

CITY OF LOMA LINDA
CITY COUNCIL AGENDA
REGULAR MEETING OF DECEMBER 11, 2018

A regular meeting of the City Council of the City of Loma Linda is scheduled to be held Tuesday, December 11, 2018 in the City Council Chamber, 25541 Barton Road, Loma Linda, California. *Pursuant to Municipal Code Section 2.08.010, study session or closed session items may begin at 5:30 p.m. or as soon thereafter as possible. The public meeting begins at 7:00 p.m.*

Reports and Documents relating to each agenda item are on file in the Office of the City Clerk and are available for public inspection during normal business hours. The Loma Linda Branch Library is also provided an agenda packet for your convenience. The agenda and reports are also located on the City's Website at www.lomalinda-ca.gov.

Materials related to an item on this Agenda submitted to the City Council after distribution of the agenda packet are available for public inspection in the City Clerk's Office, 25541 Barton Road, Loma Linda, CA during normal business hours. Such documents are also available on the City's website at www.lomalinda-ca.gov subject to staff's ability to post the documents before the meeting.

Persons wishing to speak on an agenda item, including any closed session items, are asked to complete an information card and present it to the City Clerk prior to consideration of the item. When the item is to be considered, please step forward to the podium, the Chair will recognize you and you may offer your comments. The City Council meeting is recorded to assist in the preparation of the Minutes, and you are therefore asked to give your name and address prior to offering testimony.

The Oral Reports/Public Participation portion of the agenda pertains to items NOT on the agenda and is limited to 30 minutes; 3 minutes allotted for each speaker. Pursuant to the Brown Act, no action may be taken by the City Council at this time; however, the City Council may refer your comments/concerns to staff or request that the item be placed on a future agenda.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at (909) 799-2819. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. Later requests will be accommodated to the extent feasible.

A recess may be called at the discretion of the City Council.

Agenda item requests for the January 8, 2019 meeting must be submitted in writing to the City Clerk no later than Noon, Thursday, December 20, 2018

A. Call To Order

B. Roll Call

C. Closed Session – 6:00 p.m. to include dinner

- a. Conference with Legal Counsel –Existing Litigation (Gov. Code Sec. 54956.9(a)): Jones v. City of Loma Linda (Appeal), Court of Appeals Case No. E067781, SBCSC Case No. CIVDS151085
- b. Paul Marchese and Southwest Regional Council of Carpenters v. City of Loma Linda, SB Sup. Ct. Case #CIVDS1819571

D. Invocation and Pledge of Allegiance – Councilman Popescu (In keeping with long-standing traditions of legislative invocations, this City Council meeting may include a brief, non-sectarian invocation. Such invocations are not intended to proselytize or advance any one, or to disparage any other, faith or belief. Neither the City nor the City Council endorses any particular religious belief or form of invocation.)

E. Items To Be Added Or Deleted

F. Oral Reports/Public Participation - Non-Agenda Items (Limited to 30 minutes; 3 minutes allotted for each speaker)

G. Conflict of Interest Disclosure - Note agenda item that may require member abstentions due to possible conflicts of interest

H. Scheduled and Related Items

1. **Commendation** - Loma Linda resident Ruben Favela for heroism while assisting a deputy during the arrest of a violent, armed gang member [**Sheriff**]
2. **Public Hearing** - Determine the project is exempt from CEQA, ratify the Certificate of Appropriateness, and approve the Precise Plan of Design No. P18-106, for the proposed architectural designs and configuration of the Citrus Trails community located at Mission Rd. and California St. within the Citrus Trails Master Plan area, Special Planning Area "D" Land Use Designation, and Planned Community Zone. Project includes the construction of 224 single-family residences, 2 public park facilities, an open-space paseo, 2 lettered lots for water quality basins, and various amenities associated with Tract Map 18990 and Planning Areas 2-6, 2-8, 2-12, 2-13, 2-14, 2-15, 2-16, 2-17, 2-18 [**Community Development**]

I. Consent Calendar

3. Demands Register
4. Minutes of November 13, 2018
5. October 2018 Treasurer's Report
6. September and October 2018 Fire Department Reports
7. Declare surplus and authorize disposal of various technology devices and associated equipment [**Information Systems**]
8. Accept as complete and authorize recordation of Notice of Completion for Resurfacing and striping tennis and pickle ball courts at Elmer Digneo Park and Leonard Bailey Park, California Resurfacing, Contractor [**Public Works**]
9. Accept grant from Homeland Security Grant Program, Fiscal Year 2016 (HSGP) in the amount of \$35,900, declare the revenue and authorize appropriation for the purchase of Ballistic Protection and Hemorrhage-control Kits [**Fire**]
10. Award contract to replace Fire Station 251, Emergency Operations Center and breezeway flooring [**Fire**]
11. Approve Utility Plant Mechanic position description [**Human Resources**]
12. Adopt Council Bill #R-2018-41 adopting modification to the Miscellaneous Compensation Plan and combining with the Safety Compensation Plan as one document for Fiscal Years 2018-2019 and 2019-2020 pursuant to California Code of Regulations §570.5 [**Human Resources**]
13. Fire Chief Separation Agreement [**City Manager/Fire**]
14. Council Bill #R 2018-40 and Final Tract Map No. 18990 (West side of California Street between Redlands Boulevard and Mission Road, Lennar Homes) [**Public Works**]

J. Old Business

15. Committee appointments [**City Clerk**]
 - a. Traffic Advisory (one vacancy)
 - b. Parks, Recreation, Beautification (one vacancy)
 - c. Trails Development (two vacancies)

K. New Business

16. Calendar Year 2019 meeting schedule [**City Clerk**]

L. Reports of Councilmen (This portion of the agenda provides City Council Members an opportunity to provide information relating to other boards/commissions/committees to which City Council Members have been appointed).

M. Reports Of Officers (This portion of the agenda provides Staff the opportunity to provide informational items that are of general interest as well as information that has been requested by the City Council).

17. Presentation regarding proposed Roundabout at intersection of Anderson Street and Mound Street [**Public Works**]

N. Adjournment – to December 18, 2018 @ 7:00 p.m.

Loma Linda City Fire Department

Parade of Lights

Neighborhood Schedule

Saturday, December 15th - North East Portion of Loma Linda – (North of Barton, South of I-10, East of Mt View, West of New Jersey) (Barton Vineyards, Rosewood, Orangewood, Monterey Pines, Somerset, Oasis townhomes will also be included on this night)

Sunday, December 16th - North West end of Loma Linda (North of Barton, South of I-10 FWY, East of Oakwood, West of Mt View) (Janzen MHP, Poplar Street Apartments, University MHP, Alta Camino MHP, Sierra Vista Apartment)

Monday, December 17th - South end of Loma Linda- (South of Barton, North of Beaumont Avenue, West of Laurel Avenue, East of Oakwood)



City of Loma Linda

25541 Barton Road, Loma Linda, CA 92354 ☎ (909) 799-2830 📠 (909) 799-2894

Community Development Department

CITY COUNCIL STAFF REPORT MEETING OF DECEMBER 11, 2018

Approved / Continued / Denied

By City Council

Date: _____

TO: City Council

FROM: Konrad Bolowich, Assistant City Manager, Community Development Director

SUBJECT: Determine the project is exempt from CEQA, ratify the Certificate of Appropriateness, and approve the Precise Plan of Design No. P18-106, for the proposed architectural designs and configuration of the Citrus Trails community located at Mission Rd. and California St. within the Citrus Trails Master Plan area, Special Planning Area “D” Land Use Designation, and Planned Community Zone. Project includes the construction of 224 single-family residences, 2 public park facilities, an open-space paseo, 2 lettered lots for water quality basins, and various amenities associated with Tract Map 18990 and Planning Areas 2-6, 2-8, 2-12, 2-13, 2-14, 2-15, 2-16, 2-17, 2-18.

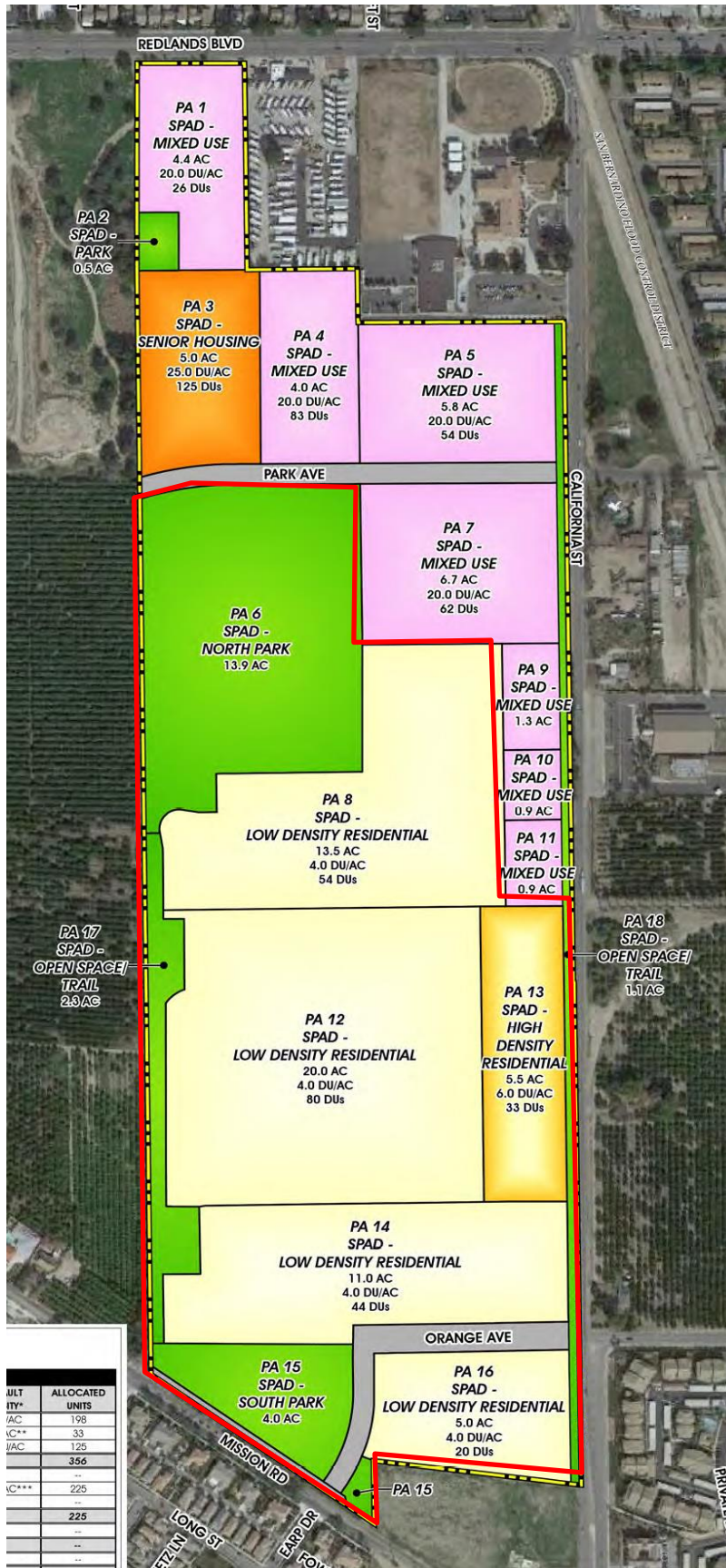
STAFF RECOMMENDS CITY COUNCIL TAKE THE FOLLOWING ACTIONS:

- 1. DETERMINE** the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15182, which states: “Where a public agency has prepared an EIR on a specific plan after January 1, 1980, no EIR or negative declaration need be prepared for a residential project undertaken pursuant to and in conformity to that specific plan if the project meets the requirements of this section,” and;
- 2. RATIFY** Certificate of Appropriateness for Precise Plan of Design (PPD) No. P18-106, and;
- 3. APPROVE** Precise Plan of Design No. P18-106, for the proposed architectural designs and configuration of the Citrus Trails community located at Mission Rd. and California St. within the Citrus Trails Master Plan area, Special Planning Area “D” Land Use Designation, and Planned Community Zone. Project includes the construction of 224 single-family residences, 2 public park facilities, an open-space paseo, 2 lettered lots for water quality basins, and various amenities associated with Tract Map 18990 and Planning Areas 2-6, 2-8, 2-12, 2-13, 2-14, 2-15, 2-16, 2-17, 2-18, based on the Findings contained in the Staff Report and subject to the initial Conditions of Approval approved on September 12, 2017 and the conditions added during the review of the subject PPD application.

PERTINENT DATA

Owner/Applicant: Lennar Homes Inland Empire/Brian King, Project Manager
 General Plan: Special Planning Area “D”
 Zoning: Planned Community (PC)
 Governing Document: Citrus Trails Master Plan (CTMP)
 Site: Tract 18990; Existing APNs: 0292-111-22, -50; 0292-122-14, -15, -16, -17, -20, -32
 Topography: Vacant; mostly flat; citrus trees removed summer of 2018

MASTER PLAN LAND USE PLAN



The subject site includes Planning Areas (PA) 2-6, 2-8, 2-12, 2-13, 2-14, 2-15, 2-16, 2-17 and 2-18. Per the CTMP, all areas are designated for residential use or open space/park area.

ULT	ALLOCATED
ITY*	UNITS
IAC	198
IC**	33
JAC	125
	356
VC***	225
	225
	225
	225
	225
	225

BACKGROUND AND SUMMARY

On August 1, 2017, Loma Linda City Council approved the Citrus Trails Master Plan (CTMP) in association with the following applications: General Plan Amendment No. 14-149, Specific Plan Amendment No. 15-086, Zone Change No. 15-087, and Tentative Tract Map No. 15-008. A Planned Development Overlay Permit was also established that evening through Council Bill #O-2017-03. The project included the subdivision of 111.7 acres to create 224 residential lots, 3 mixed-use lots, 1 senior-housing lot, 6 lots to support park, open space and paseos/trails, and 3 letter lots for drainage. The tract within the Master Plan was known as “Citrus Trails” and located within the area designated as Special Planning Area “D” (Phase II Concept Area). On September 12, Council had its 2nd reading and adopted the above referenced applications along with an Environmental Impact Report that examined the significant environmental effects and identified ways to mitigate such effects.

In accordance with the CTMP, the residential development portion and site improvements require subsequent discretionary entitlement through a Precise Plan of Design (PPD) application. In July of 2018, Lennar Homes submitted such application for the architectural designs and configuration of 91.7 acres within the “Citrus Trails” community. The proposed project consists of 224 single-family residences, 2 public park facilities, an open-space paseo, 2 lettered lots for water quality basins, and various amenities associated with Tract Map 18990 and Planning Areas 2-6, 2-8, 2-12, 2-13, 2-14, 2-15, 2-16, 2-17, and 2-18. The remaining Planning Areas within the tract boundaries are not part of this entitlement request.

Upon submission, the PPD application and project plans were distributed to the Administrative Review Committee (ARC) for comments, conditions, and corrections. The ARC and Planning Staff met with the applicant numerous times during the review stage to discuss the proposed elevations. Staff recommended the following architectural enhancements and changes:

1. Due to the size of the project site, incorporate at least 5 design styles.
2. Add more variety to the color scheme.
3. Add architectural features on the sides and rear.
4. Add architectural elements and details to the walls and windows.
5. Include carriage lights appropriate to the style’s respective era.

Staff and the applicant worked together to create elevations that would be sensitive to the historic nature of the area while encouraging the use of interpretative historical sites and site designs. After revisions were made, the packet was ready for formal discretionary review and to be presented to the Historical Commission.

On September 10, 2018, the Historical Commission reviewed and made recommendations for the proposed street names. There are a total of 16 new streets. A list of approved street names consistent with an “orange” fruit theme was selected and approved by the Community Development, Fire, and Public Works Departments. The commission agreed to the proposed “orange” theme for the new community. Some street names include Valencia Way, Sunstar Drive, and Hamlin Lane. The Fire Department has signed off on the proposed names and has issued addresses for all 224 lots.

On October 1, 2018, the Historical Commission reviewed and made recommendations for the architectural elevations and configuration of the residences and parks. They commended the developer for incorporating 5 different design styles with enhanced elevations. The commission offered their recommendations and comments. They are as followed:

1. Commissioners appreciated that the applicant preserved the Zanja Trail and recommended the south park be named “Zanja Park”.
2. Add additional features to the prairie elevations such as stone elements on the porches.
3. Add additional features to the sign monumentation such as smudge pots with lights.
4. Include decorative features on the block wall on California Street or landscaping.
5. Include more saturated colors within the styles.
6. Enhance each architectural style with features from each time period they represent.

After review and discussion, the Historical Commission recommended City Council ratify the Certificate of Appropriateness for the 224 homes and amenities within the Citrus Trails tract.

Since the Historical Commission meeting, the applicant once again revised the plans and elevations to reflect more architectural elements on all sides of each home, with additional architectural treatment on the walls and windows that face major streets. Moreover, the applicant included additional features in the monumentation and public park facilities. Staff confirmed the additional changes and determined it was ready for Planning Commission’s review and recommendation on November 7, 2018. That evening, the Commission recommended approval of the project to City Council.

ANALYSIS

Project Description

The Precise Plan of Design application is for the proposed architectural designs and configuration of the homes in the “Citrus Trails” community. Project includes the construction of 224 single-family residences, 2 park facilities, an open-space paseo, 2 lettered lots for water quality basins, and various amenities associated with Tract Map 18990.

Existing Setting

The project site is located within Special Planning Area “D”, one of the 7 special areas identified in the Loma Linda General Plan. It is west of California St., north of Mission Rd., and south of Redlands Blvd. It consists of 91.7 acres of vacant land within the approved Citrus Trail Tract Map 18990 and 9 different Planning Areas: 2-6, 2-8, 2-12, 2-13, 2-14, 2-15, 2-16, 2-17, 2-18. There will be multiple points of vehicular access to serve the development. Residents will be able to enter through existing streets such as California St., Mission Rd., Citrus Ave., Orange Ave., and Park Ave. All internal streets within the subdivision, including the 16 new streets, will be designed to City of Loma Linda public road standards.

Additionally, the site is south of the Santa Ana River, west of the *Asistencia* (in Redlands), and adjacent to the western boundary of the historic Barton Ranch. California St. represents the boundary between Barton Ranch and the lands historically considered to be within Rancho San Bernardino. The site is within the designated Historic Mission Overlay District; hence it requires the ratification of a Certificate of Appropriateness from City Council.

Site and Architectural Analysis

The single-family residential neighborhoods of Citrus Trails will feature a complementary mix of modern interpretations of the historical architectural styles typical of the Loma Linda community. As required by Chapter 17.82 “Historic Mission Overlay District”, new development within the district “shall be preserved and enhance the Mission Road area and associated historical and cultural resources”. The proposed development will be designed using historical architectural styles from the list supplied in Chapter 17.82. The applicant is incorporating the following 5 permitted architectural styles: Monterey, Italianate, Mediterranean Revival, Prairie, and Craftsman. Additionally, out of the 5 styles, there will be a minimum of 3 colors per style and 8 different floor plans. See Attachment B, Project Plans.

To encourage a diverse and visually interesting street scene, the single-family neighborhoods will comply with the following plotting requirements:

1. Neither the same floor plan nor the same elevation style shall be plotted next to itself or directly across the street from itself.
2. Single-story or recessed living area elements shall be placed on street corners.

The one-story homes will be separated from the two-story homes and located on different blocks. Lot sizes will range from 7,200 to 14,844 square feet, which comply with the minimum lot area requirements of the CTMP, LLMC, and Measure V. A minimum of 20 feet of side-setback between residences has been established across the community in order to provide more open space for the residents as well as access for the fire department. To avoid the “wall” effect, the homes will have staggered setbacks on all sides. The project density of 2.44 dwelling units per acre is less than the maximum density of 4 units per acre allowed by the Master Plan, LLMC, and the General Plan Land Use designation of “Low Density Residential” within Special Planning Area “D”.

Architectural features found on the homes will include brick siding, shutters, stone ledges, fascia lap siding, stucco paint, gable end detail, wrought iron, corbels, large window trim, etc. More architectural details and enhancements can be found within the project plans for each style. See Attachment B, Project Plans.

Conceptual Landscaping Plan and Conceptual Park Designs

The community theme for Citrus Trails is further expressed through the landscape elements, which include entry monumentation that identifies the Historic Mission District and 2 parks that were designed to include historic references. Common green space areas and sign monumentation will be incorporated along the perimeter of the subdivision to enhance the aesthetics of the community, and to provide an open space amenity for the residents.

The North Park, located on the south side of Park Avenue in Planning Area 6, will be approximately 13.9 acres and will provide recreational opportunities for residents of Citrus Trails and the greater Loma Linda community. North Park will include recreational amenities such as play courts and a children’s playground (tot lot), a dog park, youth soccer fields, and a trail system that will provide for recreation and create a community focal point.

The South Park, located along Mission Road at the southern edge of the community in Planning Area 15, will be about 4.0 acres in size and will provide convenient recreational opportunities and create a distinct community identity. The concept plan will feature amenities for group use including a picnic shelter and gathering areas. Additional facilities will include play equipment and open play areas. South Park will also be traversed by a Zanja Regional Trail Connection and include a decomposed granite trail along the approximate alignment of the Zanja, which links to the pedestrian paseo leading to North Park.

The Open Space and Trails, a landscaped open space and trail area referred to as the “paseo”, will be located along the western boundary of Citrus Trails in Planning Area 17. The paseo will provide a pedestrian amenity and facilitate access between North Park and South Park. The approximately 2-acre paseo will vary from 27 to 40 feet in width and feature a 10-foot wide meandering decomposed granite trail, picnic tables, exercise stations, and interpretive signage. An additional 1.1-acre open space area and trail bordering the Citrus Trails frontage along California Street in Planning Area 18 will provide another 10-foot wide decomposed granite trail flanked by trees, shrubs and groundcover south of Citrus Avenue.

The open spaces and signs will be maintained through a Landscape Maintenance District. One of the added conditions of approval will require the applicant submit the conceptual park plan, paseo designs, and monumentation plan, to the Park and Beautification Committee for final review and approval.

The Planning Commission shall consider the proposed project and the design characteristics of each public amenity and each architectural elevation to ensure it is consistent, compatible, and it complements the historic and cultural landscape of the project site and adjacent areas. The Commission’s recommendations and comments will be forwarded to the City Council for their review, ratification, and final approval.

FINDINGS

Findings for the Certificate of Appropriateness

In evaluating applications for Certificates of Appropriateness, the Commission and the City Council shall consider the existing and proposed architectural style, design, arrangement, texture, materials, and any other factors with regard to the original distinguishing architectural characteristics of the designated resource. Additionally, using the Secretary of the Interior’s Standards for Historic Preservation Projects as a guide, the Commission and Council shall approve the issuance of a Certificate of Appropriateness for any proposed work if it makes any one of the agency’s listed findings. Staff has incorporated the following finding:

“With regard to any property located within a historic district, the proposed work conforms to the prescriptive standards and design guidelines for the district adopted by the commission, and does not adversely affect the character of the district.”

FINDINGS

Precise Plan of Design Findings

In an effort to ensure that the foregoing project is consistent with the General Plan, compliant with the zoning and other City requirements, compatible with the surrounding area, and appropriate for

the site, staff and the City Attorney have opted to apply the Conditional Use Permit Findings in LLMC §17.30.210 to this project. The findings are as follows:

1. *That the use applied for at the location set forth in the application is properly one for which a precise plan of design is authorized by this title.*

The proposed residential use is a permitted use within the Planned Community (PC) Zone. The project complies with Special Planning Area “D” General Plan Land Use designation and was designed in accordance with the Loma Linda Municipal Code (LLMC), Chapter 17.44 Special Purpose Zone and the Citrus Trails Master Plan.

2. *That the said use is necessary or desirable for the development of the community, is in harmony with the various elements and objectives of the general plan, and is not detrimental to existing uses specifically permitted in the zone in which the proposed use is to be located.*

The use is internally consistent with the Loma Linda General Plan goals and policies related to Special Planning Areas, specifically those related to Special Planning Area D (General Plan Section 2.2.7.4). The General Plan’s vision for this area is a “livable, walkable community” with a high level of amenities for residents, such as parks, trails and paseos, and other recreational uses, exhibiting a high level of design quality. New residential uses in proximity to existing, historical residential uses along Mission Road will be compatible in density and scale to the historic residential uses (although not necessarily the same), since the General Plan intends for these existing residences to remain.

The project has been evaluated through technical studies and an Environmental Impact Report, all of which identify appropriate mitigation measures to ensure the proposed use would not be detrimental to the surrounding community. The previous use of the agricultural land at the project site is not economically viable and development of single-family residences will be compatible with the existing residential area to the west and south, and future residential developments to the east of the subject site. Development will generally enhance the area. The project would not result in impacts to the established community and would not be detrimental to existing uses specifically permitted in the zone.

Although complete buildout of the project and the rest of the CTMP area would result in the loss of 106.9 acres of Prime Farmland as a significant environmental impact, to reduce the project impacts to less than significant, mitigation measure MM 4.1-1 was established. In accordance with the mitigation as presented in the 2017 Citrus Trails Environmental Impact Report prepared for the project, and based on the current availability of conservation programs, the project proponent is required to contribute monetarily at a 1:1 ratio to an established conservation program. The chosen trust would be responsible for maintaining conserved farmland in perpetuity. Condition of Approval No. 65 establishes a schedule for the establishment of off-site conservation easements for fulfilling this measure.

3. *That the site for the intended use is adequate in size and shape to accommodate said use and all of the yards, setbacks, walls, or fences, landscaping and other features required in order to adjust said use to those existing or permitted future uses on land in the neighborhood.*

The 224 residences, 2 public parks, open paseos, and the 2 water quality basins will be located on 91.7 acres within the approved Citrus Trails tract, Map 18990 and 9 Planning Areas. Lot

sizes would range from 7,200 to 14,844 square feet which would comply with the minimum lot area required by the Citrus Trails Master Plan, Loma Linda Municipal Code, and with Measure V.

