
35. Landscape plans shall depict the utility laterals, concrete improvements, and tree locations. Any modifications to the landscape plans shall be reviewed and approved by the Public Works and Community Development Departments prior to issuance of permits.
36. The applicant, property owner, and/or business operator shall maintain the property and landscaping in a clean and orderly manner and all dead and dying plants shall be replaced with similar or equivalent type and size of vegetation.
37. Mitigation Measure. Prior to construction, a certified Arborist shall evaluate all on-site trees and prepare a report that includes recommendations for relocation or replacement of all healthy trees. Should the relocation or removal of any tree be required, the applicant shall submit an Arborist Report prior to site disturbance. Any removal or replacement of trees shall be in accordance with the City's Tree Preservation Ordinance.

FIRE DEPARTMENT

38. All construction shall meet the requirements of the editions of the 2007 California Building Code (CBC) and the 2007 California Fire Code (CFC)/International Fire Code (IFC) as adopted and amended by the City of Loma Linda and legally in effect at the time of issuance of building permit.
39. Pursuant to CFC Section 903, as amended in Loma Linda Municipal Code (LLMC) Sections 15.28.230-450, the building(s) shall be equipped with automatic fire sprinkler system(s). Pursuant to CFC Section 901.2, plans and specifications for the fire sprinkler system(s) shall be submitted to Fire Prevention for review and approval prior to installation. Fire flow test data for fire sprinkler calculations must be current within the last 6 months. Request flow test data from Loma Linda Fire Prevention at (909) 799-2859.
40. Fire Department Impact Fees shall be assessed according to the rate legally in effect at the time of building permit issuance. Pursuant to LLMC Chapter 3.28, plan check and inspection fees shall be collected at the rates established by the City manager's Executive Order.
41. The applicant shall meet the Fire Departments requirements regarding emergency access to the site. The site circulation shall meet the performance requirements of all emergency vehicles.
42. Mitigation Measure. The developer shall submit a Utility Improvement Plan showing the location of fire hydrants for review and approval by the Fire Department.

PUBLIC WORKS DEPARTMENT

43. The developer shall submit an engineered grading plan for proposed project.
44. All onsite utilities shall be underground. The City of Loma Linda shall be the sewer purveyor.
45. All public improvement plans shall be submitted to the Public Works Department for review and approval.
46. Any damage to existing improvements as a result of this project shall be repaired by the applicant to the satisfaction of the City Engineer.
47. Mitigation Measure. Prior to issuance of grading permits, the applicant shall submit to the City Engineer a Notice of Intent (NOI) to comply with obtaining coverage under the National Pollutant Discharge Elimination System (NPDES) General Construction Storm Water Permit from the State Water Resources Control Board. Evidence that this has been obtained (i.e., a copy of the Waste Dischargers Identification Number) shall be submitted to the City Engineer for coverage under the NPDES General Construction Permit.
48. Mitigation Measure. The project proponent shall comply with City adopted policies regarding the reduction of construction and demolition (C&D) materials.
49. Mitigation Measure. All site drainage shall be handled on-site and shall not be permitted to drain onto adjacent properties.
Mitigation Measure. An erosion/sediment control plan and a Water Quality Management Plan are required to address on-site drainage construction and operation.
50. Mitigation Measure. All necessary precautions and preventive measures shall be in place in order to prevent material from being washed away by surface waters or blown by wind. These controls shall include at a minimum: Regular wetting of surface or other similar wind control method, installation of straw or fiber mats to prevent rain related erosion. Detention basin(s) or other appropriately sized barrier to surface flow must be installed at the discharge point(s) of drainage from the site. Any water collected from these controls shall be appropriately disposed of at a disposal site. These measures shall be added as general notes on the site plan and a statement added that the operator is responsible for ensuring that these measures continue to be effective during the duration of the project construction.
51. Mitigation Measure. The City of Loma Linda shall periodically review traffic operations in the vicinity of the project once the project is constructed to assure that the traffic operations are satisfactory.
52. Mitigation Measure Sight distances at the project accesses should be reviewed with respect to Caltrans/Loma Linda standards in conjunction with the preparation of final grading, landscape, and street improvement plans.
53. Mitigation Measure The proposed project shall contribute on a fair share basis, through the adopted traffic development impact fees to offset potential impacts to study area intersections as listed in the Traffic Impact Study prepared by Kunzman Associates dated May 2011.