The project site is adequate in size and shape to accommodate the proposed use. The buildings conform to the development standards of the Citrus Trails Master Plan. In addition, a minimum of 20 feet of setback between buildings has been established across the community in order to provide more open space for the residents as well as access for the fire department.

The project density of 2.44 dwelling units per acre is less than the maximum 4 units per acre density allowed in the Master Plan, LLMC, and the General Plan Land Use designation of "Low Density Residential" within Special Planning Area "D".

4. *That the site or the proposed use related to streets and highways is properly designed and improved to carry the type and quantity of traffic generated or that will be generated by the proposed use.*

Traffic ingress/egress onto adjacent exterior roadways would be provided by existing entrances on California Street, Citrus Avenue and Orange Avenue as well as new roads. All new entries would be required to comply with required Public Works standards and the existing Conditions of Approval. All streets will be built at their ultimate widths, allowing access for emergency vehicles. The design of the proposed subdivision does not conflict with any easements. The proposed project and related on- and off-site improvements would not conflict with other uses immediately adjacent to the project site.

In September 2015, Kunzman Associates, Inc. prepared a Traffic Impact Analysis for buildout of Special Planning Area D, Phases I and II (Phase I, Veteran's Ambulatory Facility and Phase II, the entire CTMP site). The purpose of the report was to provide an assessment of the traffic impacts resulting from the development of the proposed development and to identify the traffic mitigation measures necessary to maintain the established level of service standard for the elements of the impacted roadway system. As required by Measure V, any location where the level of service is below LOS C at the time an application for development is submitted, mitigation measures shall be imposed to ensure that the level of traffic service is maintained.

The General Plan and Measure V state that peak hour intersection operations of Level of Service C or better are generally acceptable. The study area intersections currently operate at Level of Service C or better during the peak hours for existing traffic conditions, except for the study area intersection of California Street at Redlands Boulevard that is currently operating at Level of Service E/F during the evening peak hour.

The buildout of the 2 phases is projected to generate approximately 904 total daily vehicle trips, 71 of which would occur during the morning peak hour and 95 of which would occur during the evening peak hour.

For Opening Year (2019) With Project traffic conditions, the study area intersections of California Street and Redlands Boulevard, California Street and Orange Avenue, and California Street and Mission Road are projected to operate at acceptable Levels of Service consistent with Measure V during the peak hours with improvements. For Year 2035 with Project traffic conditions, the study area intersections of California Street and Redlands

Boulevard, California Street and Citrus Avenue, California Street and Orange Avenue, and California Street and Mission Road are projected to operate at unacceptable Levels of Service during the peak hours, without improvements. However with recommended mitigation, the study area intersections are projected to operate within acceptable Levels of Service consistent with Measure V during the peak hours for Year 2035 with project traffic conditions.

A traffic signal is warranted for Opening Year without project traffic conditions at California Street and Mission Road. The project proponent is required to contribute toward the intersection improvements on a fair share basis. Improvements that would eliminate all anticipated roadway operational deficiencies throughout the study area have been identified and incorporated as mitigation for development of the project.

5. *That the conditions set forth in the permit and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare.*

The public health, safety and general welfare will be protected through the implementation of the initially approved Conditions of Approval and the Mitigation Measures, as well as the added conditions for this Precise Plan of Design to insure compatibility with the neighborhood.

ENVIRONMENTAL DETERMINATION/CEQA STATUS

The Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15182, which states: “Where a public agency has prepared an EIR on a specific plan after January 1, 1980, no EIR or negative declaration need be prepared for a residential project undertaken pursuant to and in conformity to that specific plan if the project meets the requirements of this section.”

An Environmental Impact Report for the Citrus Trails Master Plan and Tract Map was adopted by City Council on September 12, 2017 (State Clearing House No. 2016111070). Mitigations and Condition of Approval were adopted as part of the Citrus Trails project and will continue to apply to the proposed project. Reports prepared for the project reviewed the impacts associated with the construction of 224 dwelling units within the Tract. Staff has conducted a review of the project as currently designed in light of the previous environmental documents and determined that no new effects would result and no new mitigation measures would be required for the Precise Plan of Design submittal. Therefore, no further environmental review is necessary.

PUBLIC COMMENTS

Prior to the City Council public hearing, public notices were posted for the Historical Commission meeting and then mailed out to surrounding property owners for the Planning Commission hearing.

On Monday, November 26, 2018, the project notices for the City Council hearing were posted at 3 public locations, the project site, and on the city website. In addition, it was mailed to all surrounding property owners and residents who requested notification. As of the date of this Staff Report, the City has not received any written comments in favor or opposition of the project.

CONCLUSION

Staff recommends approval of the project as it is consistent with the General Plan, Planned Community Zone, the Historic Mission Overlay Chapter of the Municipal Code, and the Citrus Trails Master Plan. Single-family residences, public park area, and open spaces are permitted uses within the zone and are compatible with the existing and future uses in the surrounding area. The applicant has made every effort possible to provide the most appropriate layout, design, and architecture for the “Citrus Trails” community. The mitigation measures listed in the adopted Environmental Impact Report and the Conditions of Approval that were provided during the tract approval will continue to apply to the project. And lastly, Findings were provided in support of the current proposal and approval of said project.

Respectfully submitted,



Lorena A. Matarrita
Associate Planner

ATTACHMENTS

- A. Vicinity Map
- B. Project Plans
 - 1. Community 1: Floor Plans, Elevations, Architectural Details, Color Boards
 - 2. Community 2: Floor Plans, Elevations, Architectural Details, Color Boards
 - 3. Landscape Concept: Park Design, Trail, Historical Zanja Trail, Major Monument Signs
 - 4. Tract Map: Final Site Plan of Development (Tentative Tract Map Approved 9/12/17)
- C. Conditions of Approval (Original and Additional)

Vicinity Map





CITRUS TRAILS

LOMA LINDA, CALIFORNIA

COMMUNITY 1

A-1	STREET SCENE LOT 214 - 220
A-2	PLAN 1950 - FLOOR PLANS
A-3	PLAN 1950 - FRONT ELEVATIONS
A-4	PLAN 1950 - MEDITERRANEAN REVIVAL "A" ELEVATION
A-5	PLAN 1950 - MONTEREY "B" ELEVATION
A-6	PLAN 1950 - MONTEREY "B" ELEVATION ENHANCED
A-7	PLAN 1950 - PRAIRIE "C" ELEVATION
A-8	PLAN 2094 - FLOOR PLANS
A-9	PLAN 2094 - FRONT ELEVATIONS
A-10	PLAN 2094 - MEDITERRANEAN REVIVAL "A" ELEVATION
A-11	PLAN 2094 - MONTEREY "B" ELEVATION
A-12	PLAN 2094 - PRAIRIE "C" ELEVATION
A-13	PLAN 2287 - FLOOR PLANS
A-14	PLAN 2287 - FRONT ELEVATIONS
A-15	PLAN 2287 - MEDITERRANEAN REVIVAL "A" ELEVATION
A-16	PLAN 2287 - MONTEREY "B" ELEVATION
A-17	PLAN 2287 - PRAIRIE "C" ELEVATION
A-18	PLAN 2434 - FLOOR PLANS
A-19	PLAN 2434 - FRONT ELEVATIONS
A-20	PLAN 2434 - MEDITERRANEAN REVIVAL "A" ELEVATION
A-21	PLAN 2434 - MONTEREY "B" ELEVATION
A-22	PLAN 2434 - PRAIRIE "C" ELEVATION
A-23	ARCHITECTURAL DETAILS - MEDITERRANEAN REVIVAL
A-24	ARCHITECTURAL DETAILS - MONTEREY
A-25	ARCHITECTURAL DETAILS - PRAIRIE
A-26	WRITTEN COLOR SCHEMES
A-27	COLOR BOARDS - MEDITERRANEAN REVIVAL
A-28	COLOR BOARDS - MONTEREY
A-29	COLOR BOARDS - PRAIRIE

COMMUNITY 2

A-30	PLAN 2614 - FLOOR PLANS
A-31	PLAN 2614 - FRONT ELEVATIONS
A-32	PLAN 2614 - MEDITERRANEAN REVIVAL "A" ELEVATION
A-33	PLAN 2614 - MEDITERRANEAN REVIVAL "A" ELEVATION ENHANCED
A-34	PLAN 2614 - CRAFTSMAN "B" ELEVATION
A-35	PLAN 2614 - CRAFTSMAN "B" ELEVATION ENHANCED
A-36	PLAN 2614 - ITALIANATE "C" ELEVATION
A-37	PLAN 2614 - ITALIANATE "C" ELEVATION ENHANCED
A-38	PLAN 3105 - FLOOR PLANS

A-39	PLAN 3105 - FRONT ELEVATIONS
A-40	PLAN 3105 - MEDITERRANEAN REVIVAL "A" ELEVATION
A-41	PLAN 3105 - MEDITERRANEAN REVIVAL "A" ELEVATION ENHANCED
A-42	PLAN 3105 - CRAFTSMAN "B" ELEVATION
A-43	PLAN 3105 - CRAFTSMAN "B" ELEVATION ENHANCED
A-44	PLAN 3105 - ITALIANATE "C" ELEVATION
A-45	PLAN 3105 - ITALIANATE "C" ELEVATION ENHANCED
A-46	PLAN 3423 - FLOOR PLANS
A-47	PLAN 3423 - FRONT ELEVATIONS
A-48	PLAN 3423 - MEDITERRANEAN REVIVAL "A" ELEVATION
A-49	PLAN 3423 - MEDITERRANEAN REVIVAL "A" ELEVATION ENHANCED
A-50	PLAN 3423 - CRAFTSMAN "B" ELEVATION
A-51	PLAN 3423 - CRAFTSMAN "B" ELEVATION ENHANCED
A-52	PLAN 3423 - ITALIANATE "C" ELEVATION
A-53	PLAN 3423 - ITALIANATE "C" ELEVATION ENHANCED
A-54	PLAN 4122 - FLOOR PLANS
A-55	PLAN 4122 - FRONT ELEVATIONS
A-56	PLAN 4122 - MEDITERRANEAN REVIVAL "A" ELEVATION
A-57	PLAN 4122 - MEDITERRANEAN REVIVAL "A" ELEVATION ENHANCED
A-58	PLAN 4122 - CRAFTSMAN "B" ELEVATION
A-59	PLAN 4122 - CRAFTSMAN "B" ELEVATION ENHANCED
A-60	PLAN 4122 - ITALIANATE "C" ELEVATION
A-61	PLAN 4122 - ITALIANATE "C" ELEVATION ENHANCED
A-62	ARCHITECTURAL DETAILS - MEDITERRANEAN REVIVAL
A-63	ARCHITECTURAL DETAILS - CRAFTSMAN
A-64	ARCHITECTURAL DETAILS - ITALIANATE
A-65	WRITTEN COLOR SCHEMES
A-66	COLOR BOARDS - MEDITERRANEAN REVIVAL
A-67	COLOR BOARDS - CRAFTSMAN
A-68	COLOR BOARDS - ITALIANATE
L-1	LANDSCAPE CONCEPT - OVERALL LANDSCAPE PLAN
L-2	LANDSCAPE CONCEPT - ENTRY MONUMENT PLAN
L-3	LANDSCAPE CONCEPT - NORTH PARK ENLARGEMENT
L-4	LANDSCAPE CONCEPT - SOUTH PARK ENLARGEMENT
L-5	LANDSCAPE CONCEPT - WALL AND FENCE PLAN
L-6	LANDSCAPE CONCEPT - FRONT YARD TYPICAL PLANTING
C-1	TRACT MAP
C-2	LOT SUMMARY TABLES
C-3	LOTS 1 - 55
C-4	LOTS 56 - 143 & 149 - 163
C-5	LOTS 144 - 148 & 164 - 224
P-1 - P-10	PLANNING - TRACT 18990

CONTACT

DEVELOPER:

CONTACT: BRIAN KING

BUSINESS: (951) 817-3508

WWW.LENNAR.COM

LENNAR

980 MONTECITO DR., SUITE 300

CORONA, CA 92879

ARCHITECT:

CONTACT: JEFF ADDISON

BUSINESS: (949) 660-1587

WWW.KLCARCH.COM

KEVIN L. CROOK ARCHITECT, INC.

1360 REYNOLDS AVE. SUITE 110

IRVINE, CA 92614

LANDSCAPE:

CONTACT: BRYAN LOVE

BUSINESS: (951) 296-3430

WWW.DNASSOCIATES.COM

DAVID NEAULT ASSOCIATES, INC.

41877 ENTERPRISE CIRCLE N. SUITE 140

TEMECULA, CA 92590

CIVIL:

CONTACT: JOHN BERKELEY

BUSINESS: (909) 370-0911

OTTE-BERKELEY GROUPE, INC.

575 E. CARREON DRIVE

COLTON, CA 92324



MEDITERRANEAN REVIVAL
6A (PLAN 3105)
Lot 220

ITALIANATE
6CR (PLAN 3105)
Lot 219

CRAFTSMAN
7B (PLAN 3423)
Lot 218

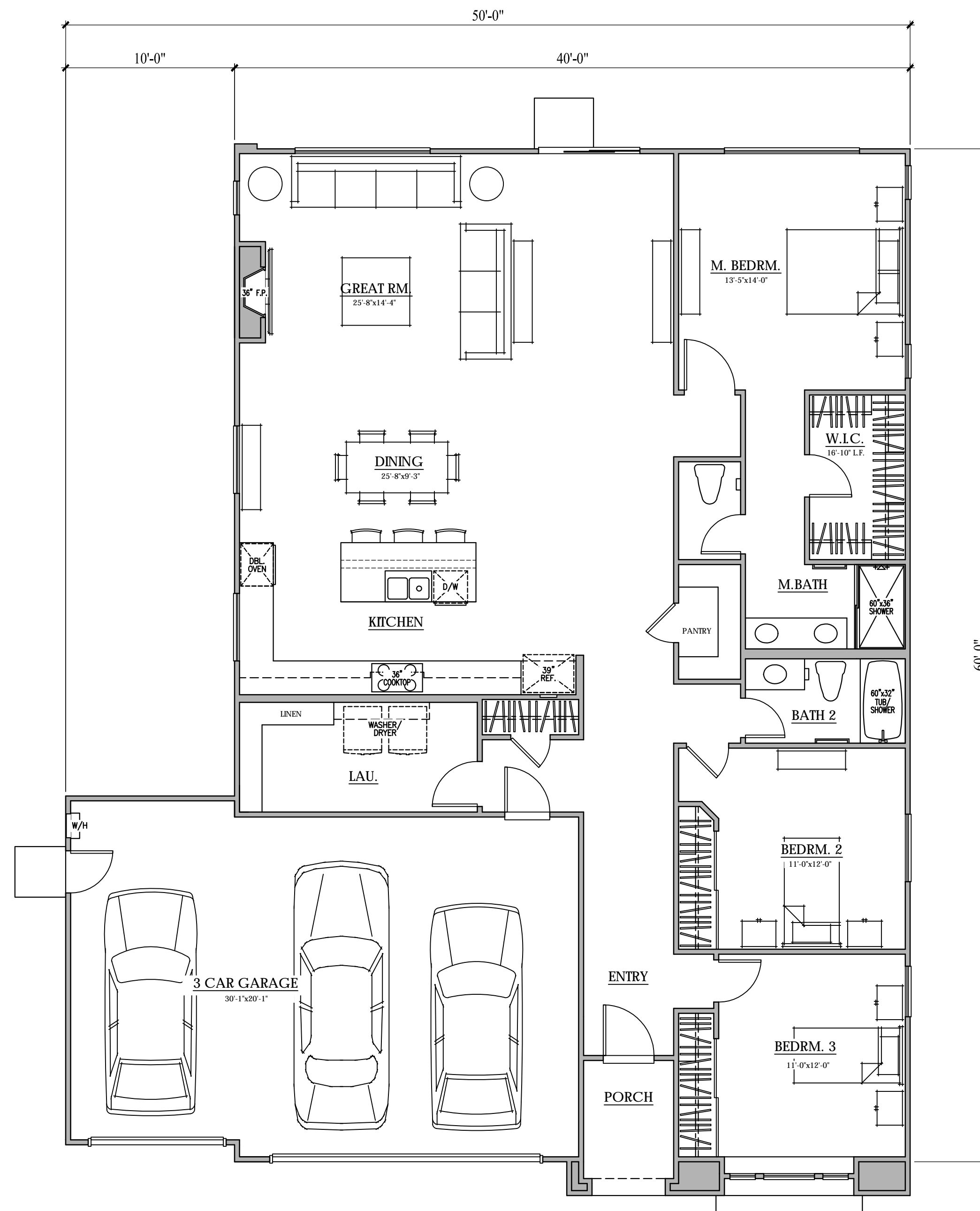
ITALIANATE
8CR (PLAN 4122)
Lot 217

PRAIRIE
2CR (PLAN 2094)
Lot 216

MEDITERRANEAN REVIVAL
3A (PLAN 2287)
Lot 215

MONTEREY
4BR (PLAN 2434)
Lot 214

MODEL STREET SCENE LOT 214 - 220



FLOOR PLAN

PLAN 1,950
3 BEDROOM, 2 BATH



MEDITERRANEAN REVIVAL



MONTEREY



PRAIRIE



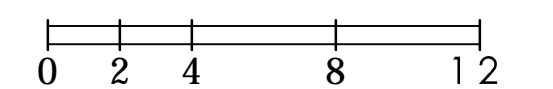
CRAFTSMAN



ITALIANATE

AREA TABULATION

CONDITIONED SPACE	
FLOOR AREA	1,950 SQ. FT.
TOTAL DWELLING	1,950 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	624 SQ. FT.
PORCH "A"	45 SQ. FT.
PORCH "B"	27 SQ. FT.
PORCH "C"	47 SQ. FT.





MEDITERRANEAN REVIVAL "A"



MONTEREY "B"



PRAIRIE "C"

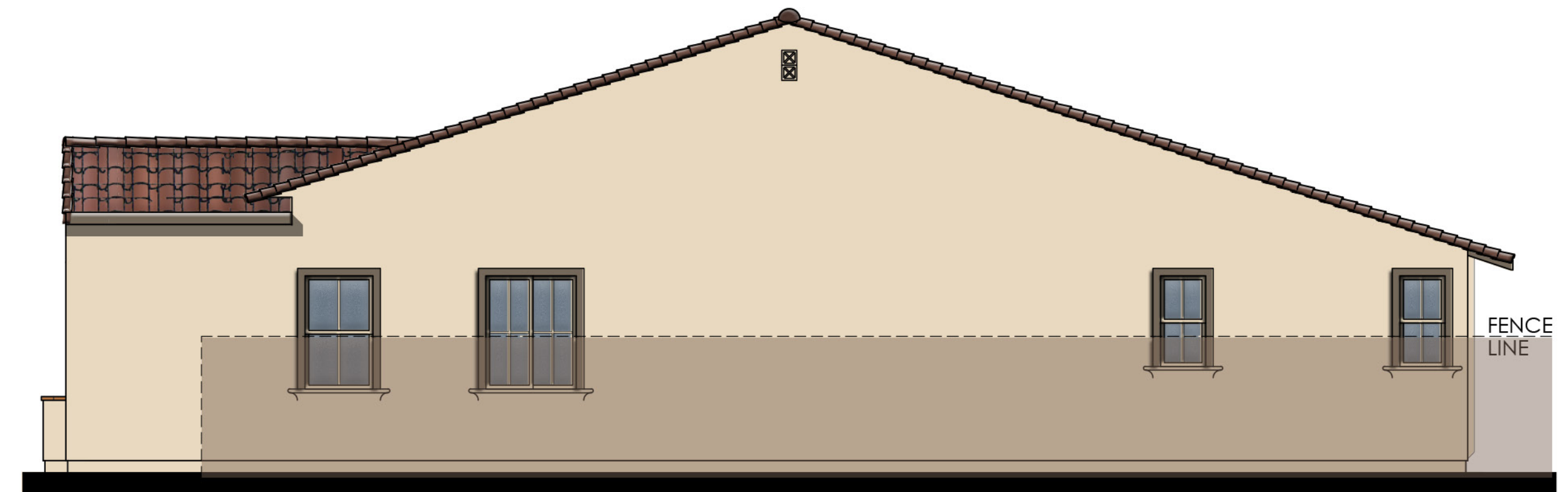
PLAN 1950 - FRONT ELEVATIONS



© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

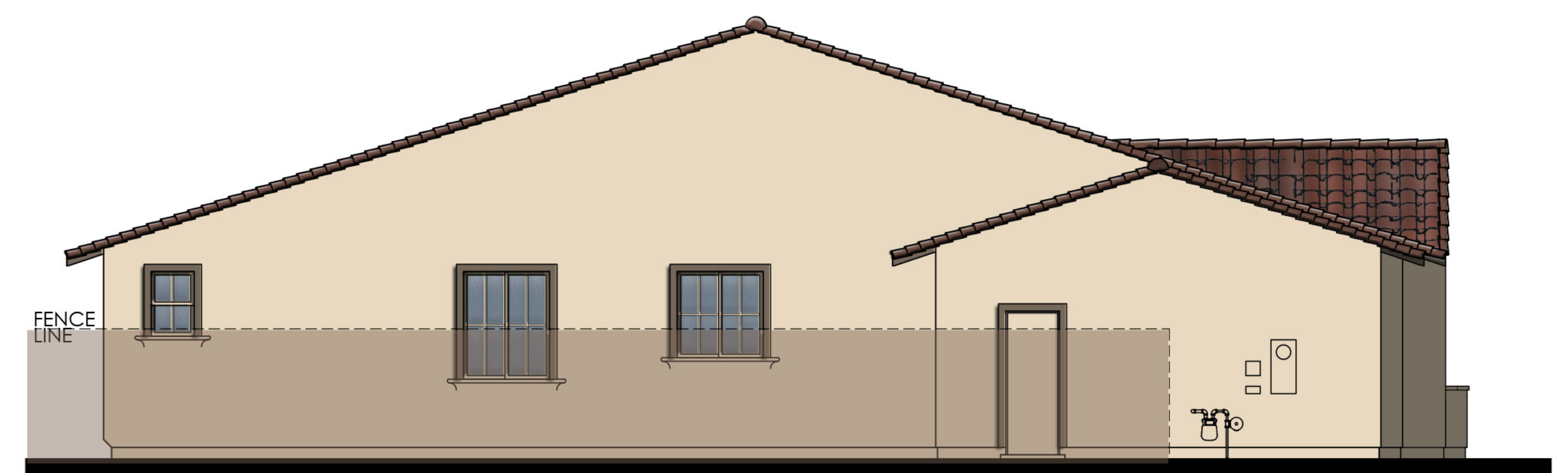
FRONT



RIGHT

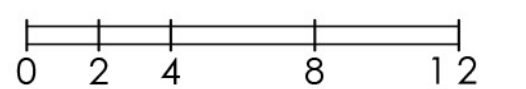


REAR



LEFT

COLOR SCHEME 1
 PLAN 1,950
 MEDITERRANEAN REVIVAL "A" ELEVATION

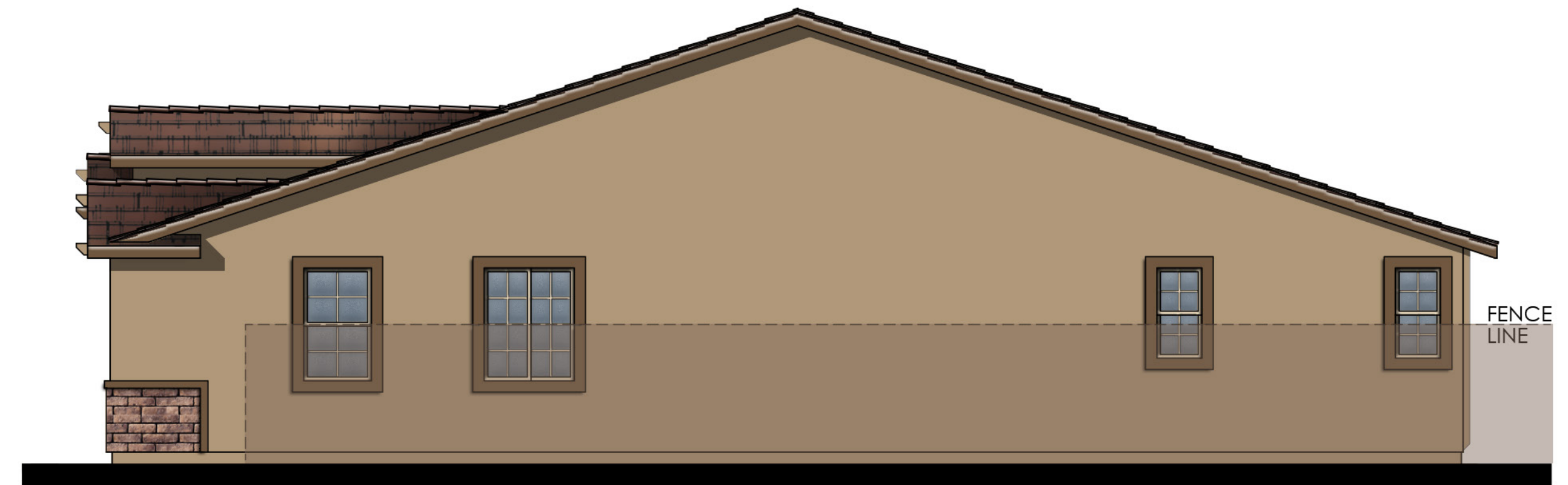




© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

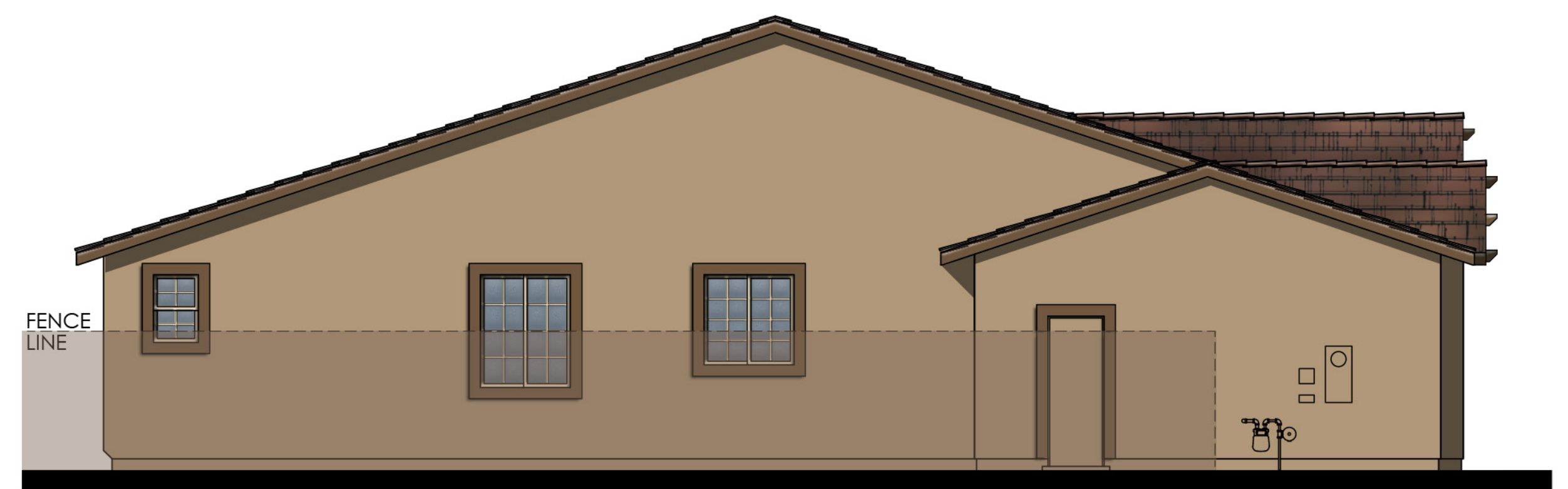
FRONT



RIGHT

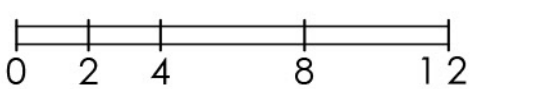


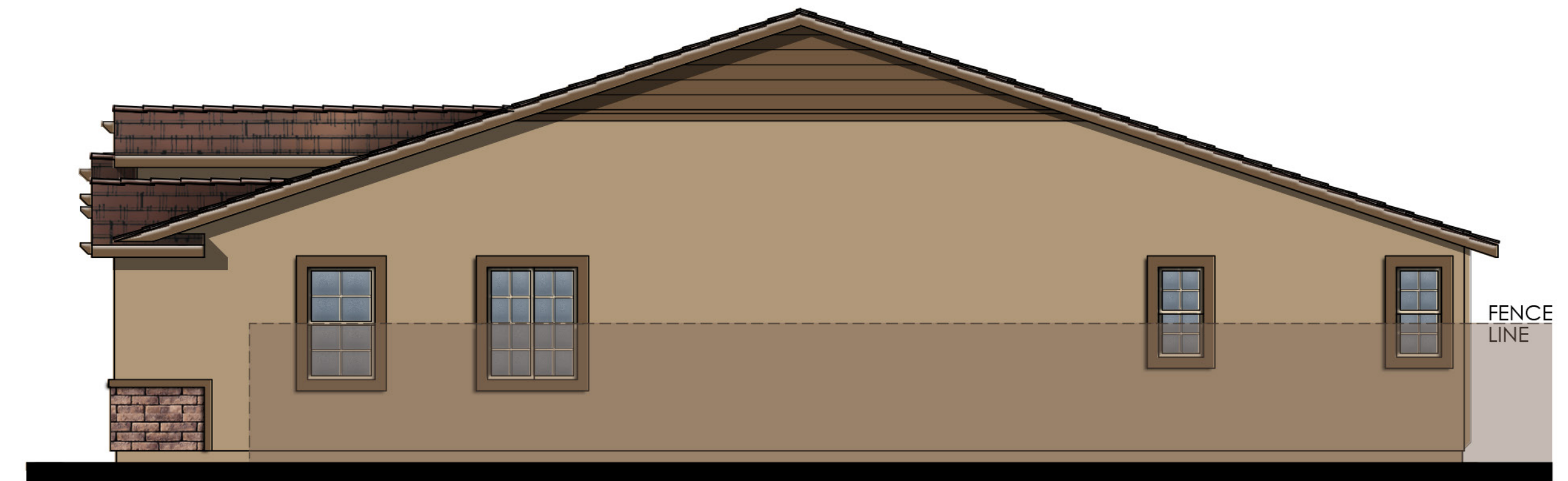
REAR



LEFT

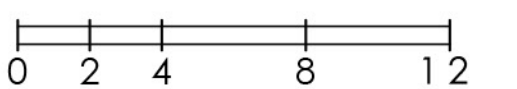
COLOR SCHEME 4
 PLAN 1,950
 MONTEREY "B" ELEVATION





RIGHT

COLOR SCHEME 4
PLAN 1,950
MONTEREY "B" ENHANCED ELEVATION





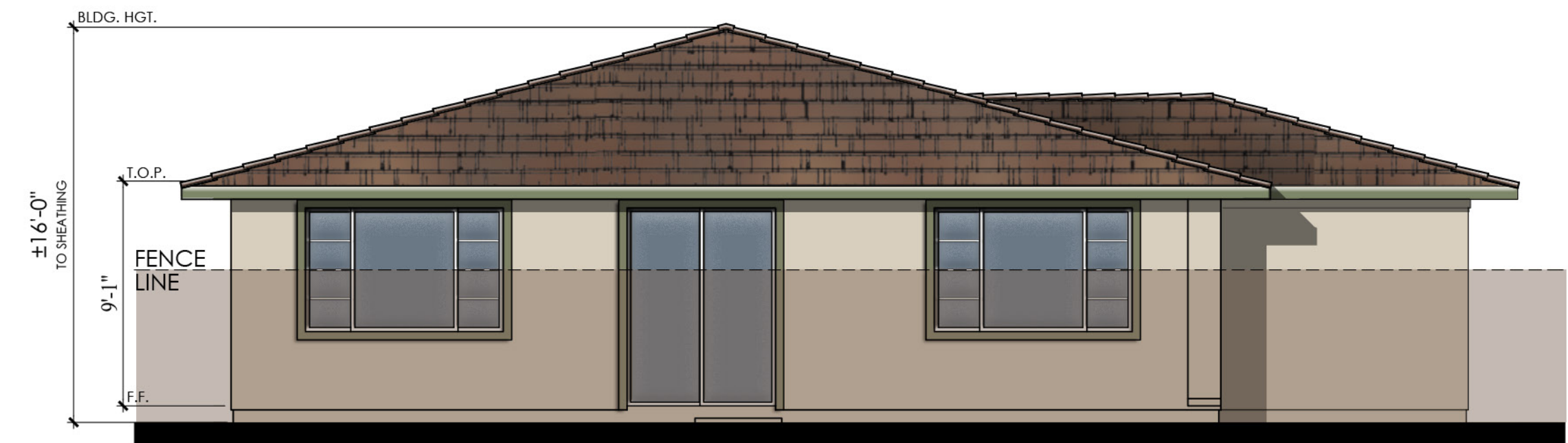
© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

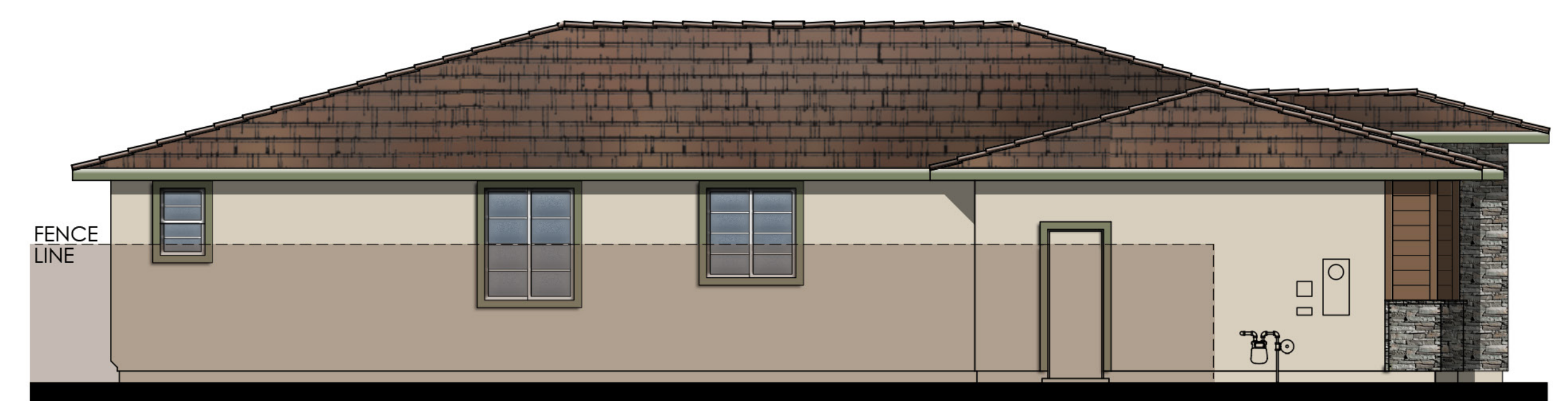
FRONT



RIGHT

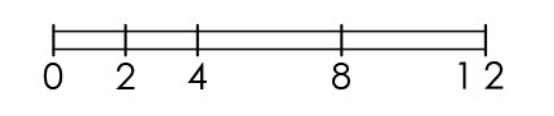


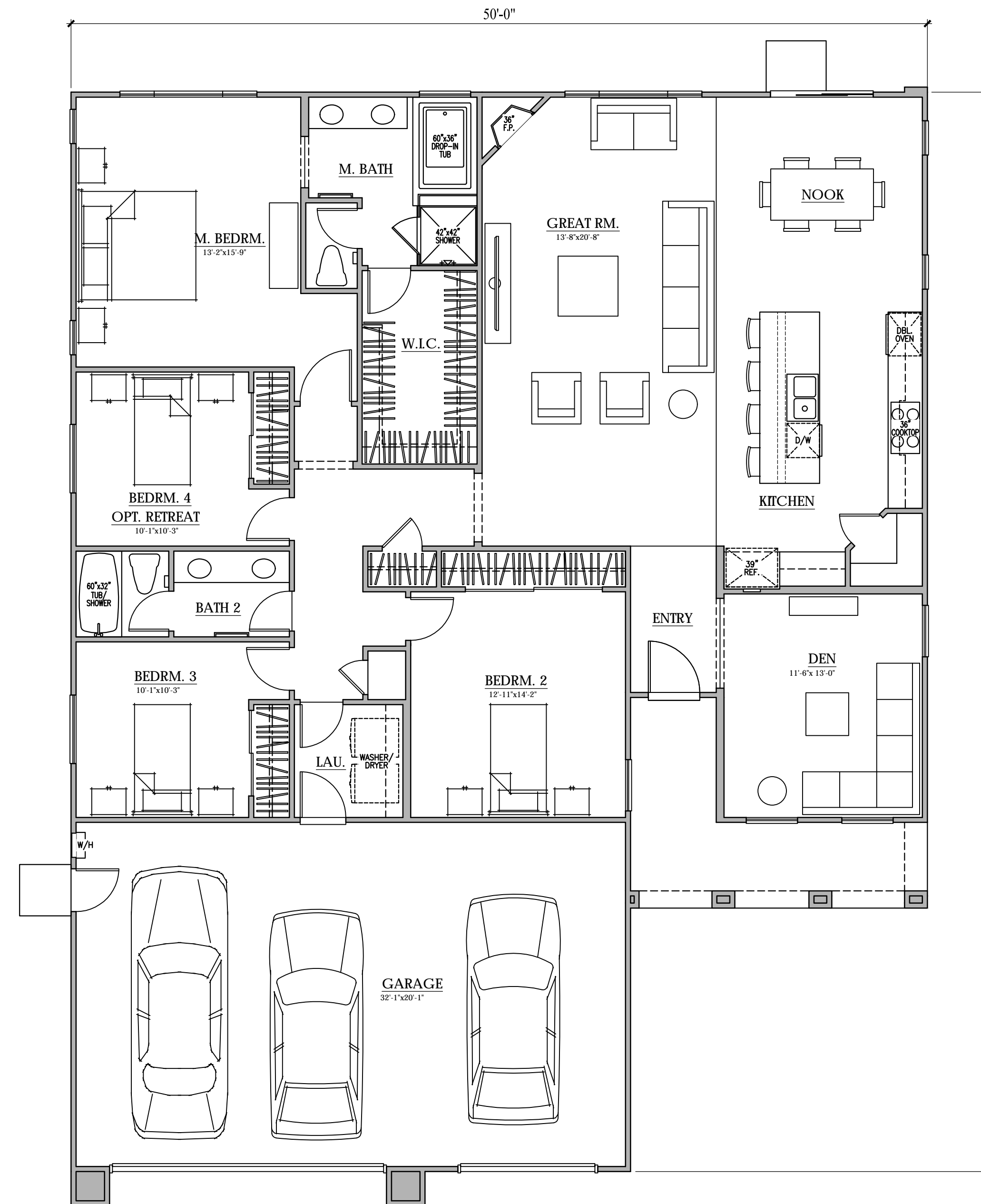
REAR



LEFT

COLOR SCHEME 7
 PLAN 1,950
 PRAIRIE "C" ELEVATION





FLOOR PLAN

PLAN 2,094

4 BEDROOM, 2 BATH, DEN, OPT. MASTER RETREAT



MEDITERRANEAN REVIVAL



MONTEREY



PRAIRIE



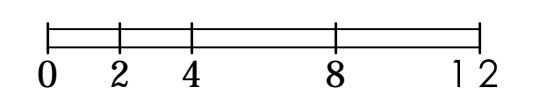
CRAFTSMAN



ITALIANATE

AREA TABULATION

CONDITIONED SPACE	
FLOOR AREA	2,094 SQ. FT.
TOTAL DWELLING	2,094 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	665 SQ. FT.
PORCH "A" & "B"	123 SQ. FT.
PORCH "C"	66 SQ. FT.





MEDITERRANEAN REVIVAL "A"



MONTEREY "B"



PRAIRIE "C"

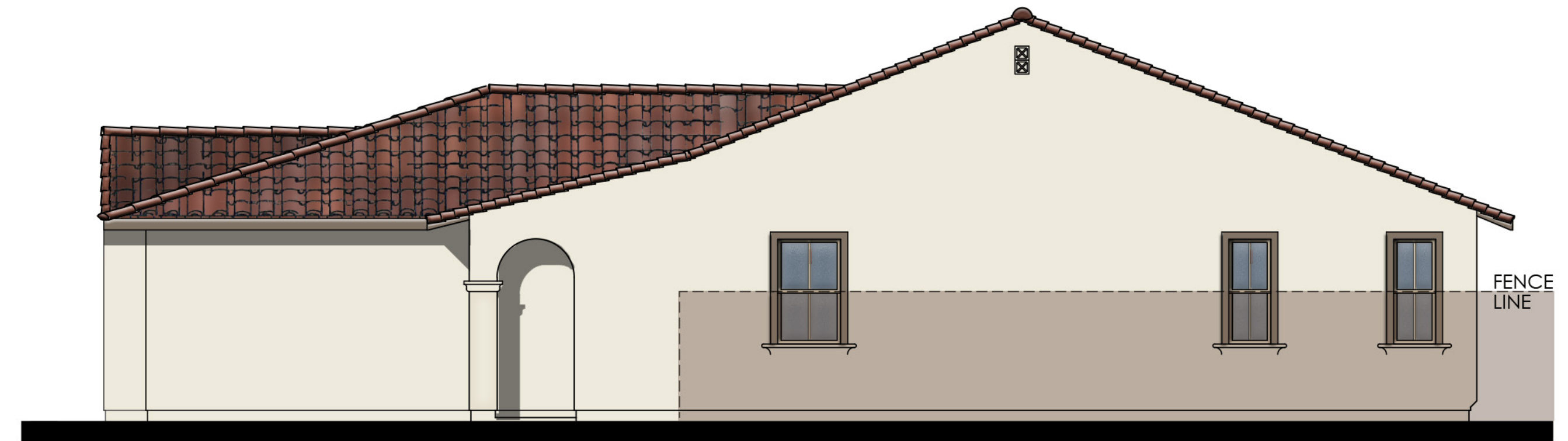
PLAN 2094 - FRONT ELEVATIONS



© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

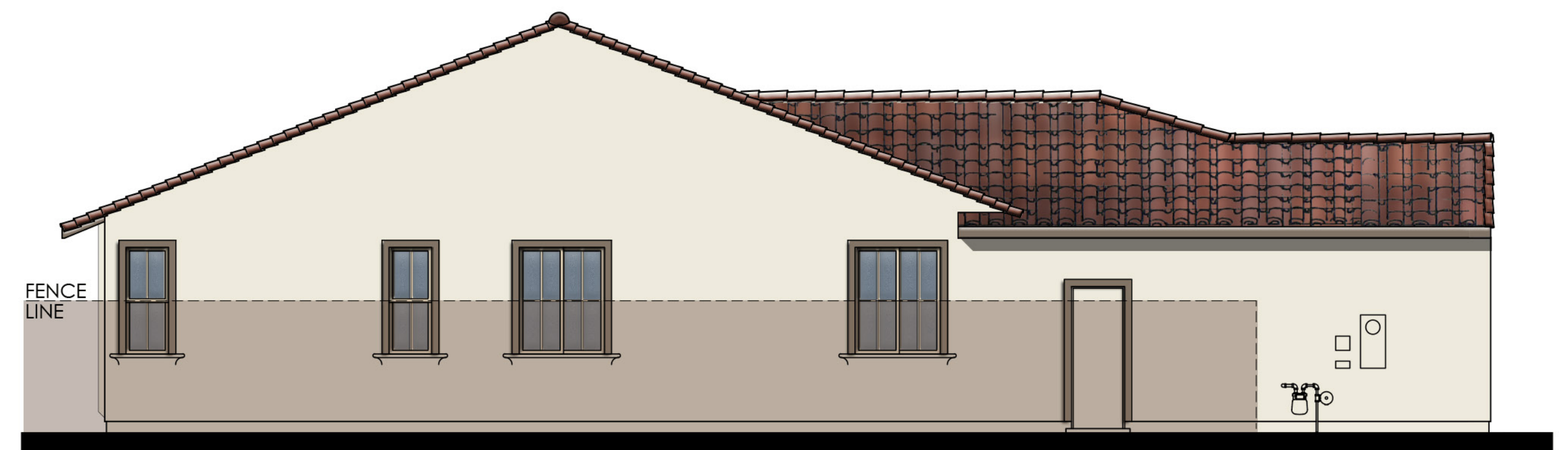
FRONT



RIGHT

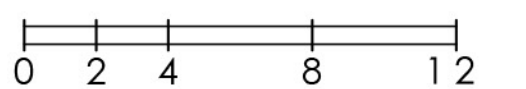


REAR



LEFT

COLOR SCHEME 2
 PLAN 2,094
 MEDITERRANEAN REVIVAL "A" ELEVATION

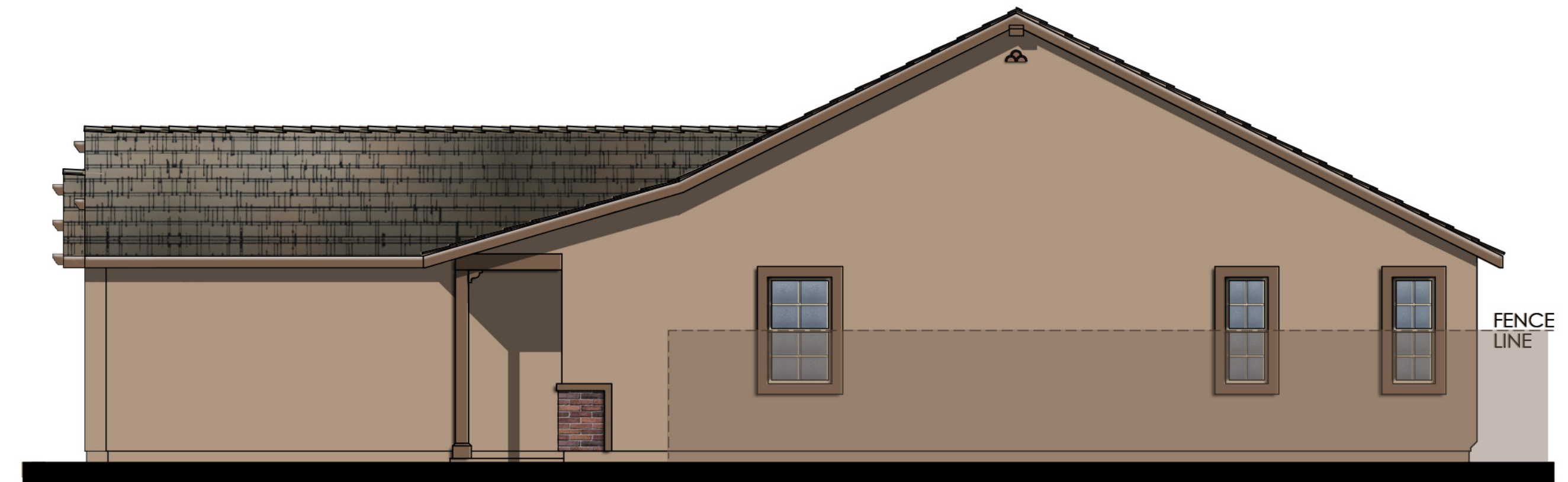




© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

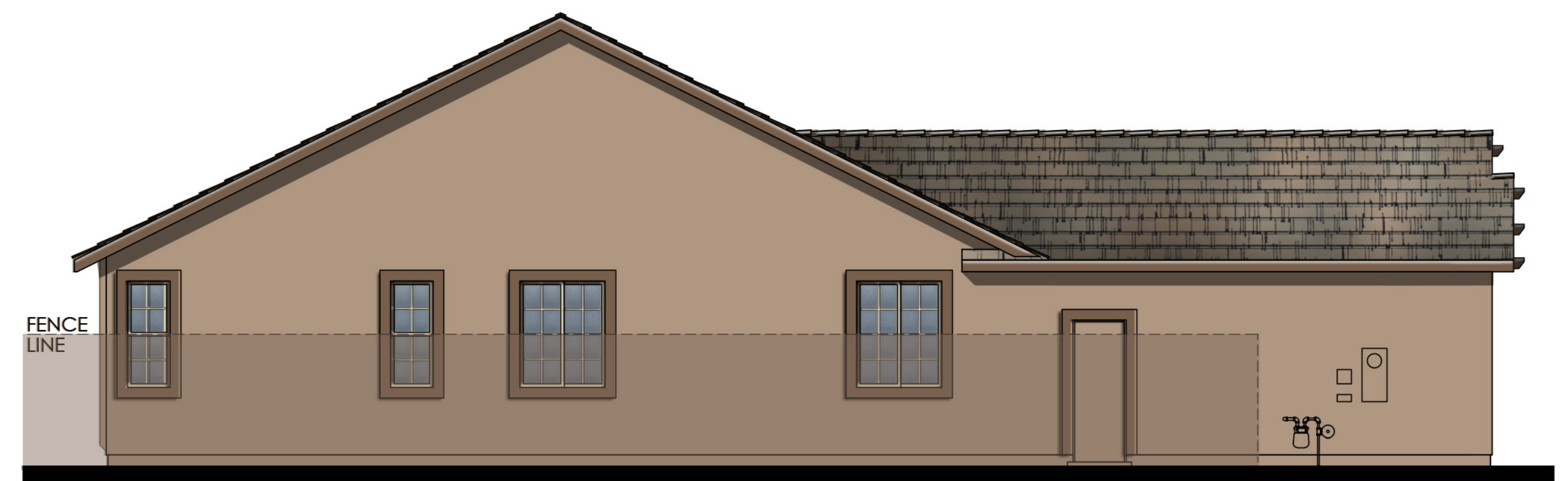
FRONT



RIGHT

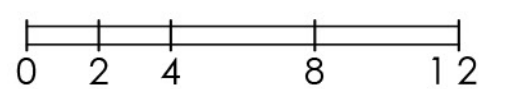


REAR



LEFT

COLOR SCHEME 5
PLAN 2,094
 MONTEREY "B" ELEVATION

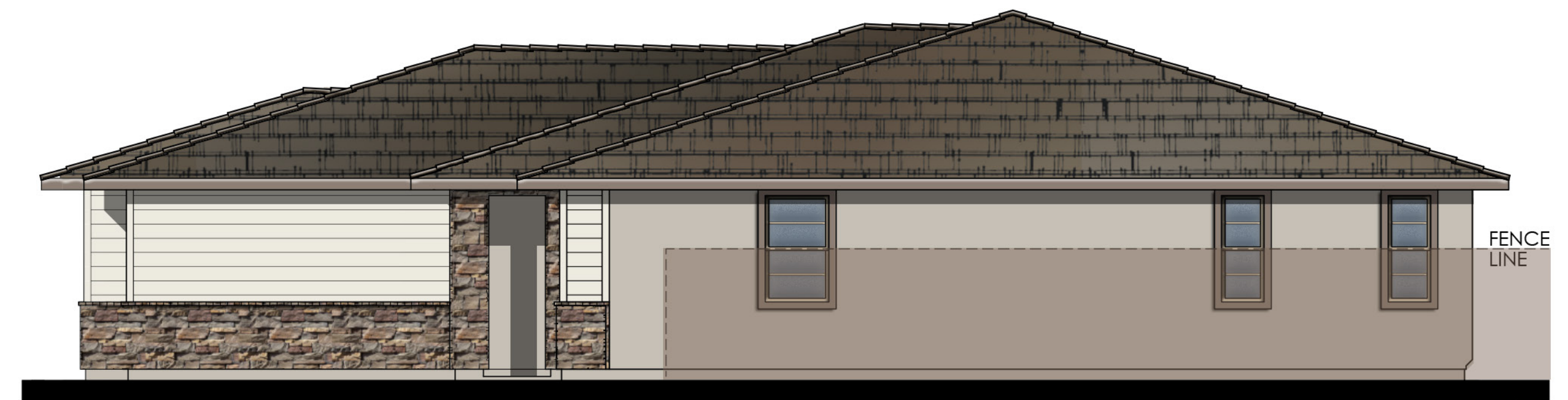




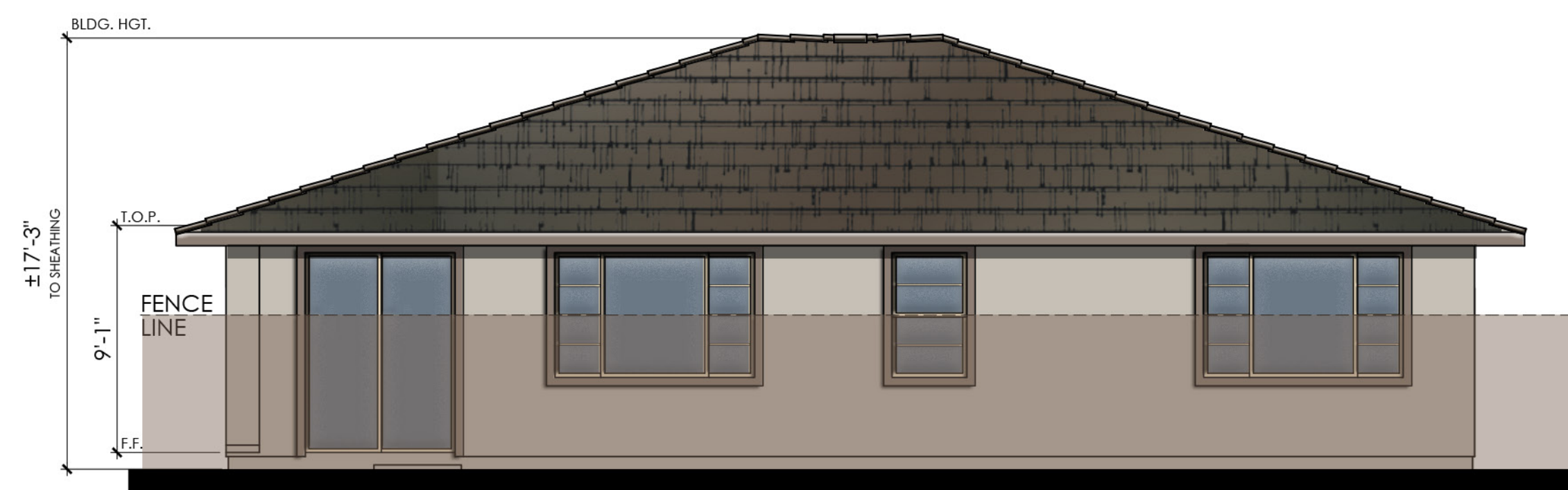
© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