54. Mitigation Measure Construct Mountain View Avenue from Barton Road to the south project boundary at its ultimate half-section including landscaping and parkway improvements in conjunction with development.
55. Mitigation Measure Construct Barton Road from Mountain View Avenue to the east project boundary at its ultimate half-section with landscaping and parkway improvements in conjunction with development.
56. Mitigation Measure The project site should provide sufficient parking spaces to meet the City of Loma Linda parking code requirements in order to service on-site parking demand.
57. Mitigation Measure On-site traffic signing and striping should be implemented in conjunction with detailed construction plans for the project.
58. Prior to the issuance of certificate of occupancies, all organizational documents for the project including any deed restrictions, covenants, conditions, and restrictions shall be submitted to and approved by the Community Development Department and City Attorney's office. Costs for such review shall be borne by the applicant/developer. A copy of the final documents shall be submitted to the Community Development Department after their recordation.

Applicant signature

Date

Owner signature

Date

End of Conditions

Terra Linda Commercial, LLC
11695 Largo Court, Loma Linda, CA 92354
Phone (909) 583-3307 Fax (909) 796-7202

August 14, 2012

City of Loma Linda
Mr. Guillermo Arreola
Planning Department
25541 Barton Road, Loma Linda 92354

**Regarding: Request for 12 month extension: Tentative Parcel Map (TPM) No. 10-205 (PM 19296),
Conditional Use Permit (CUP) No. 10-203 and Precise Plan of Design for 25701 Barton
Road. Center Point.**

The City of Loma Linda Precise Plan of Design for Tentative Parcel Map No. 10-205 and Conditional Use Permit No. 10-203 was approved by the City of Loma Linda City Council on December 13, 2011. Condition #1 provided that one year is given to begin construction. This could result in an expiration date of December 13, 2012. Terra Linda Commercial, LLC is diligently pursuing the implementation of the project. Additional time is required to permit and begin construction. I respectfully request an extension of time of 12 months for TMP 10-205 and CUP 10-203.

Tentative Parcel Map 19296 will subdivide the 7.7 acres into four parcels. These are being designed to function as a single retail center. The Conditional Use Permit provided for Outdoor Dining and Drive up Businesses. Subsequent to the City Council Action of December 13, 2011, the following actions have been accomplished. The Notice of Determination of environmental findings was filed by the City of Loma Linda. This filing provided for a 180 day statute as required by the State of California Environmental Quality Act (CEQA). Upon expiration of the statutory CEQA time, in June, 2012, the parcel map, precise grading plans, site drainage plans, site utility plans, off site street improvement plans and Parcel Map 19296 were submitted for the review and approval by the City of Loma Linda. These plans have received the first review and refinements are being made. These plans are a prerequisite for building plans. Building plans will be permitted individually, with one application has been completed. Additional time is requested to complete the City of Loma Linda review processes, make applications, record Parcel Map 19296, obtain a building permit and commence construction.

Exhibit - C

Except of Conditions of Approval for TPM No. 10-205 and CUP No. 10-205

**CONDITIONS OF APPROVAL
TENTATIVE PARCEL MAP (TPM) NO. 10-205 AND CONDITIONAL USE PERMIT
(CUP) NO. 10-203**

COMMUNITY DEVELOPMENT DEPARTMENT

General

1. Within one year of this approval, the Conditional Use Permit shall be exercised by substantial construction or the permit/approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one year, the permit/approval shall become null and void.

PROJECT:

TPM NO. 10-205 AND CUP NO. 10-203

EXPIRATION DATE:

November 2, 2012

2. The review authority may, upon application being filed 30 days prior to the expiration date and for good cause, grant a one-time extension not to exceed 12 months. The review authority shall ensure that the project complies with all current Development Code provisions.

It is respectfully requested that TPM 10-205 (TPM 19296), CUP No. 10-203 and the related Precise Plan of Design be extended by 12 months, to December 13, 2013, in accordance with Condition No. 2. This additional time is needed to complete the administrative permitting and building permit processes and to begin construction for the intended uses.

Thank you for your assistance in this mater. If you need anything, do not hesitate to call or email.

Sincerely;



Robert Stewart, Manager
Terra Linda Commercial, LLC
cel (909) 583-3307
bobstewart1001@yahoo.com