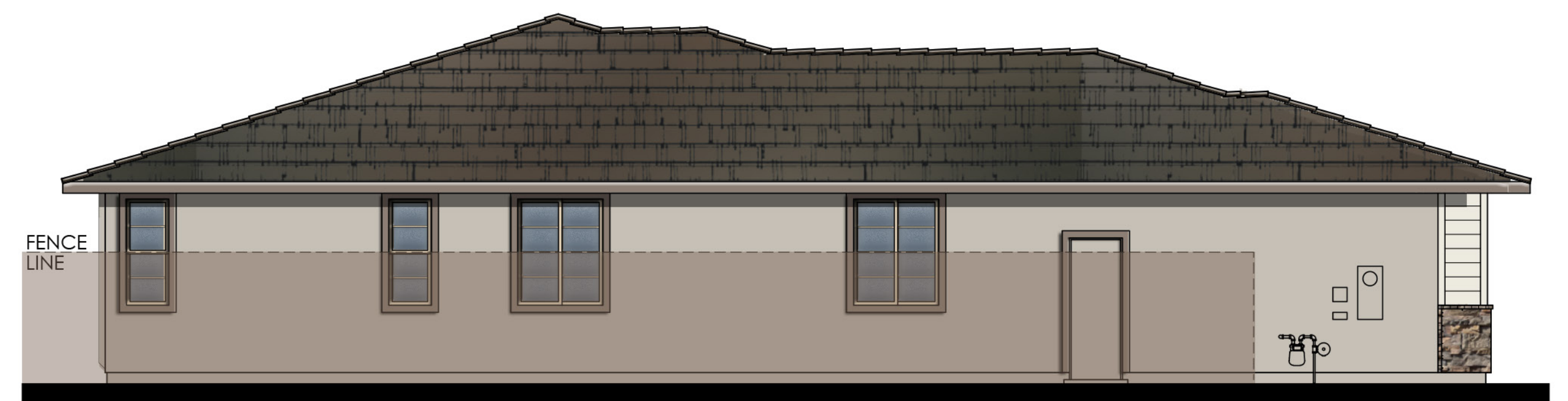
FRONT



RIGHT

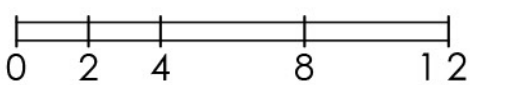


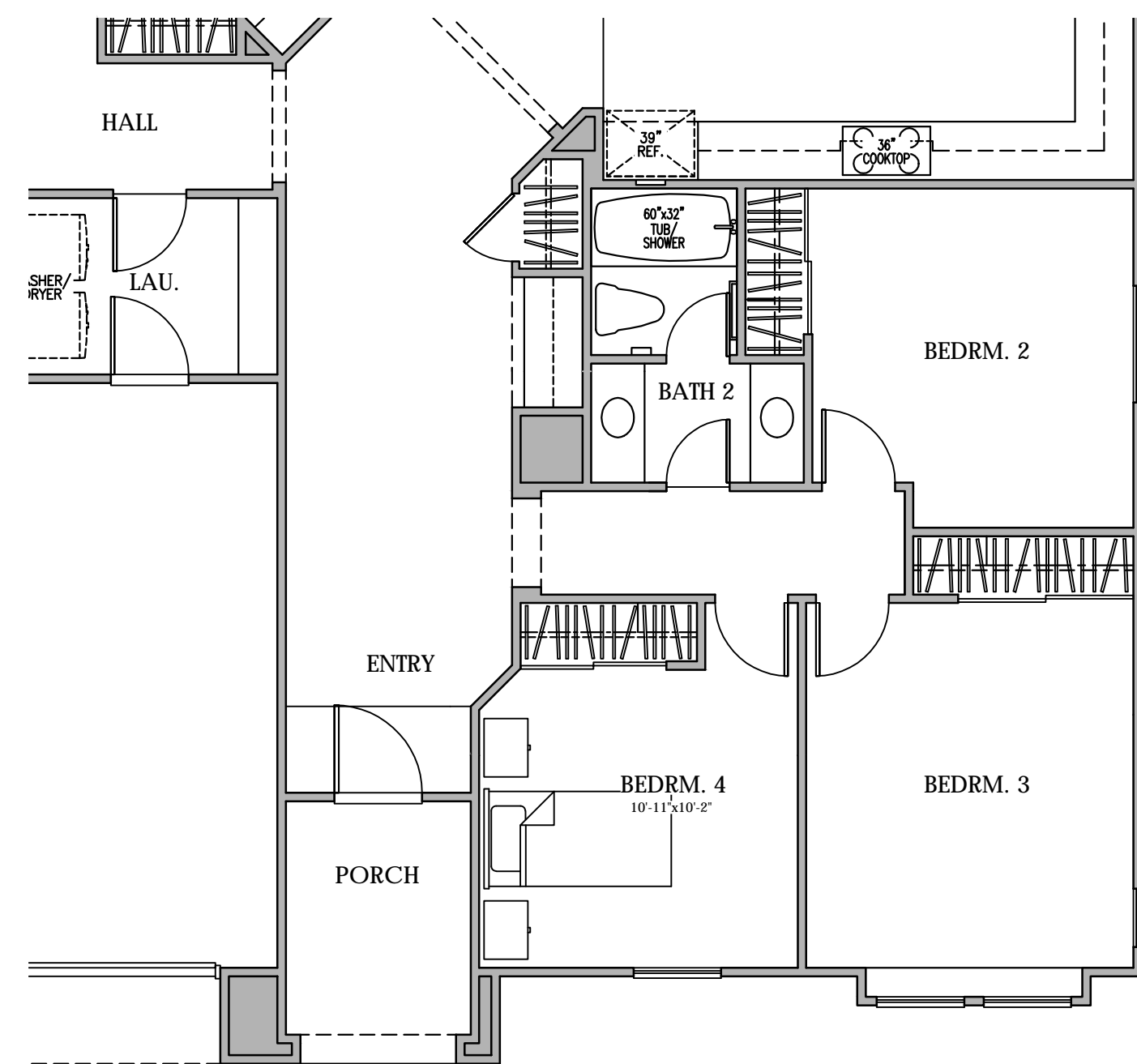
REAR



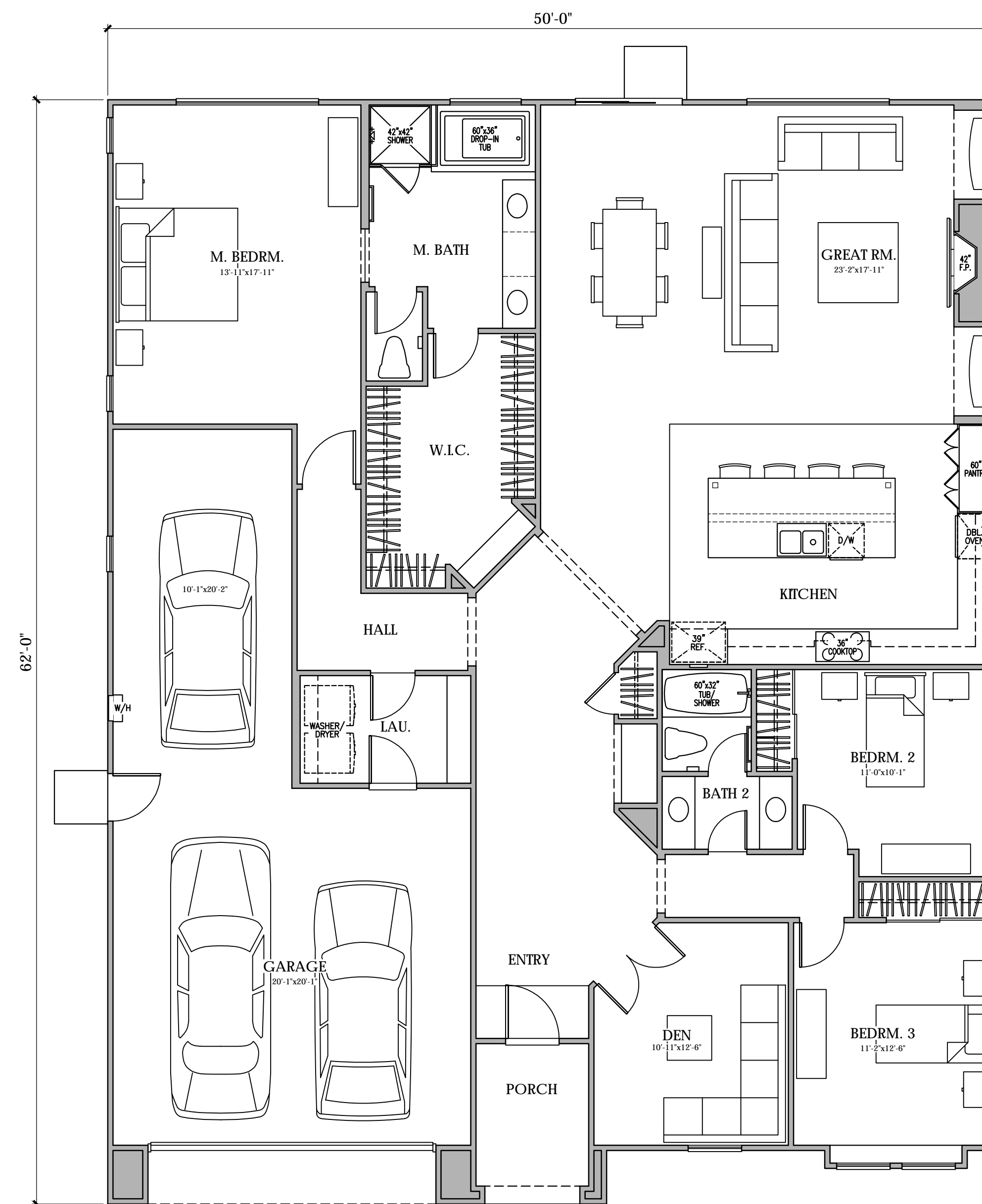
LEFT

COLOR SCHEME 8
 PLAN 2,094
 PRAIRIE "C" ELEVATION





OPTIONAL BEDROOM 4



FLOOR PLAN

PLAN 2,287

3 BEDROOM, 2 BATH, DEN/ OPT. BEDRM. 4

AREA TABULATION

CONDITIONED SPACE	
FLOOR PLAN	2287 SQ. FT.
TOTAL DWELLING	2287 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	624 SQ. FT.
PORCH "A"	60 SQ. FT.
PORCH "B"	45 SQ. FT.
PORCH "C"	55 SQ. FT.



MEDITERRANEAN REVIVAL



MONTEREY



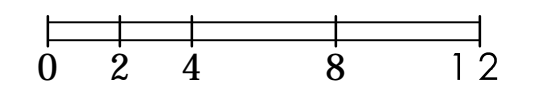
PRAIRIE



CRAFTSMAN



ITALIANATE





MEDITERRANEAN REVIVAL "A"



MONTEREY "B"



PRAIRIE "C"

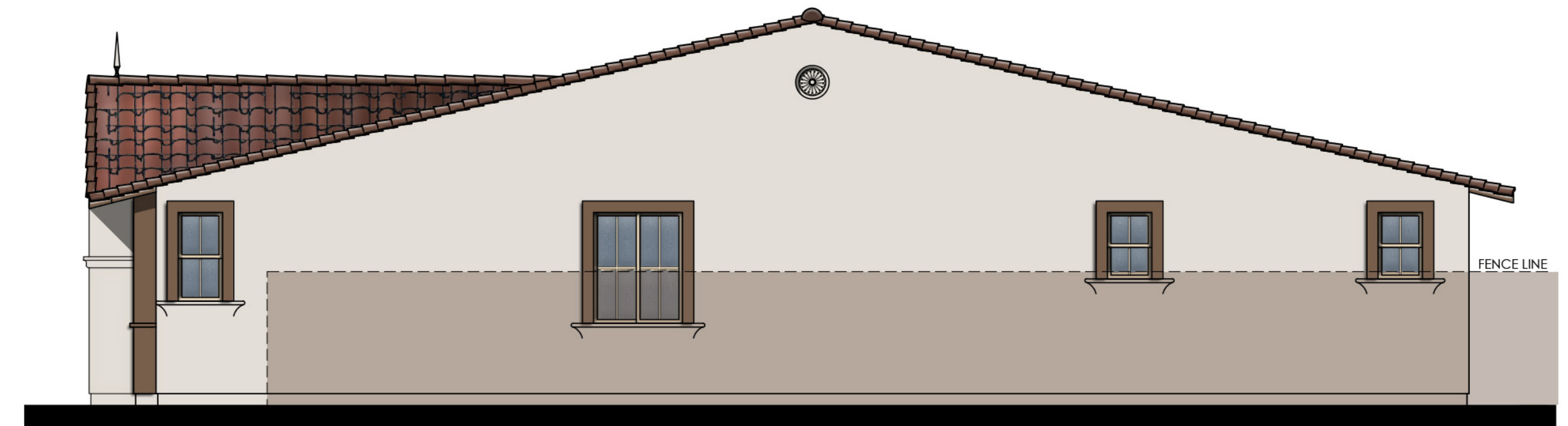
PLAN 2287 - FRONT ELEVATIONS



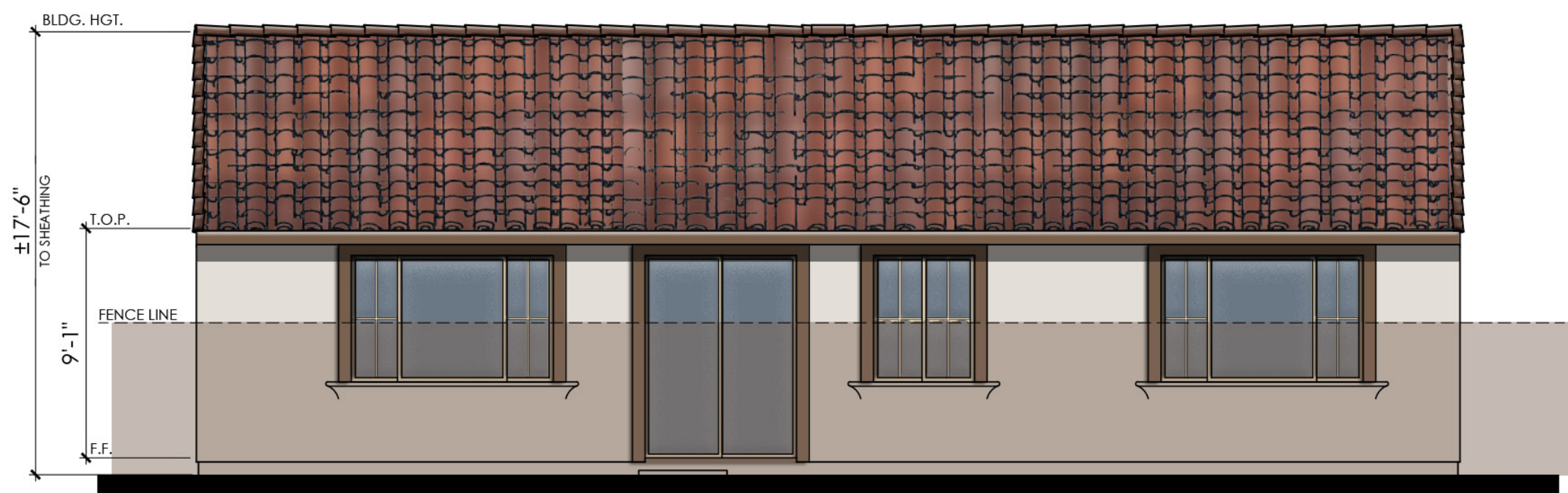
© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

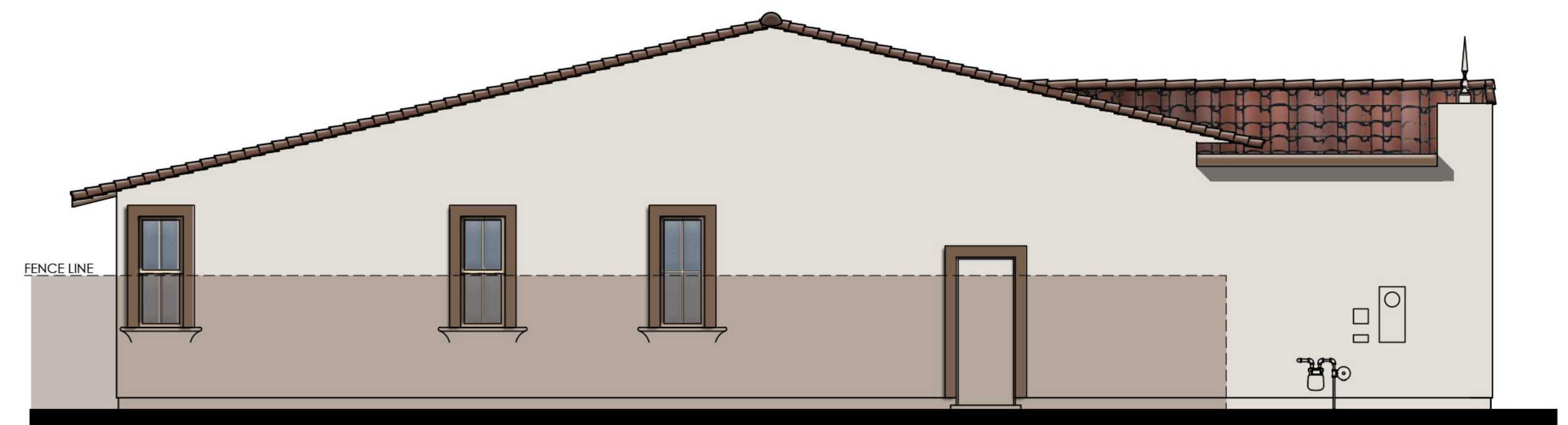
FRONT



RIGHT

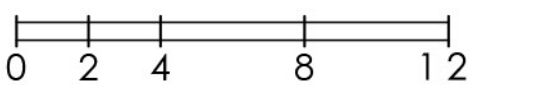


REAR



LEFT

COLOR SCHEME 3
PLAN 2,287
 MEDITERRANEAN REVIVAL "A" ELEVATION

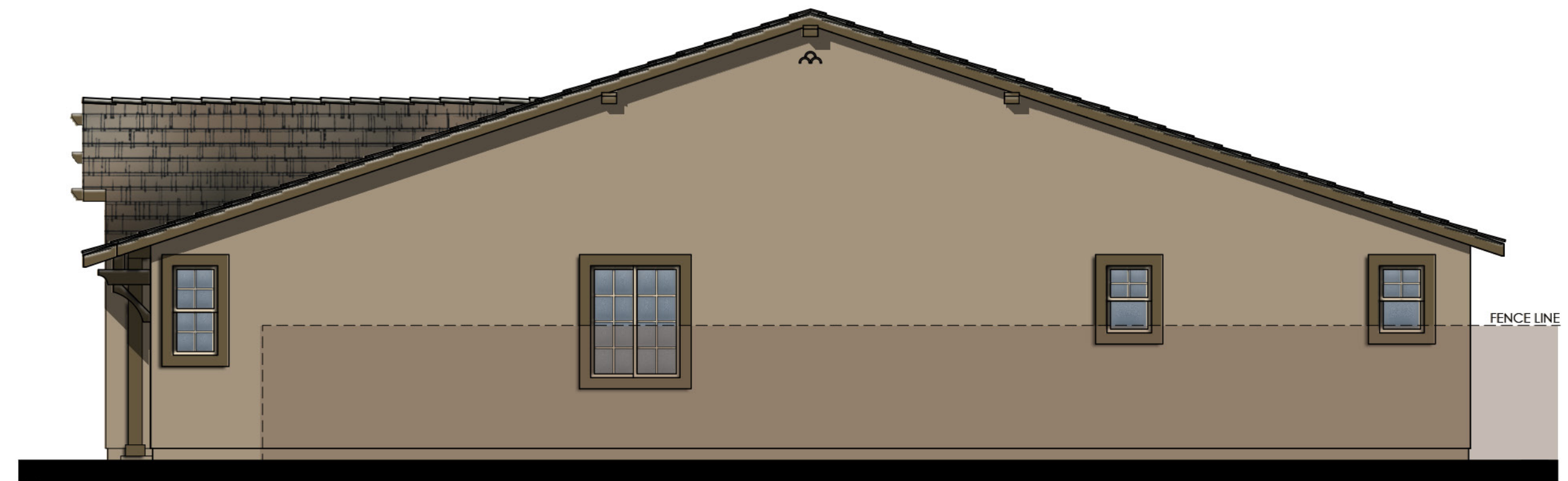




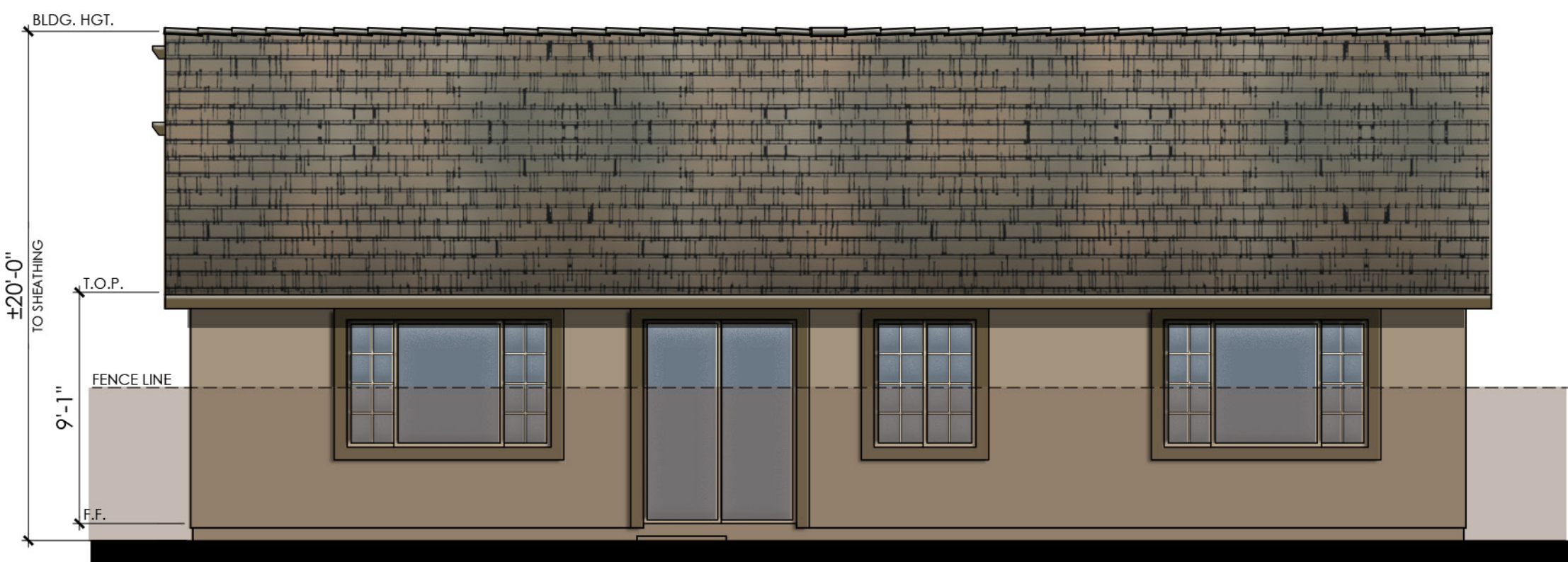
© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

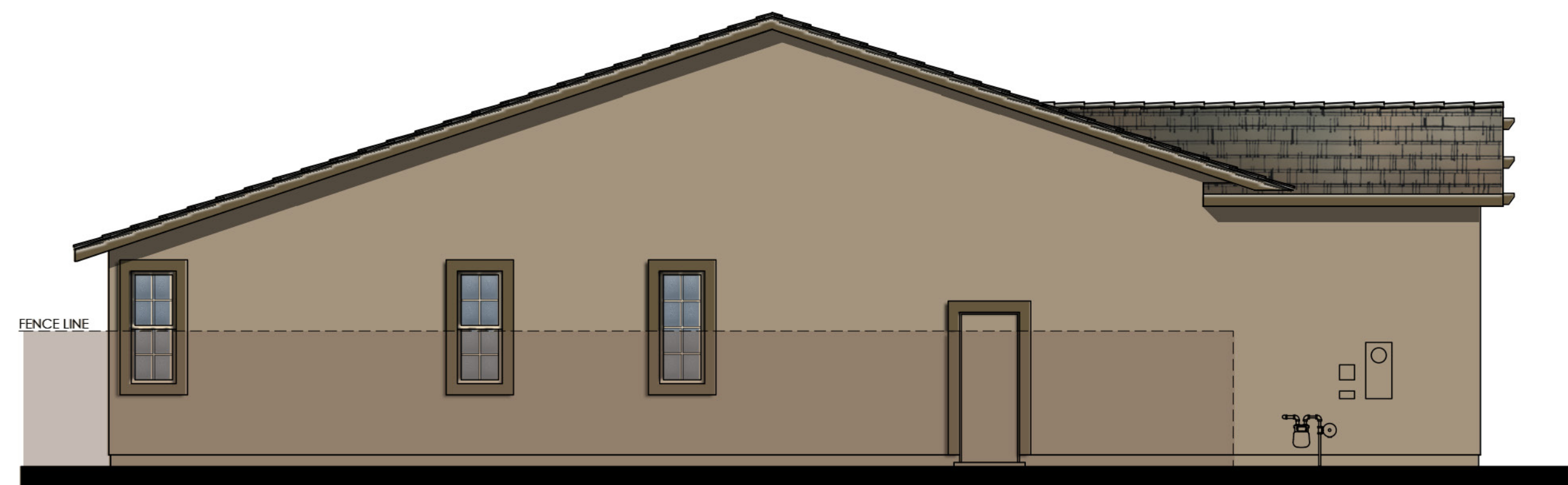
FRONT



RIGHT

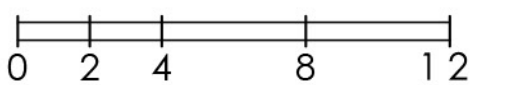


REAR



LEFT

COLOR SCHEME 6
 PLAN 2,287
 MONTEREY "B" ELEVATION

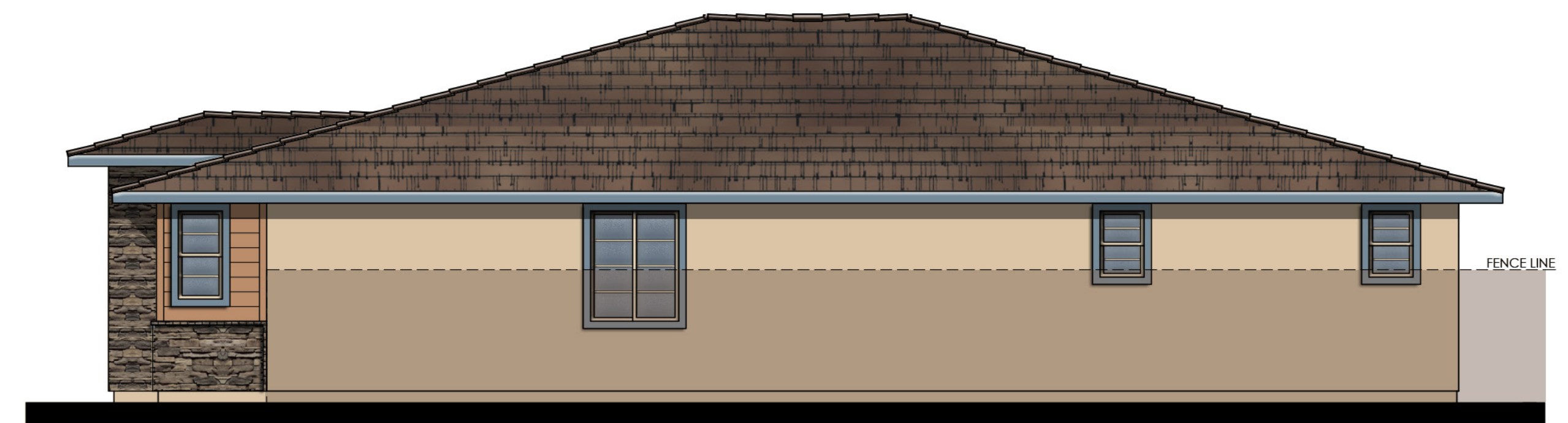




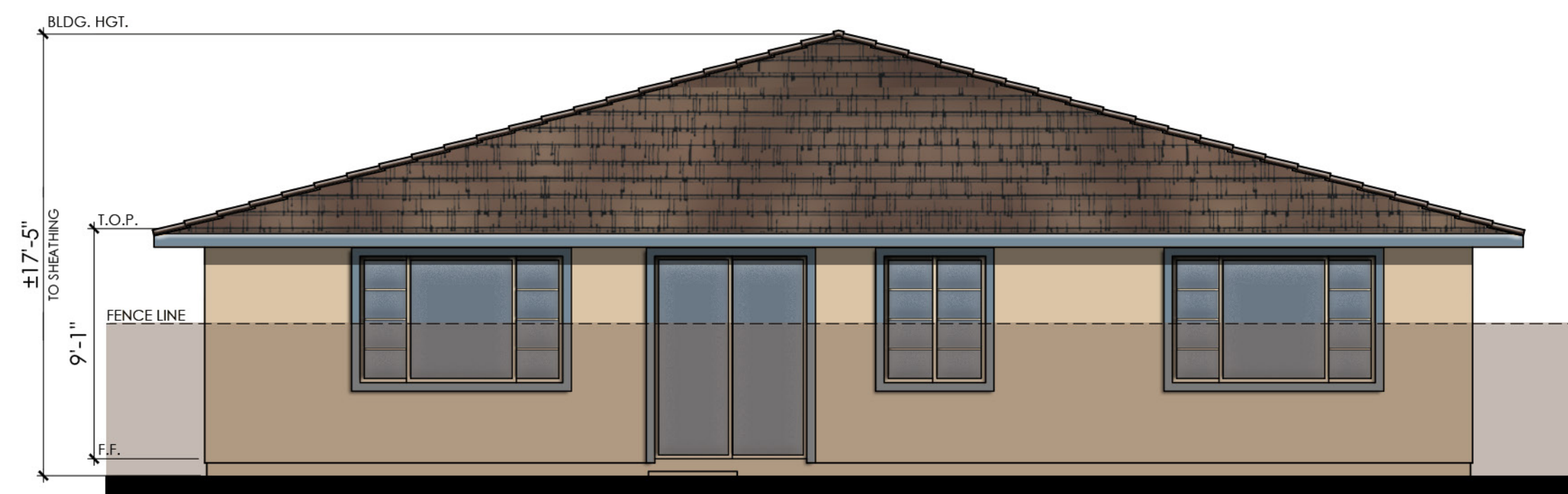
© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

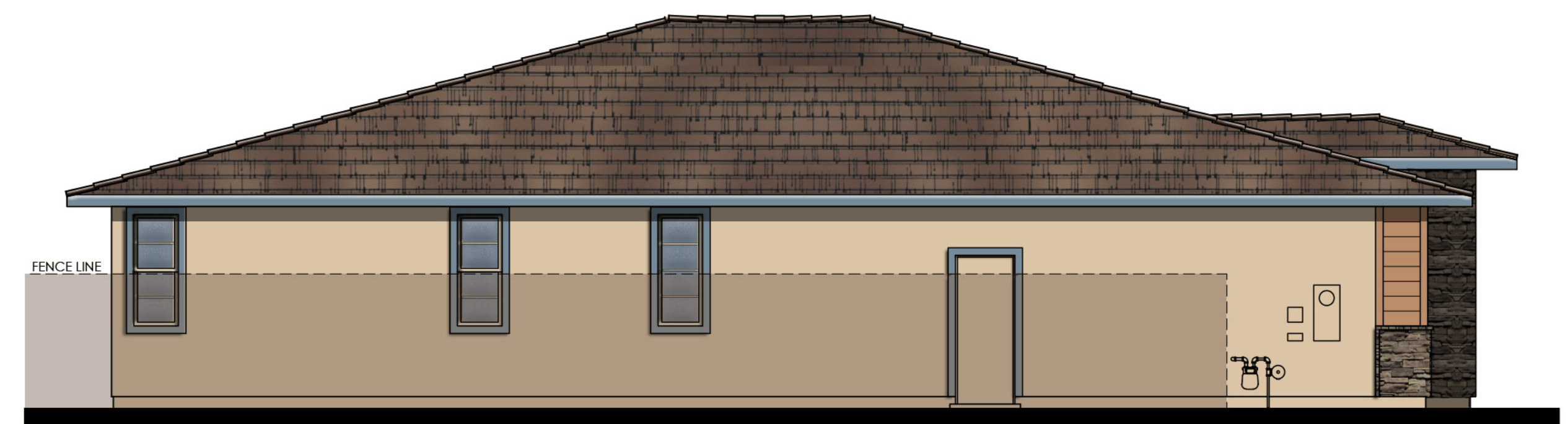
FRONT



RIGHT

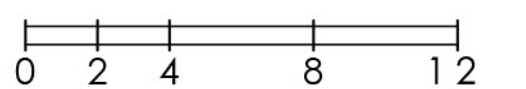


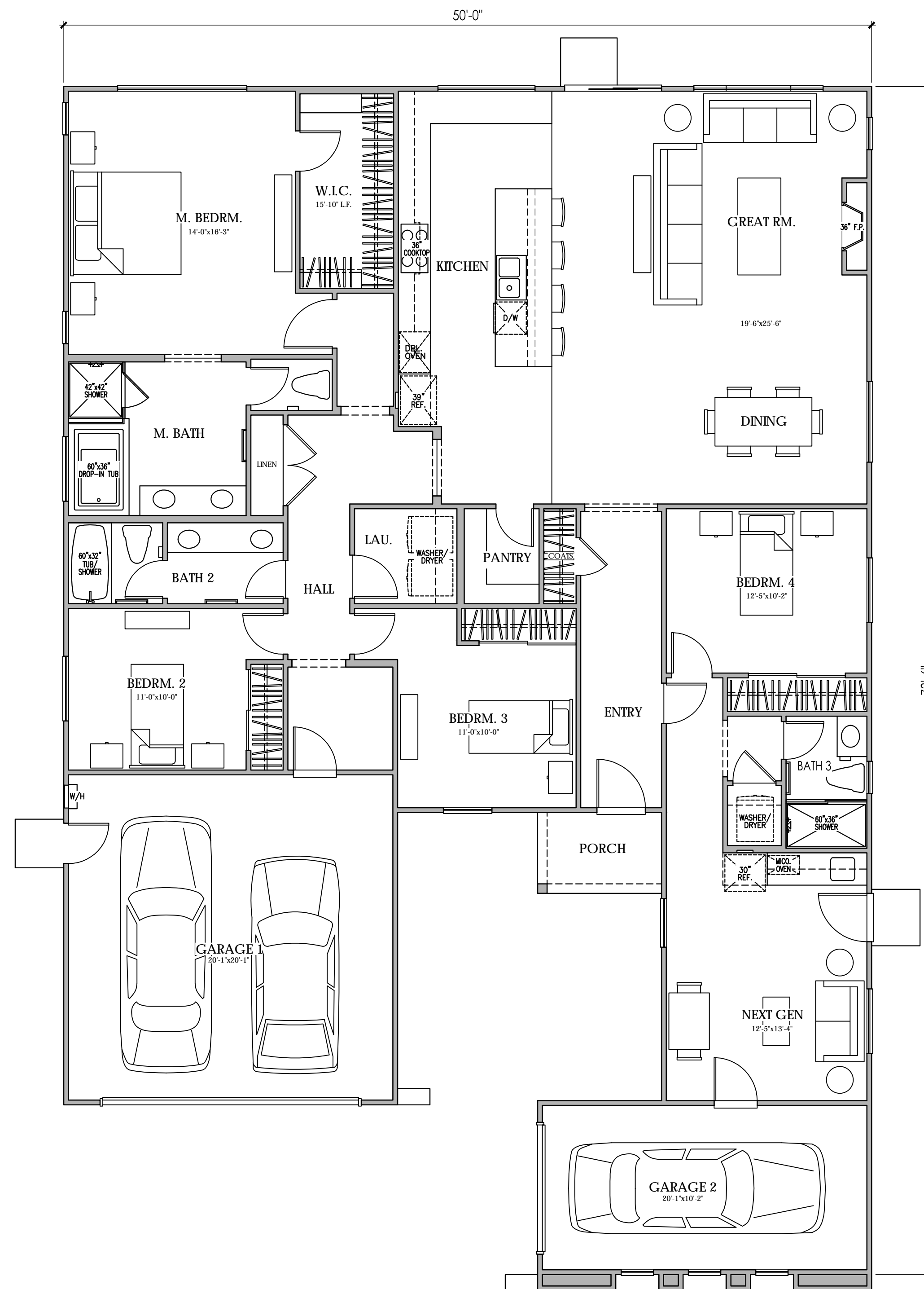
REAR



LEFT

COLOR SCHEME 9
 PLAN 2,287
 PRAIRIE "C" ELEVATION





FLOOR PLAN
 PLAN 2,434
 4 BEDROOM, 3 BATH



MEDITERRANEAN REVIVAL



MONTEREY



PRAIRIE



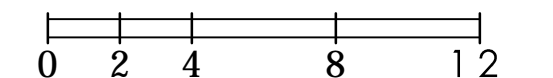
CRAFTSMAN



ITALIANATE

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	2434 SQ. FT.
TOTAL DWELLING	2434 SQ. FT.
UNCONDITIONED SPACE	
GARAGE 1	421 SQ. FT.
GARAGE 2	218 SQ. FT.
PORCH "A", "B", "C"	38 SQ. FT.





MEDITERRANEAN REVIVAL "A"

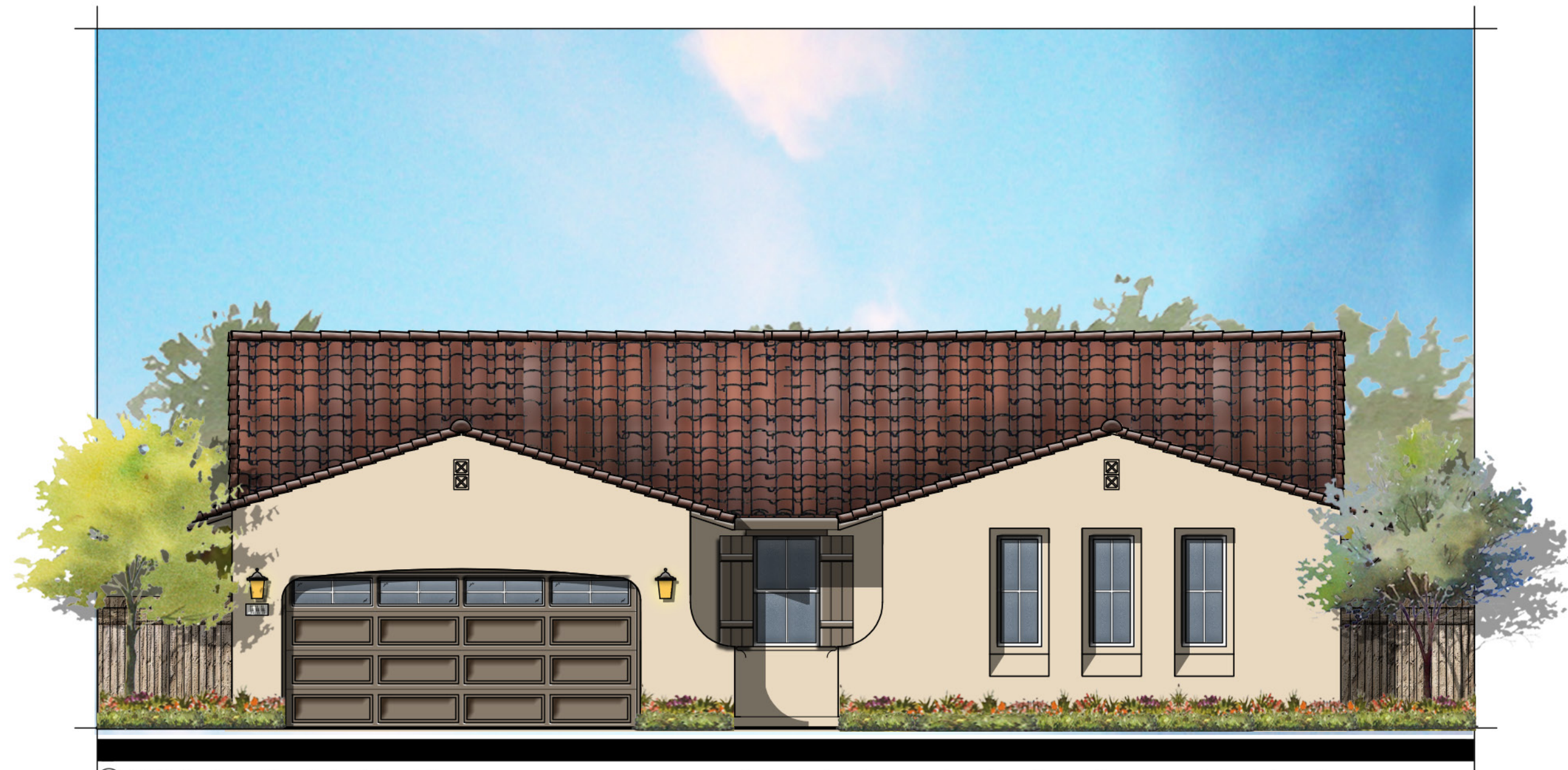


MONTEREY "B"



PRAIRIE "C"

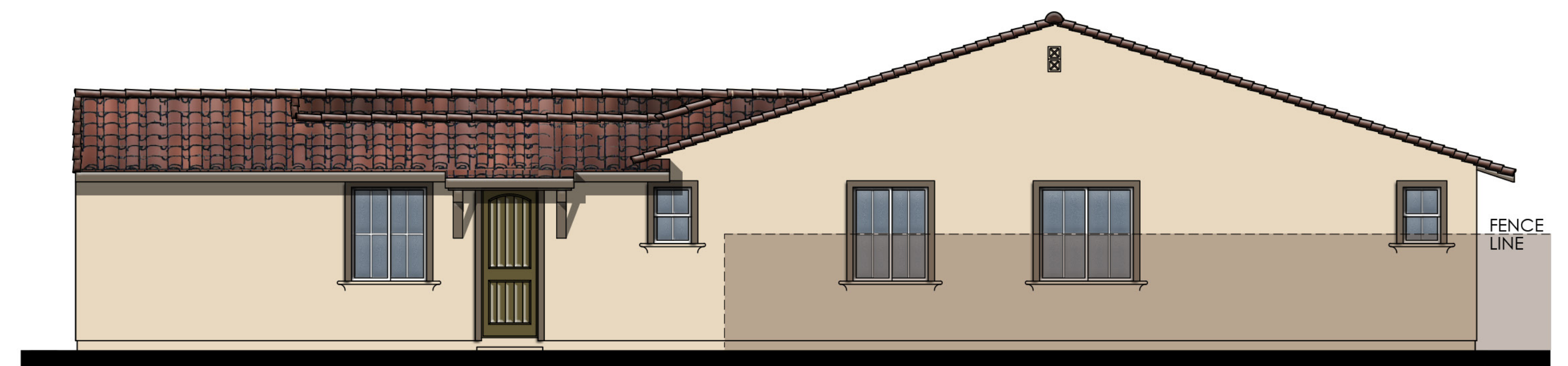
PLAN 2434 - FRONT ELEVATIONS



© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

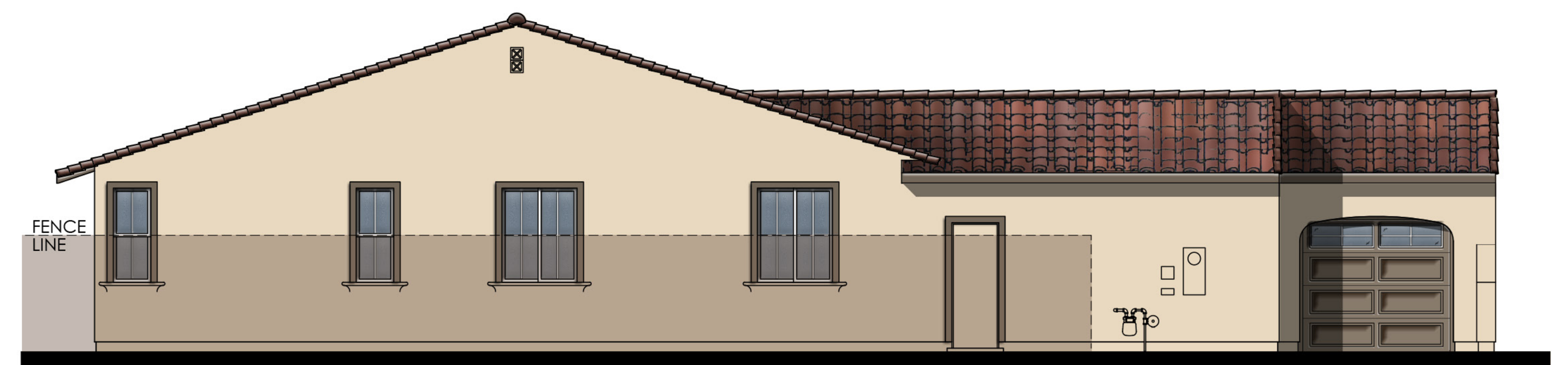
FRONT



RIGHT

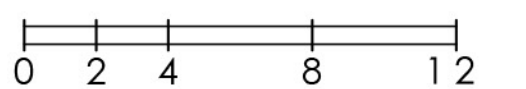


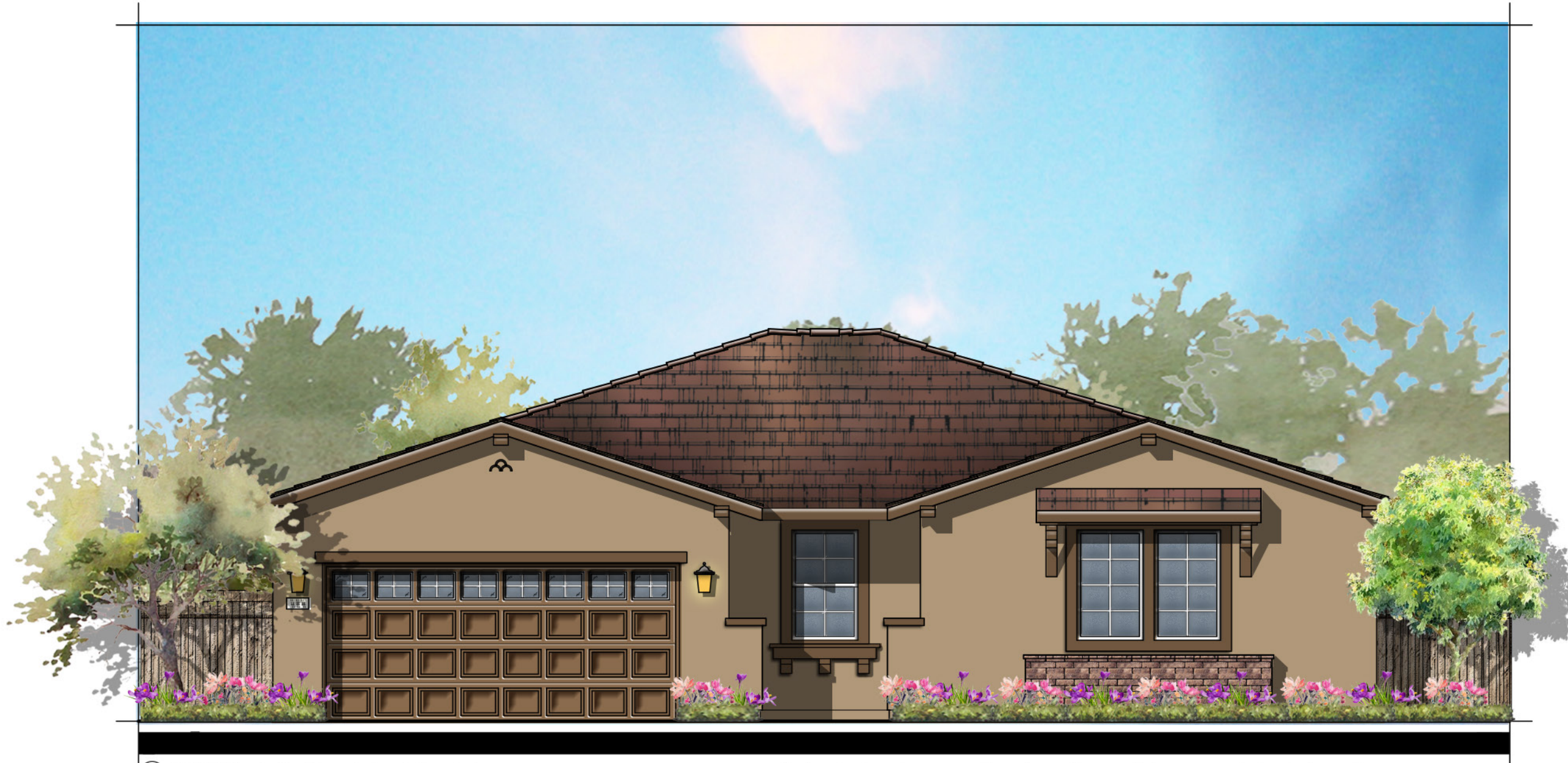
REAR



LEFT

COLOR SCHEME 1
PLAN 2,434
 MEDITERRANEAN REVIVAL "A" ELEVATION

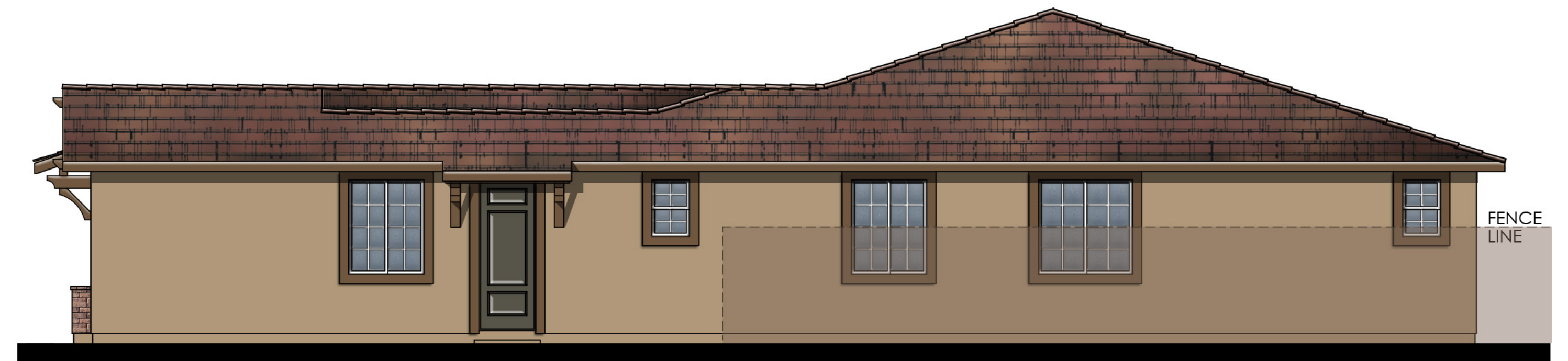




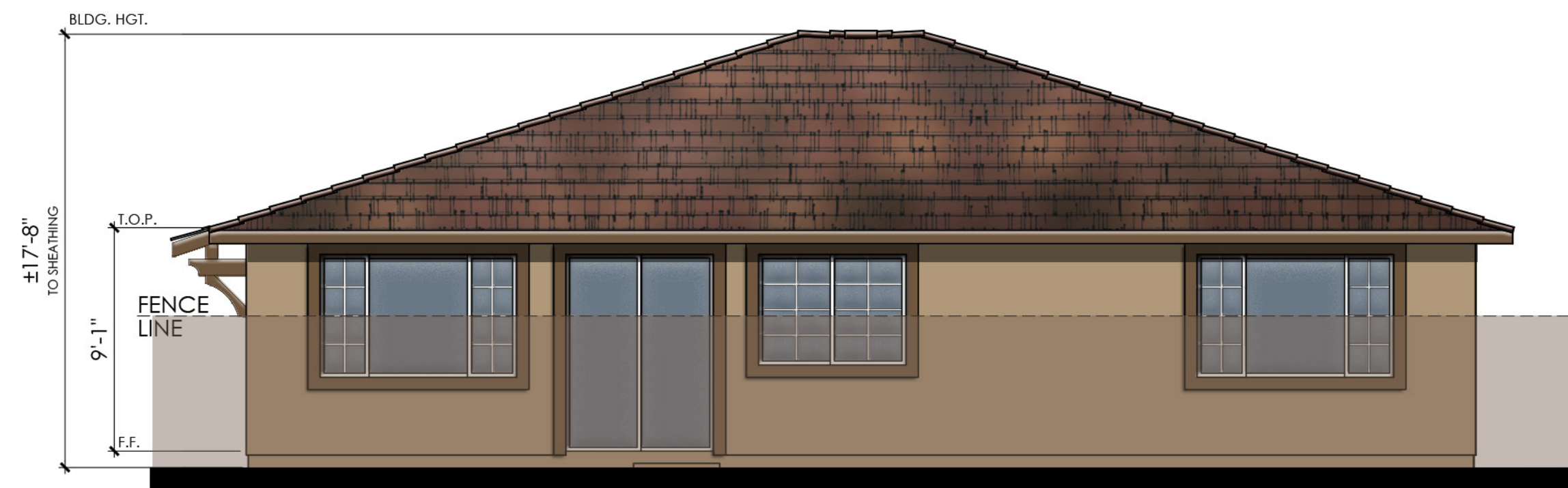
© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

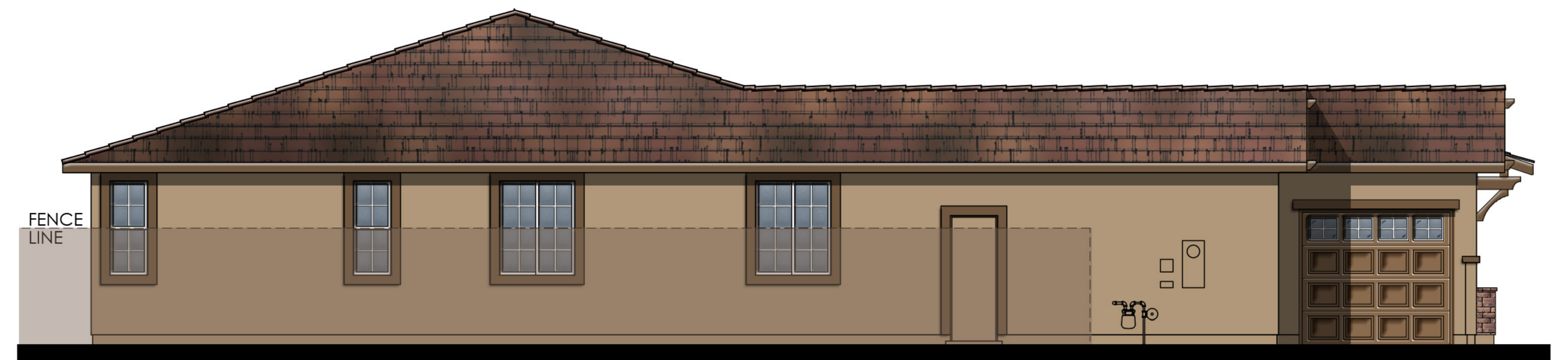
FRONT



RIGHT

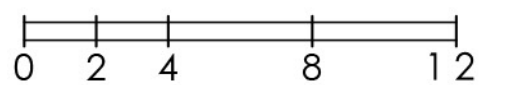


REAR



LEFT

COLOR SCHEME 4
 PLAN 2,434
 MONTEREY "B" ELEVATION

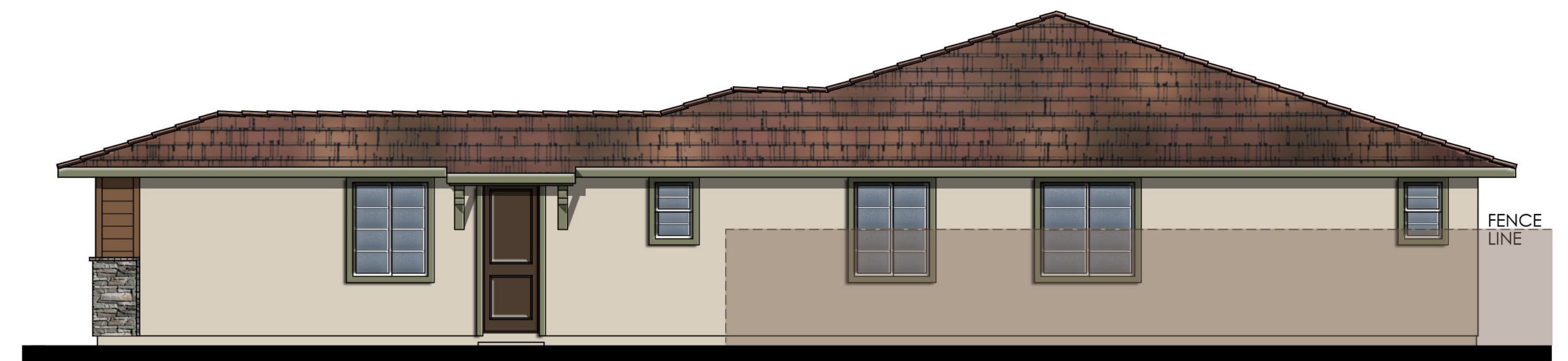




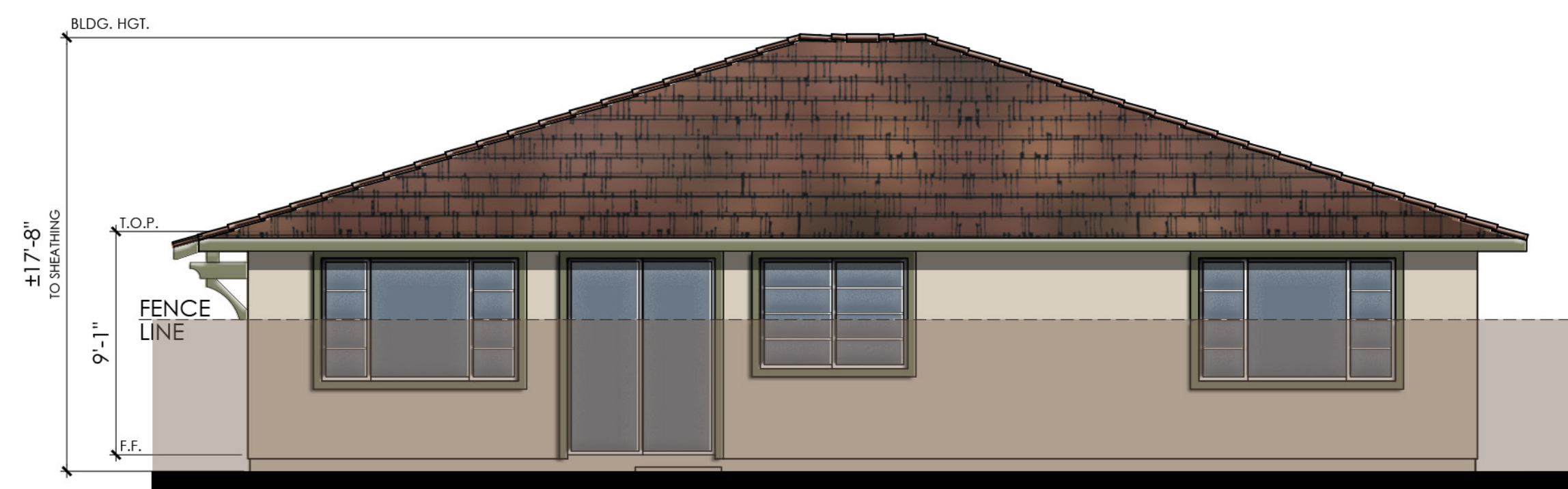
© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

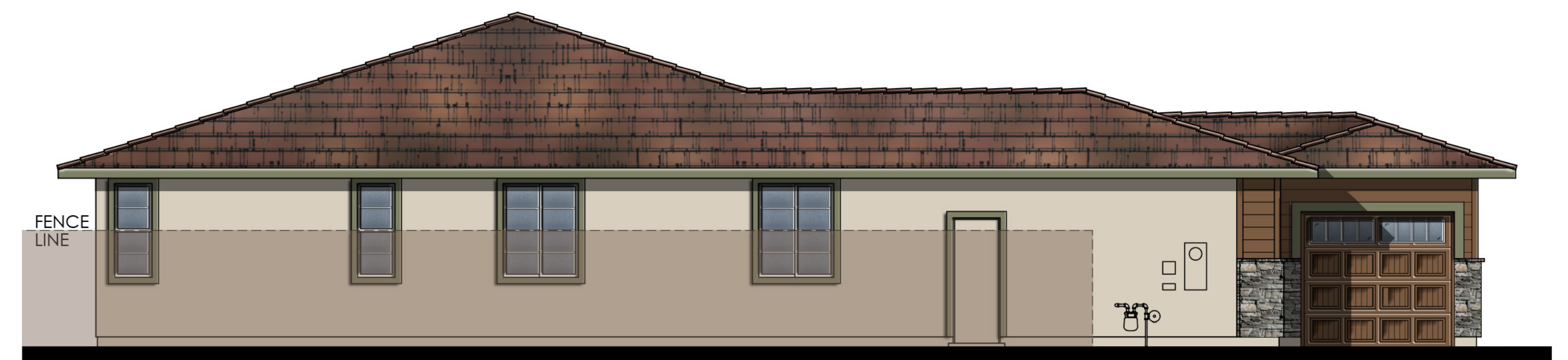
FRONT



RIGHT

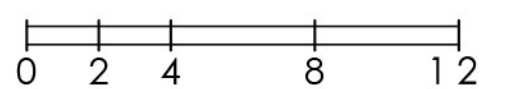


REAR



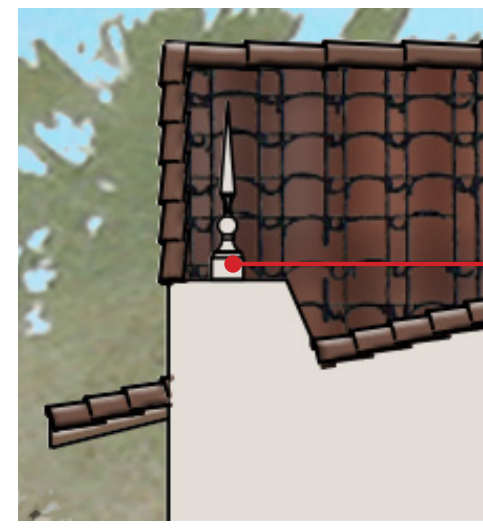
LEFT

COLOR SCHEME 7
 PLAN 2,434
 PRAIRIE "C" ELEVATION





RECESSED WINDOW



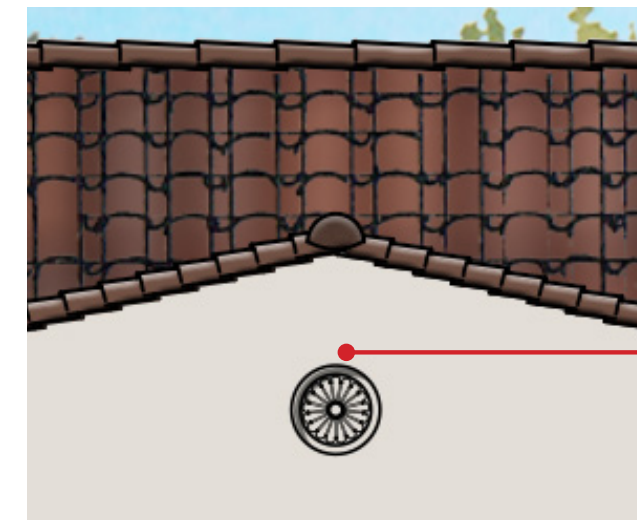
FINIAL



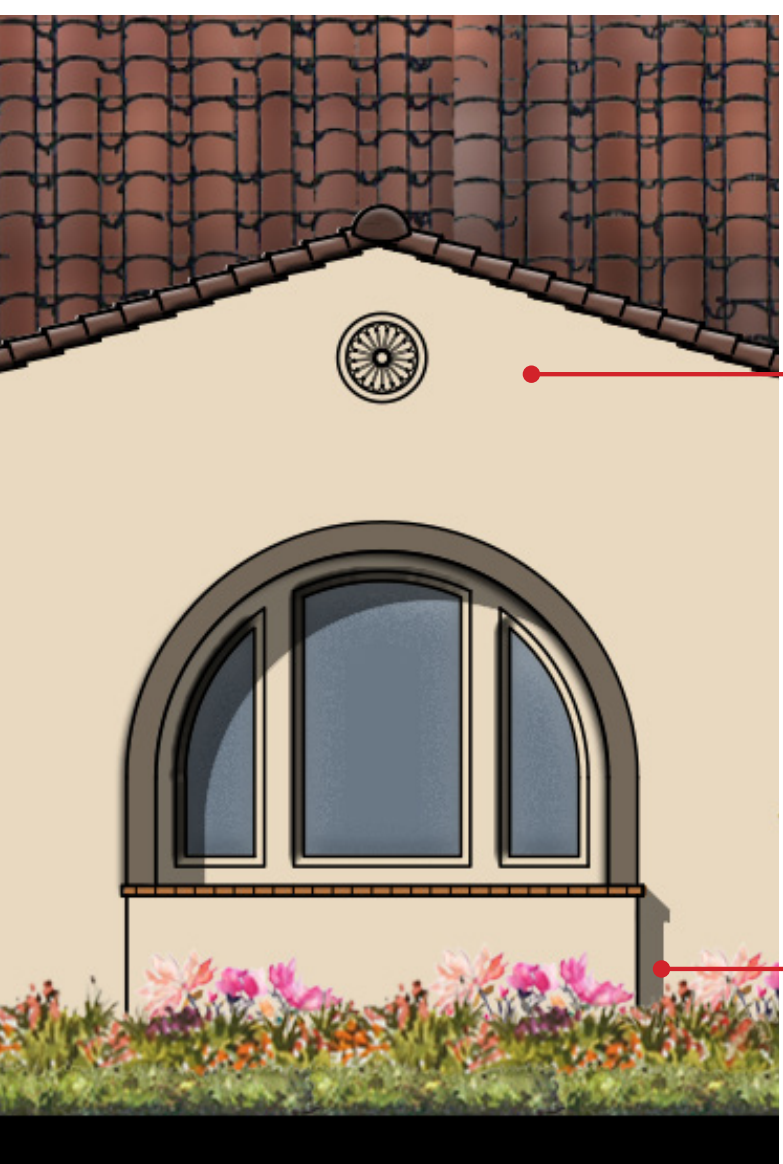
ENTRY DOOR



WOOD FINISHED BOX WINDOW



RECESSED ROSETTA DETAIL



RECESSED DECORATIVE TILE ACCENT

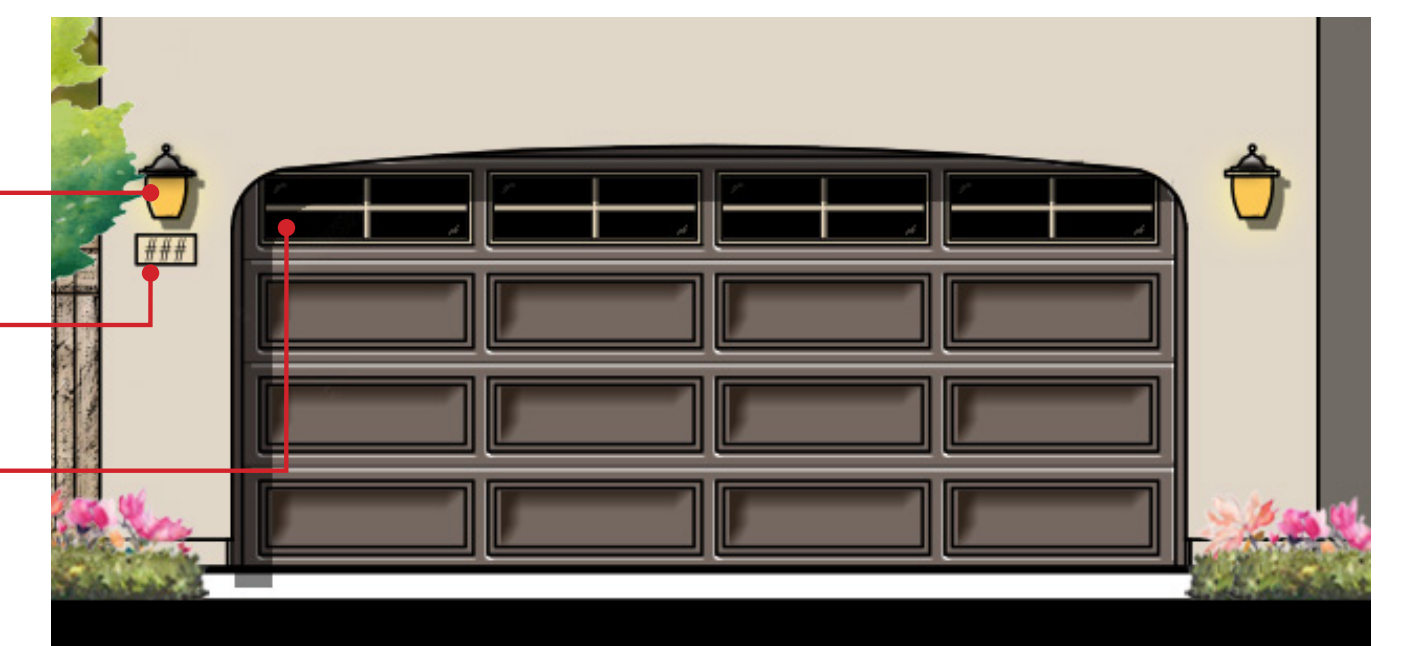
STYLE SPECIFIC SHUTTERS

STUCCO LOW WALL WITH TERRA COTTA PAVER CAP

STYLE SPECIFIC COACH LIGHT

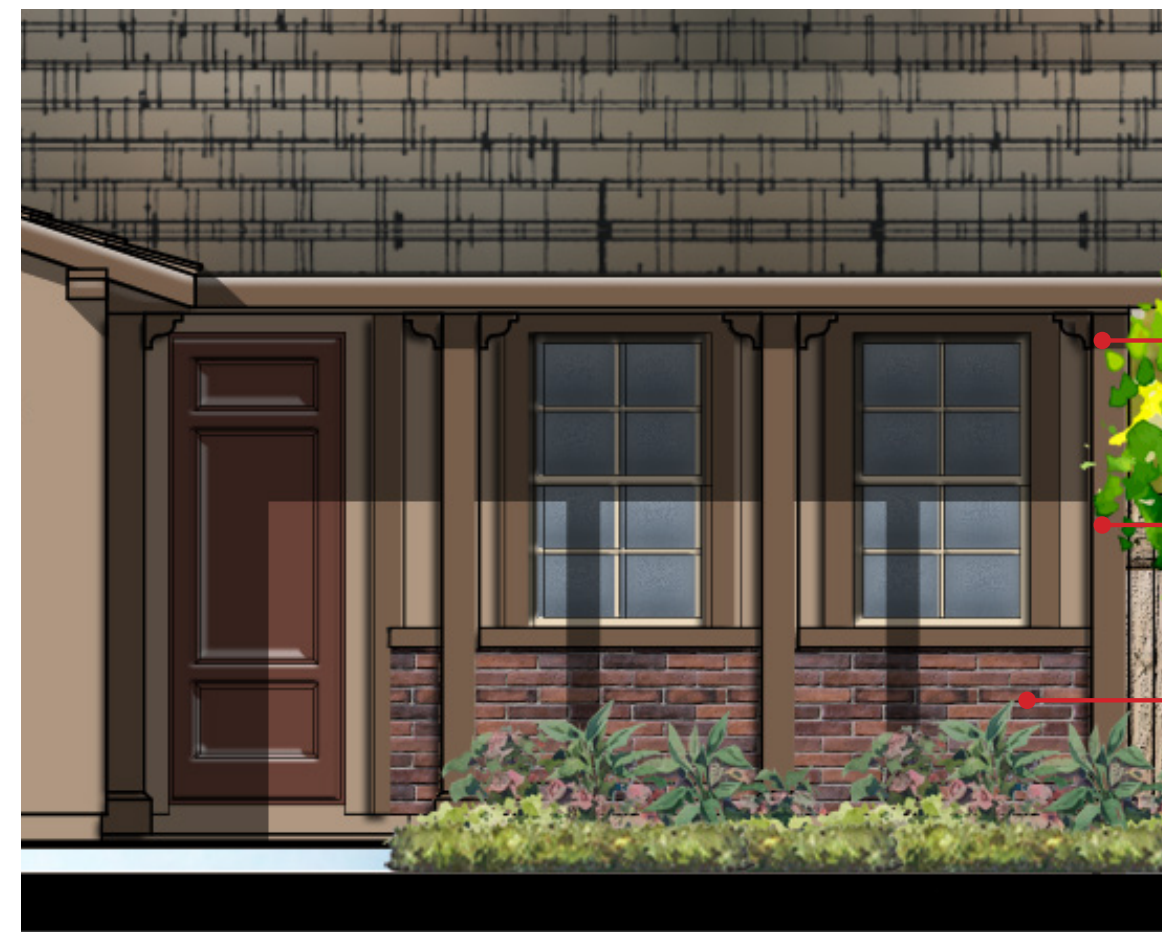
ADDRESS PANEL

WINDOWS



GARAGE DOOR

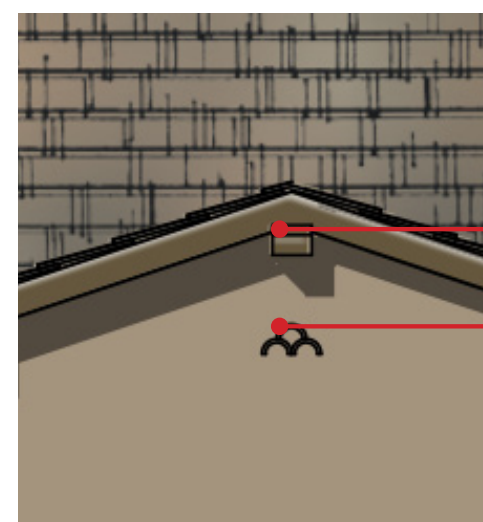
ARCHITECTURAL DETAILS MEDITERRANEAN REVIVAL



WOOD CORBEL

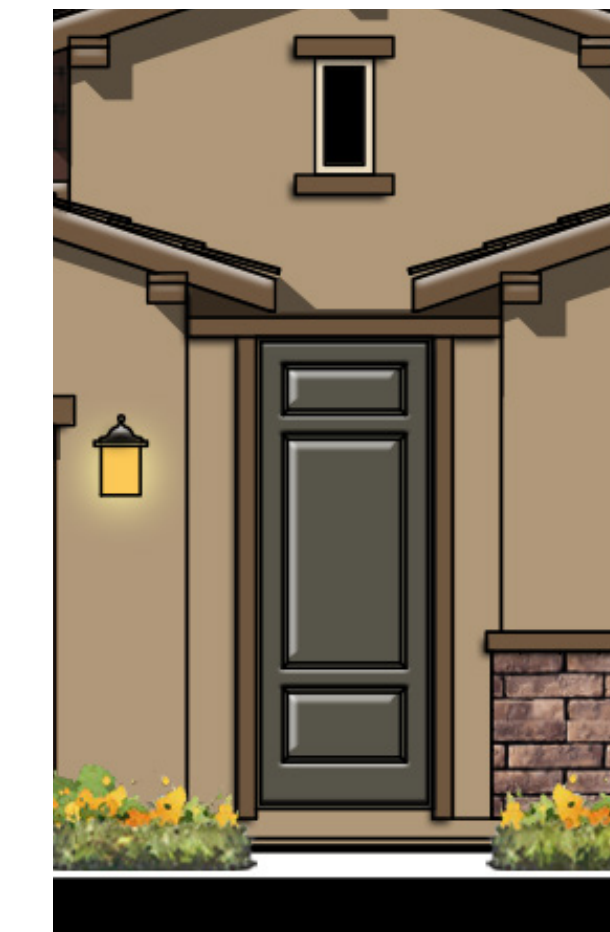
WOOD POST

BRICK VENEER



DECORATIVE CORBEL

DECORATIVE TILE ACCENT



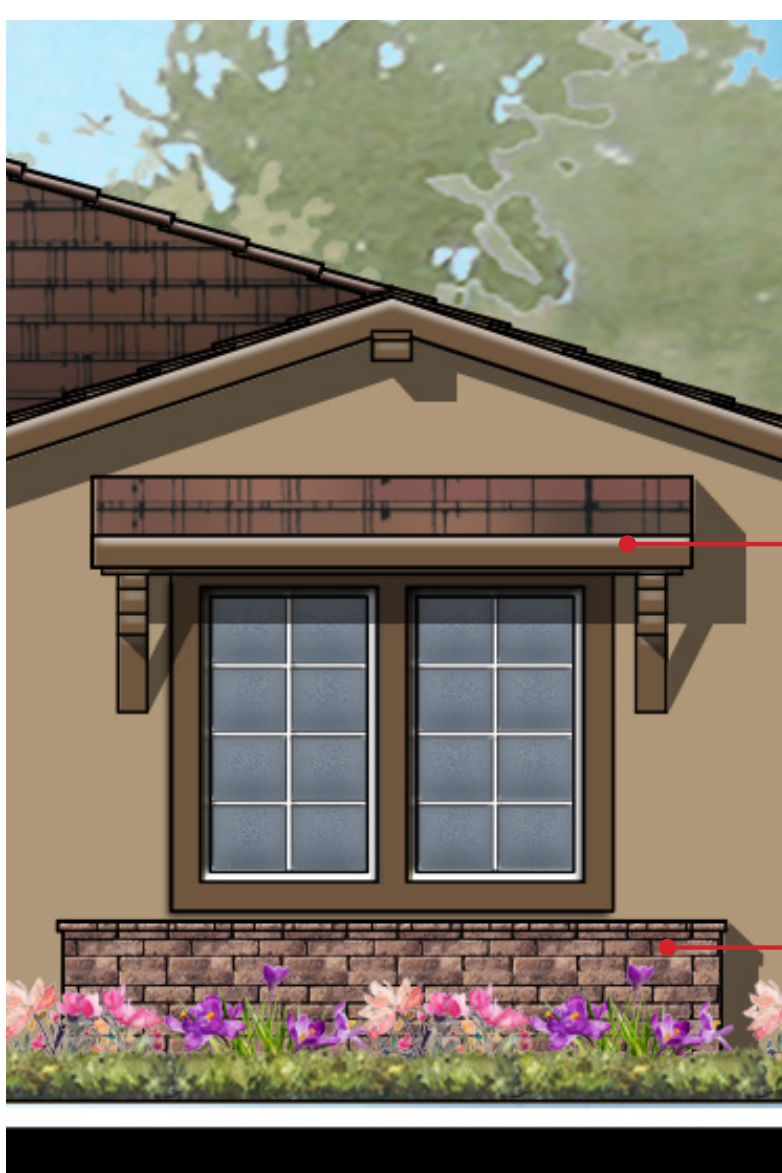
ENTRY DOOR



EXTEND EAVE WITH KNEE
BRACE OUTLOOKER



CAP SIDING



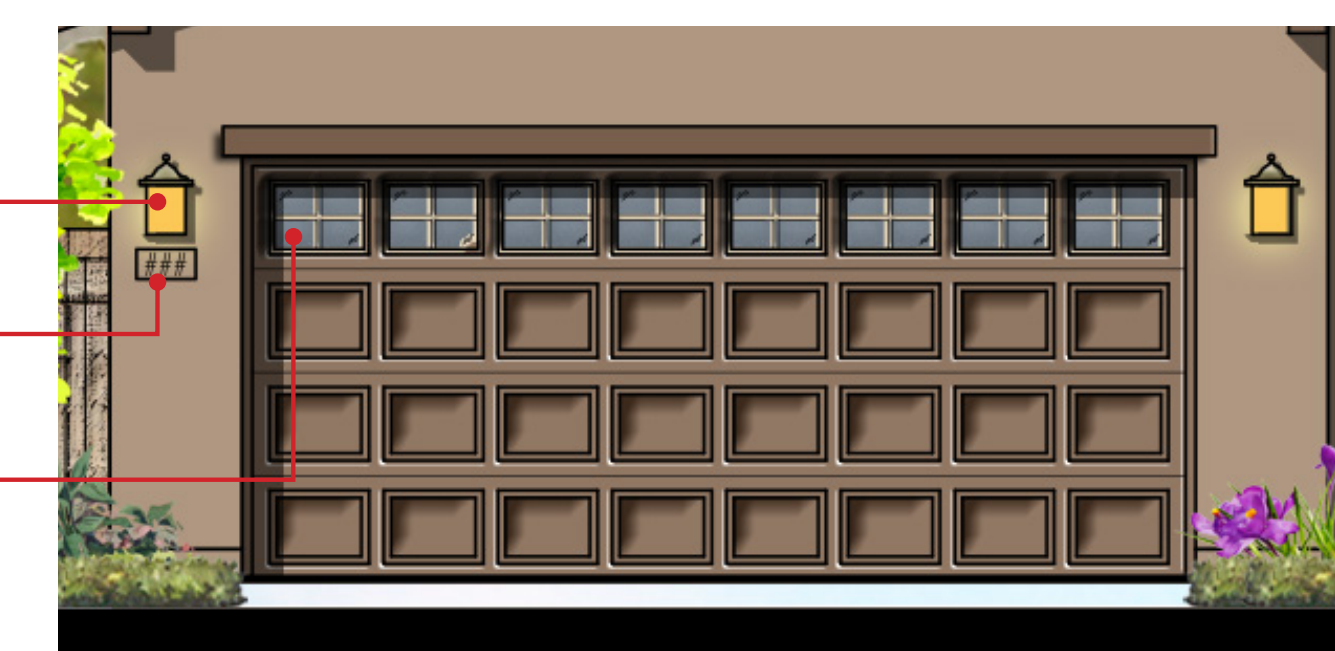
SHED ROOF WITH KNEE
BRACE AND OUTLOOKER

STUCCO LOW WALL WITH
TERRA COTTA CAP

STYLE SPECIFIC COACH LIGHT

ADDRESS PANEL

WINDOWS



GARAGE DOOR

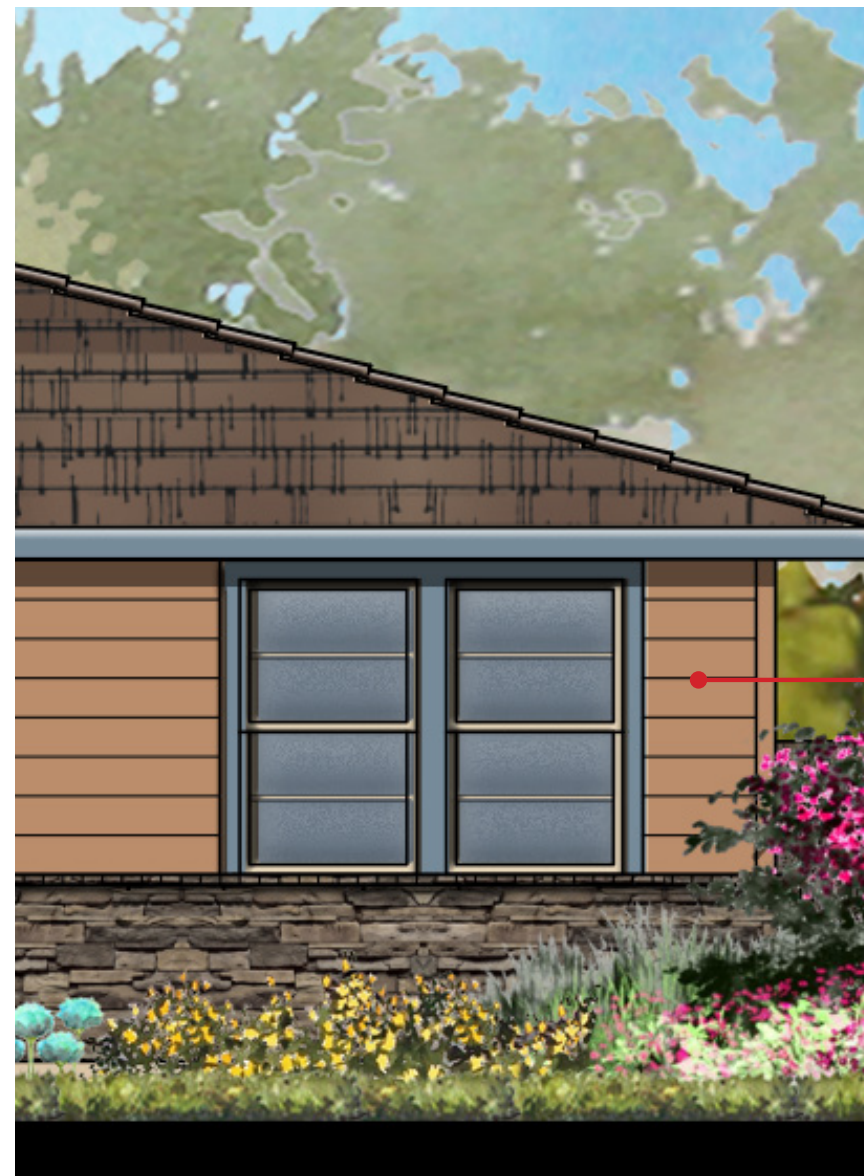
ARCHITECTURAL DETAILS MONTEREY



STONE VENEER



ENTRY DOOR

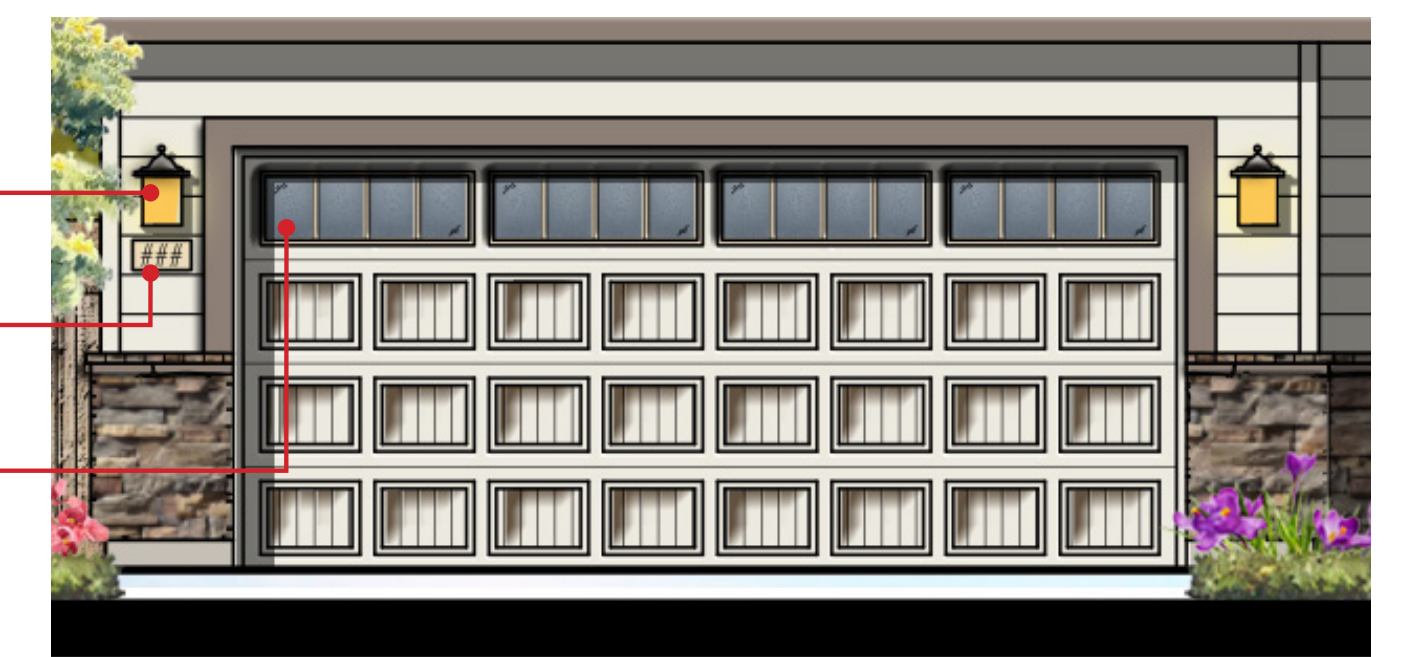


LAP SIDING

STYLE SPECIFIC COACH LIGHT

ADDRESS PANEL

WINDOWS



GARAGE DOOR

ARCHITECTURAL DETAILS PRAIRIE

CITRUS TRAILS COMM #1

LOMA LINDA, CA

JOB # 18035

CREATED: 6/4/2018

City Revisions	8/23/2018
City Revisions	9/10/2018
Hist. Review Rev	10/4/2018

"A" ELEVATIONS			
MEDITERRANEAN REV	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO	1557	1580	1503
STUCCO PAINT MATCH***	SW7573 EAGLET BEIGE	SW7012 CREAMY	SW7028 INCREDIBLE WHITE
FASCIA / TRIM	SW7033 BRAINSTORM BRONZE	SW7514 FOOTHILLS	SW9090 CARAIBE
GARAGE DOOR	SW7032 WARM STONE	SW6075 GARRET GRAY	SW9091 HALF-CAFF
FRONT DOOR / SHUTTERS	SW7735 PALM LEAF	SW0032 NEEDLEPOINT NAVY	SW6061 TANBARK
ROOF: LOW PROFILE "S"	1VICS6464 CA MISSION BLEND	1VICS6464 CA MISSION BLEND	1VICS6464 CA MISSION BLEND
WINDOWS	ALMOND	ALMOND	ALMOND

STUCCO:	OMEGA
PAINT:	SHERWIN WILLIAMS
ROOF:	BORAL

"B" ELEVATIONS			
MONTEREY	SCHEME 4	SCHEME 5	SCHEME 6
STUCCO	1522	1606	1524
STUCCO PAINT MATCH***	SW7540 ARTISAN TAN	SW7519 - MEXICAN SAND	SW9117 - URBAN JUNGLE
FASCIA / TRIM / LAP SIDING	SW6111 COCONUT HUSK	SW9090 CARAIBE	SW6153 PROTÉGÉ BRONZE
GARAGE DOOR	SW6110 STEADY BROWN	SW9089 LLAMA WOOL	SW6151 QUIVER TAN
FRONT DOOR / SHUTTERS	SW2846 ROYCROFT BRONZE GRN	SW2837 AURORA BROWN	SW7048 URBANE BRONZE
GABLE END DETAIL	SW6061 TANBARK	SW6061 TANBARK	SW6061 TANBARK
ROOF: FLAT SHAKE	1FBCJ6464 CA MISSION BLEND	1FBCJ3181 SMOKEY TOPAZ BLD	1FBCJ4072 SAHARA QUARTZ BLD
BRICK: SPECIAL USED	COUNTRY	ANTIQUE RED	CHABLIS
WINDOWS	ALMOND	ALMOND	ALMOND

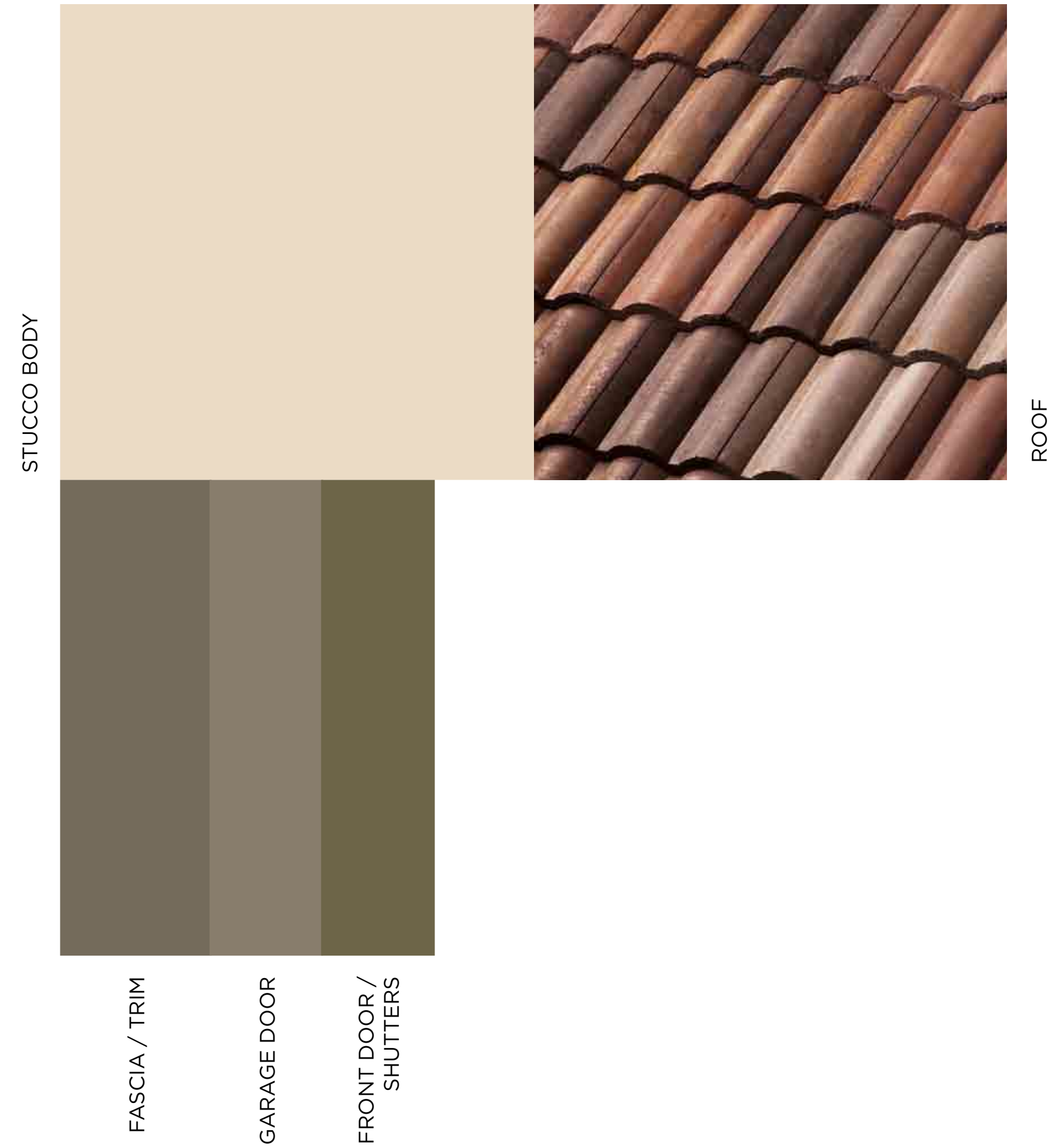
"C" ELEVATIONS			
PRAIRIE	SCHEME 7	SCHEME 8	SCHEME 9
STUCCO	1523	1554	1608
STUCCO PAINT MATCH***	SW7541 GRECIAN IVORY	SW7641 COLONNADE GRAY	SW7716 CROSSAINT
FASCIA / TRIM	SW6179 ARTICHOKE	SW6074 SPALDING GRAY	SW6242 BRACING BLUE
GARAGE DOOR / LAP SIDING / CORNER BOARDS	SW7523 BURNISHED BRANDY	SW7008 ALABASTER	SW7718 OAK CREEK
FRONT DOOR / SHUTTERS	SW9183 DARK CLOVE	SW7510 CHATEAU BROWN	SW2837 AURORA BROWN
ROOF: FLAT SLATE	1FECY3182 GARNET BLEND	1FACS0330 APPALACHIAN BLEND	1FACS3184 RUSTIC BROWN BLD
STONE: OLD WORLD LEDGE	PROVO CANYON	MONARCH	TOBACCO BLEND
WINDOWS	ALMOND	ALMOND	ALMOND

ALL FLASHING, GUTTERS, DOWNSPOUTS ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE. ALL PAINT BREAKS TO BE CUT AT INSIDE CORNERS.



WRITTEN COLOR SCHEMES

MEDITERRANEAN REVIVAL
SCHEME #1

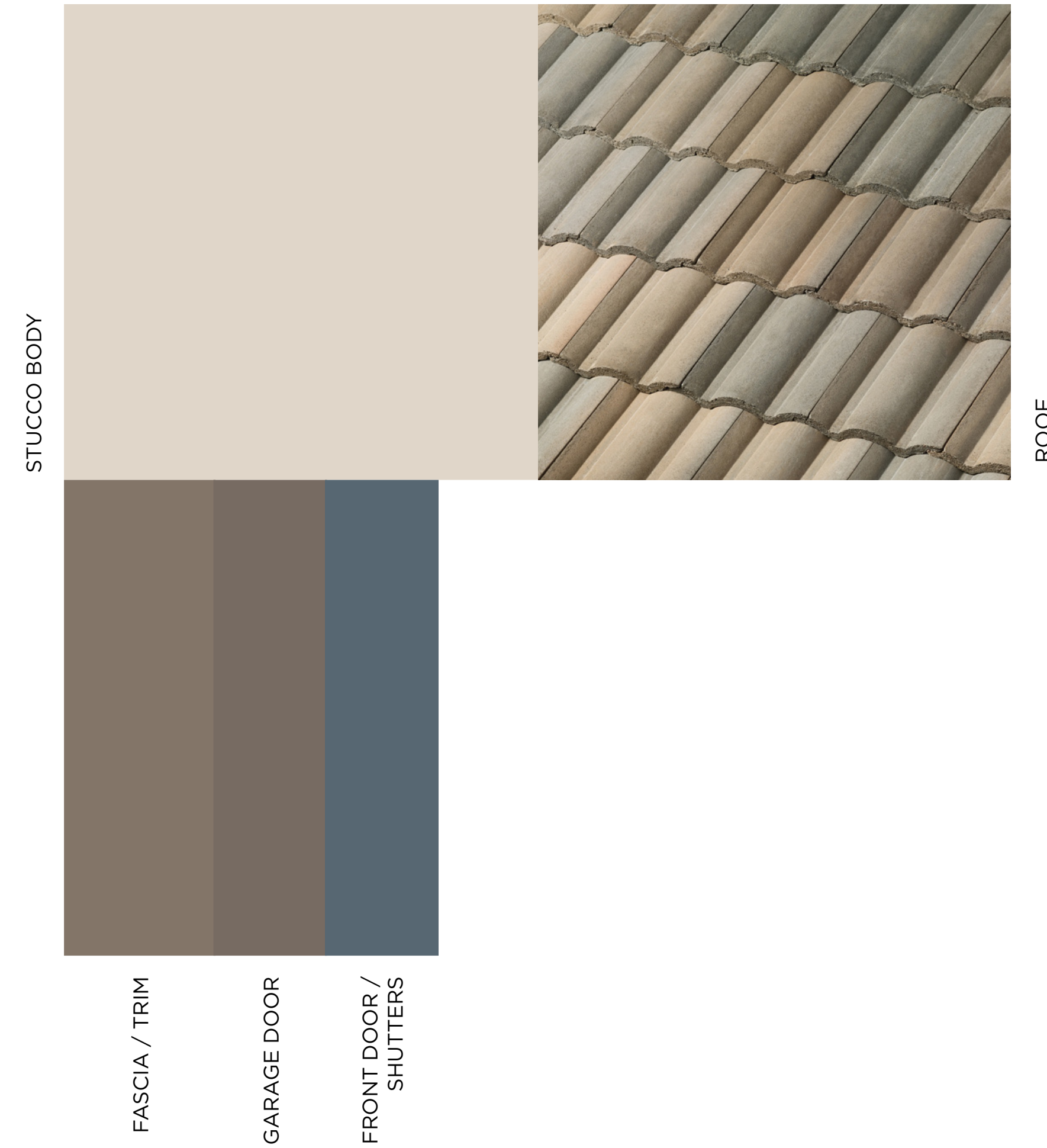


LENNAR
#18035
9/11/2018

CITRUS TRAILS COMMUNITY 1
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

MEDITERRANEAN REVIVAL
SCHEME #2

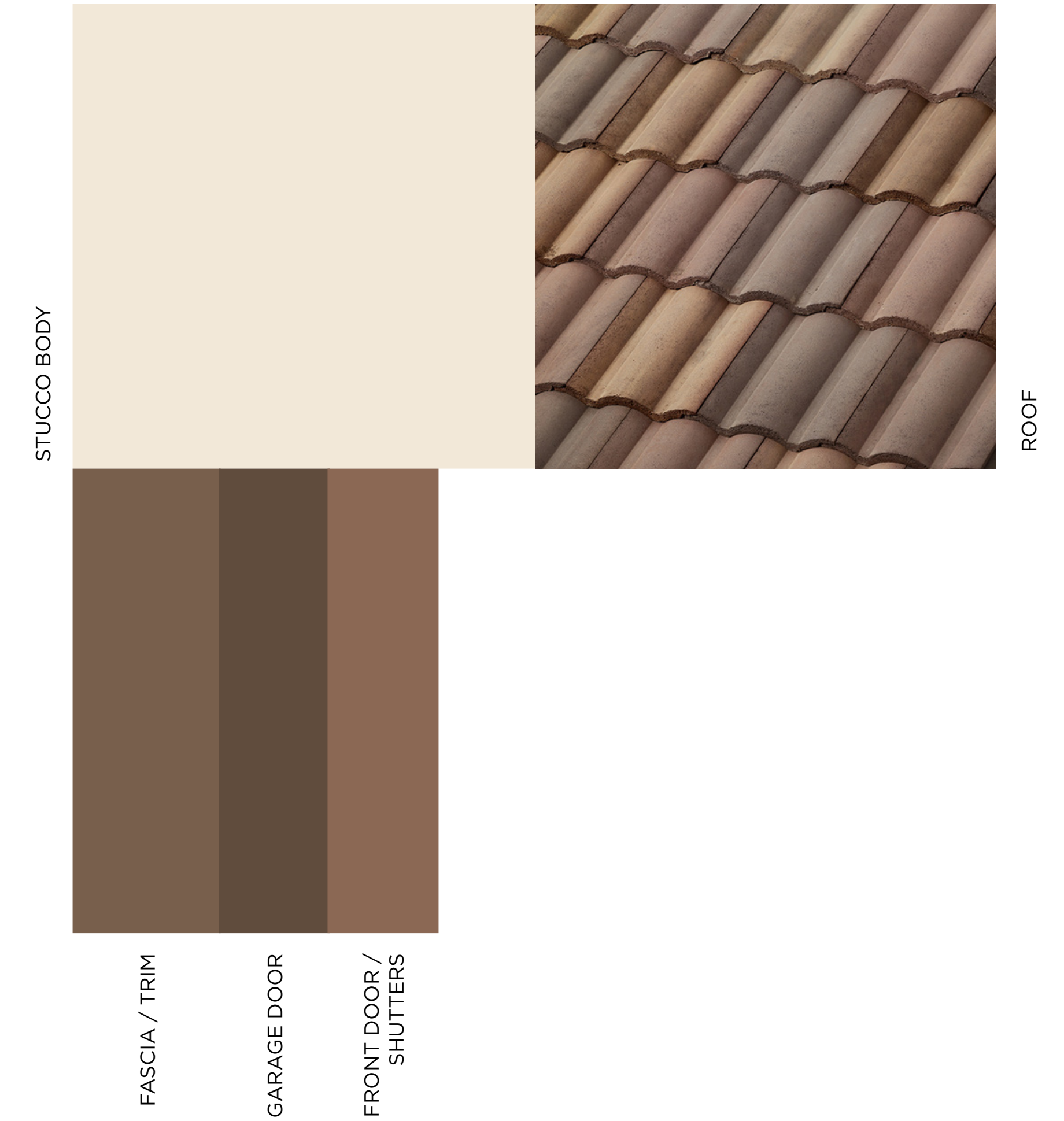


LENNAR
#18035
9/11/2018

CITRUS TRAILS COMMUNITY 1
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

MEDITERRANEAN REVIVAL
SCHEME #3



LENNAR
#18035
9/11/2018

CITRUS TRAILS COMMUNITY 1
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - MEDITERRANEAN REVIVAL

MONTEREY
SCHEME #4



LENNAR
#18035
9/11/2018

CITRUS TRAILS COMMUNITY 1
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

MONTEREY
SCHEME #5

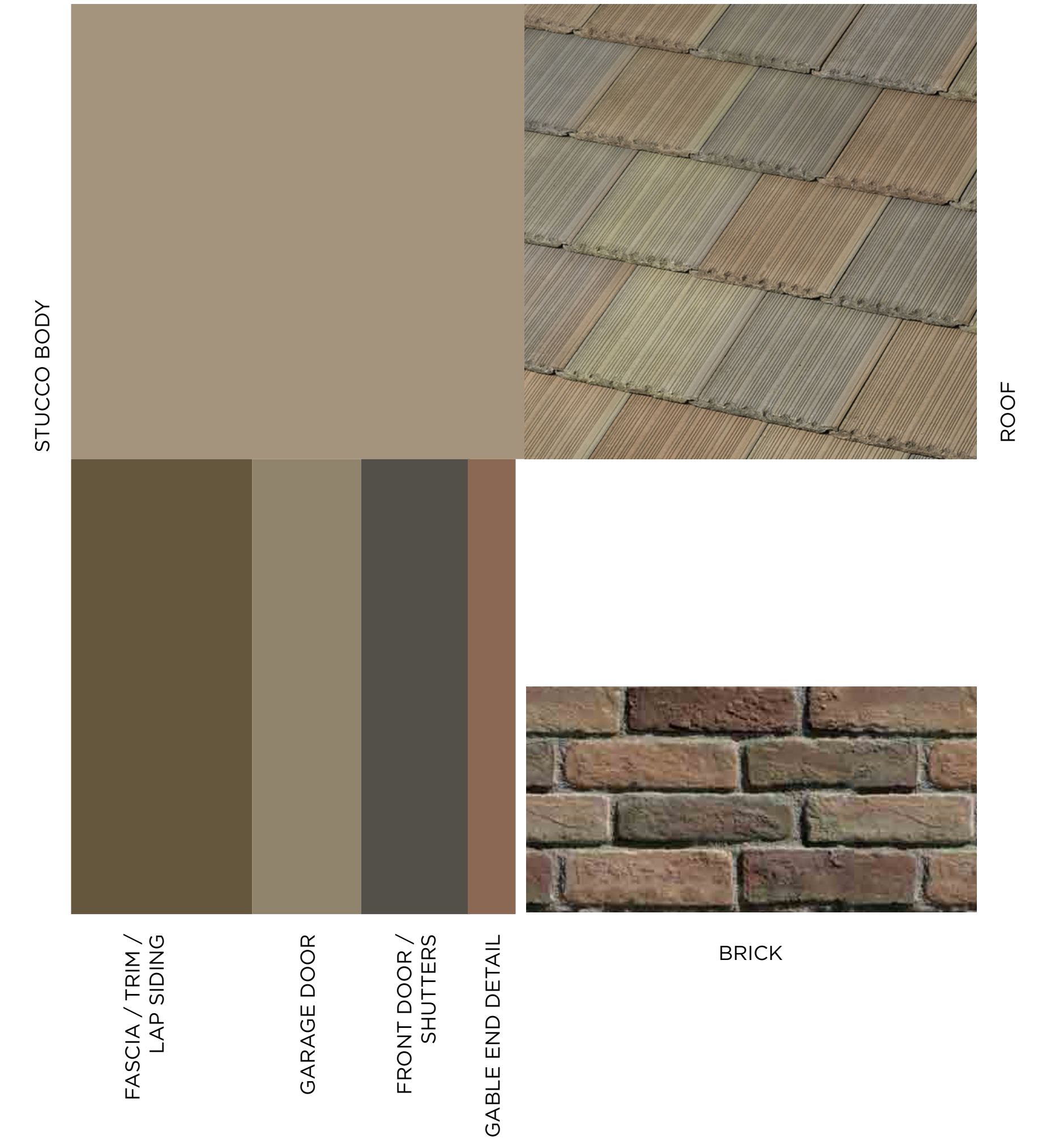


LENNAR
#18035
9/11/2018

CITRUS TRAILS COMMUNITY 1
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

MONTEREY
SCHEME #6



LENNAR
#18035
9/11/2018

CITRUS TRAILS COMMUNITY 1
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - MONTEREY

PRAIRIE
SCHEME #7

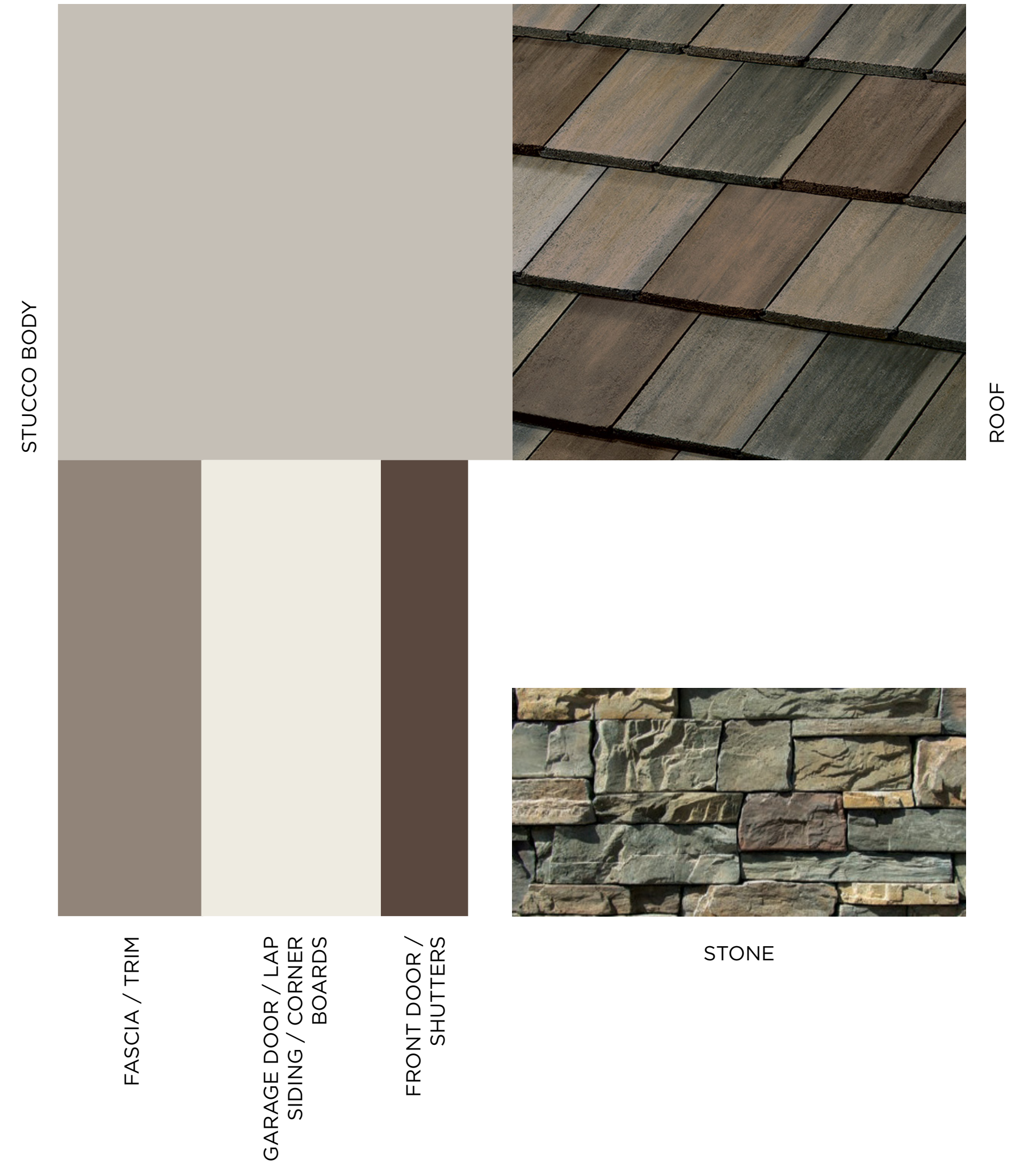


LENNAR #18035 9/11/2018

CITRUS TRAILS COMMUNITY 1 LOMA LINDA, CA

Kevin L. Crook Architect Inc. PLANNING + ARCHITECTURE

PRAIRIE
SCHEME #8

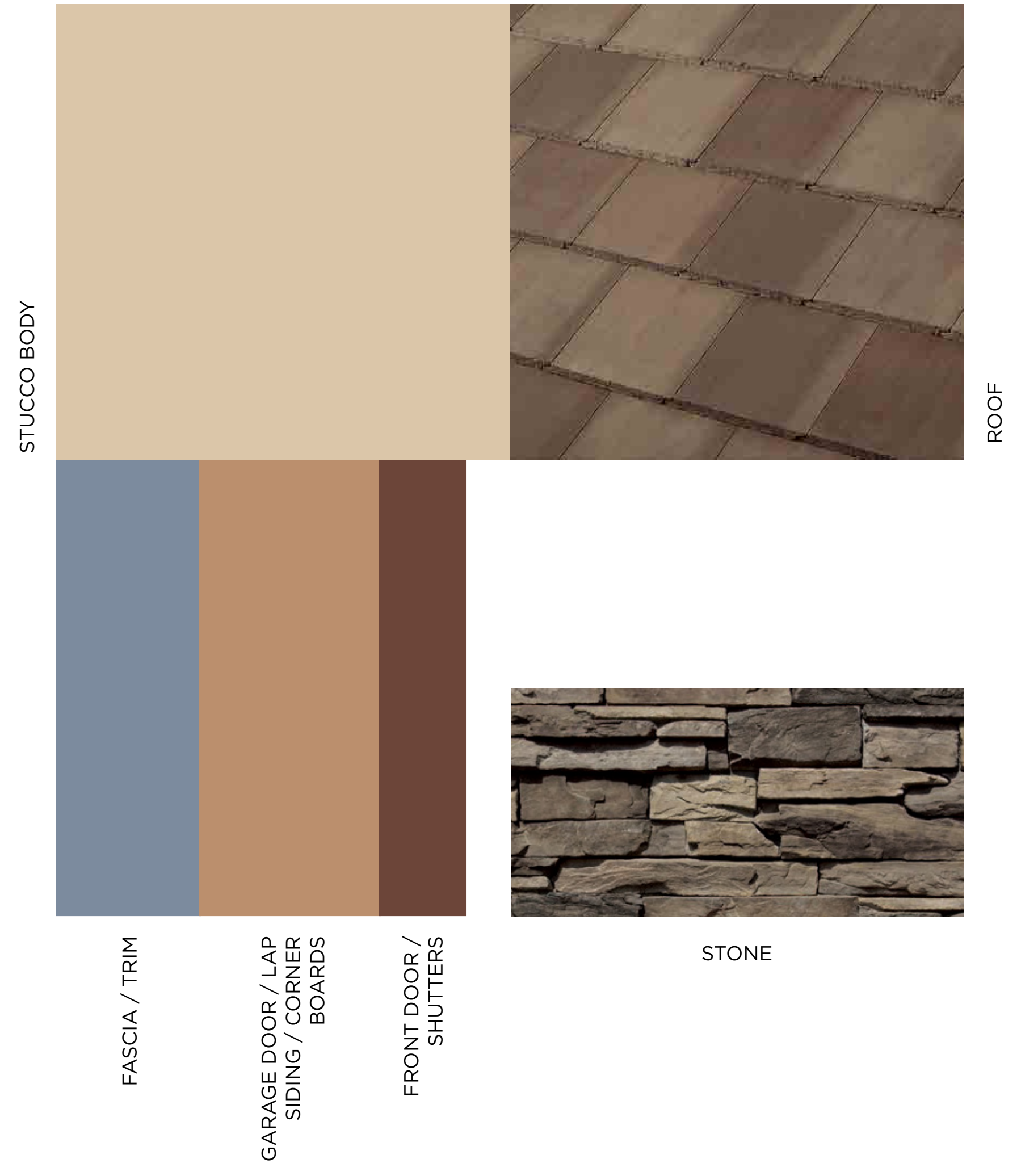


LENNAR #18035 9/11/2018

CITRUS TRAILS COMMUNITY 1 LOMA LINDA, CA

Kevin L. Crook Architect Inc. PLANNING + ARCHITECTURE

PRAIRIE
SCHEME #9

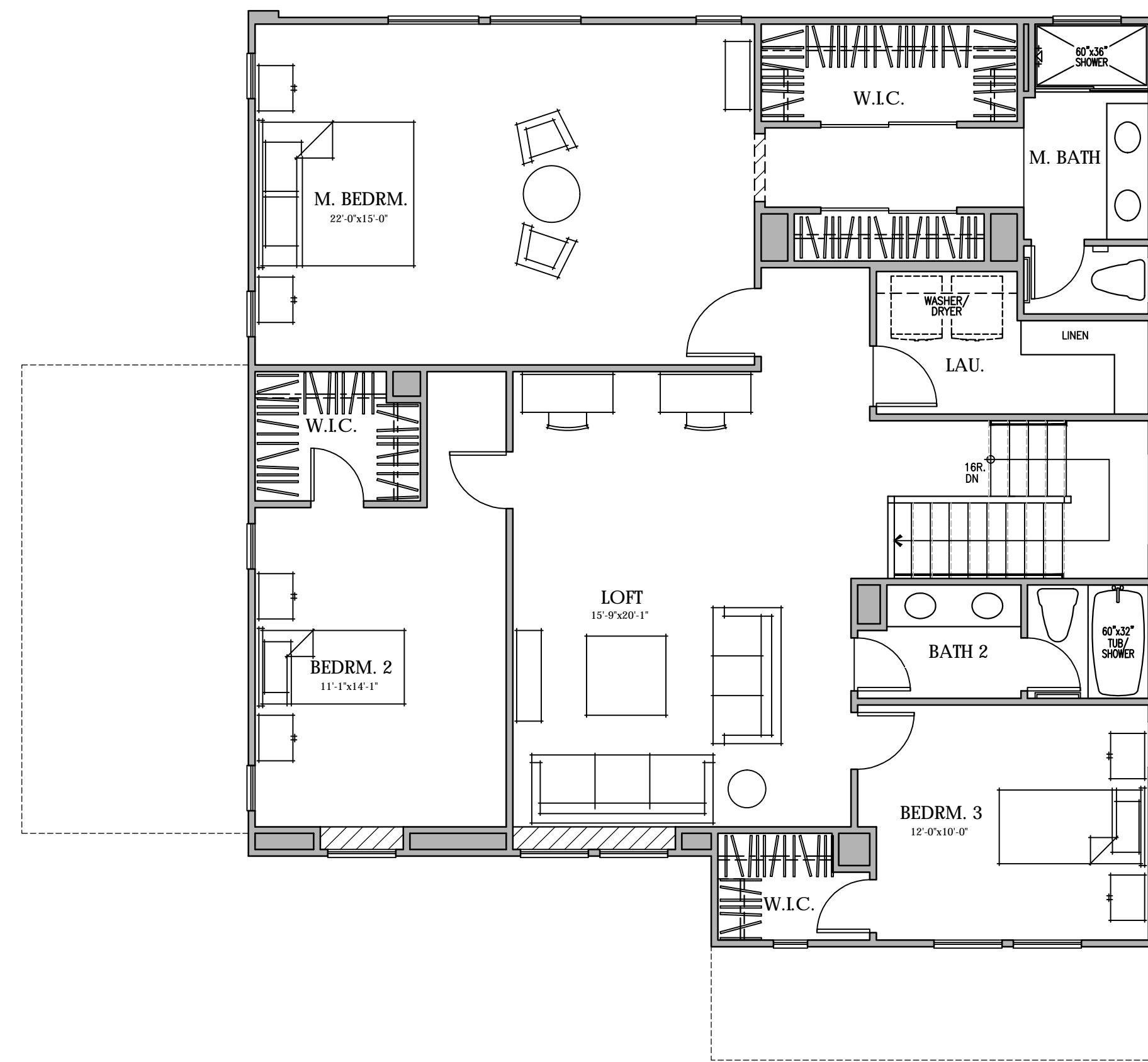


LENNAR #18035 9/11/2018

CITRUS TRAILS COMMUNITY 1 LOMA LINDA, CA

Kevin L. Crook Architect Inc. PLANNING + ARCHITECTURE

COLOR BOARDS - PRAIRIE



SECOND FLOOR PLAN



FIRST FLOOR PLAN



MEDITERRANEAN REVIVAL



MONTEREY



PRAIRIE



CRAFTSMAN

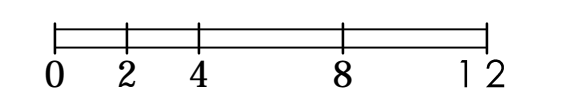


ITALIANATE

PLAN 2,614
4 BEDROOM, 3 BATH, LOFT

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1,121 SQ. FT.
SECOND FLOOR AREA	1,493 SQ. FT.
TOTAL DWELLING	2,614 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	624 SQ. FT.
PORCH	98 SQ. FT.





MEDITERRANEAN REVIVAL "A"



CRAFTSMAN "B"



ITALIANATE "C"

PLAN 2614 - FRONT ELEVATIONS



© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

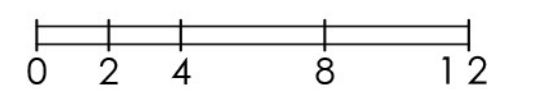


REAR



LEFT

COLOR SCHEME 1
 PLAN 2,614
 MEDITERRANEAN REVIVAL "A" ELEVATION



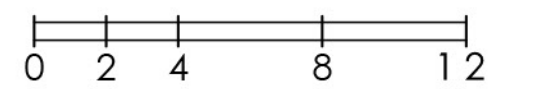


RIGHT



REAR

COLOR SCHEME 1
 PLAN 2,614
 MEDITERRANEAN REVIVAL "A" ENHANCED ELEVATION





© 2018 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

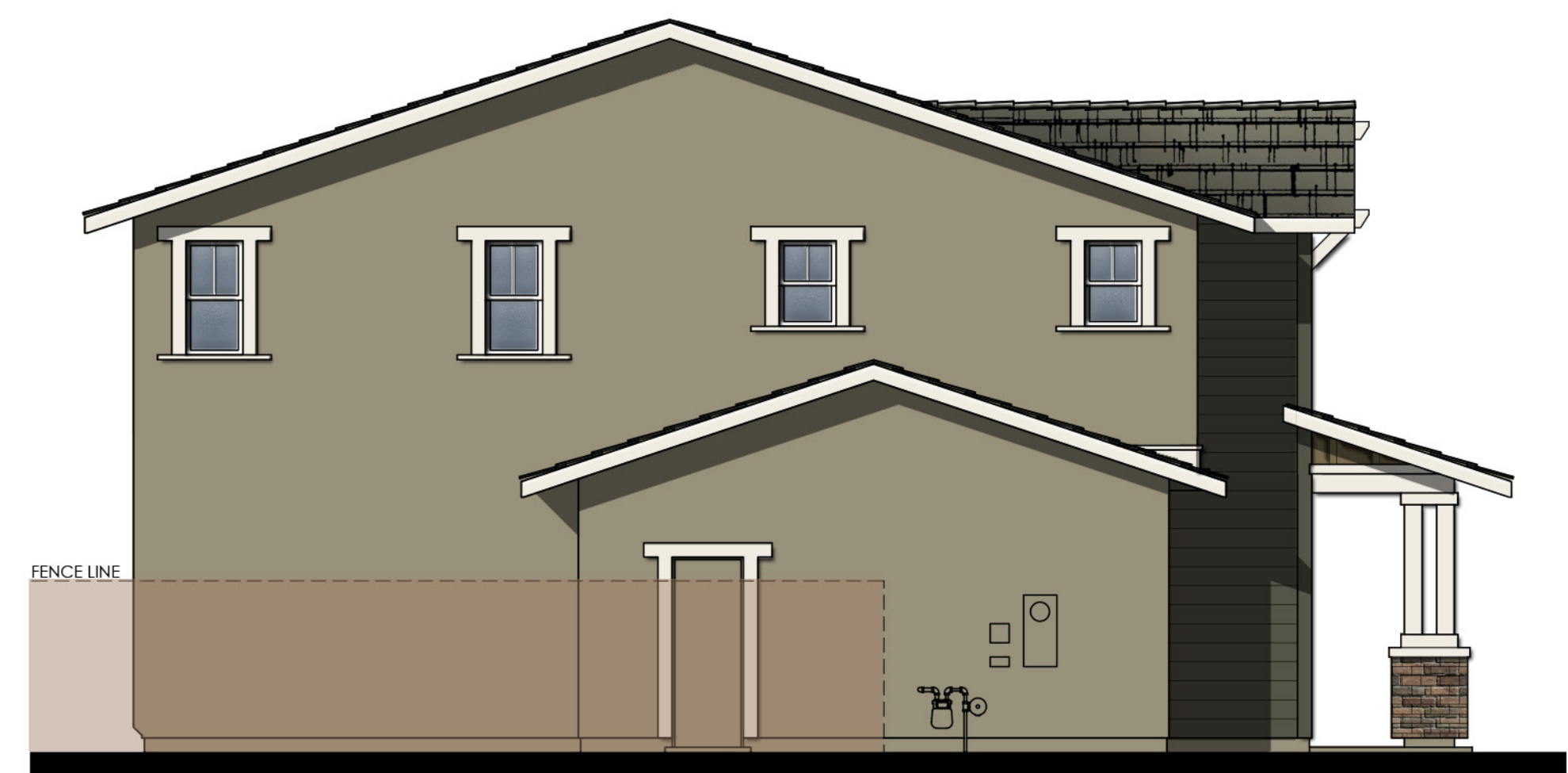
FRONT



RIGHT

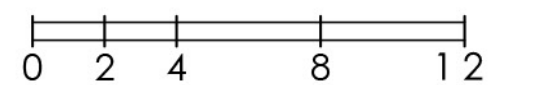


REAR



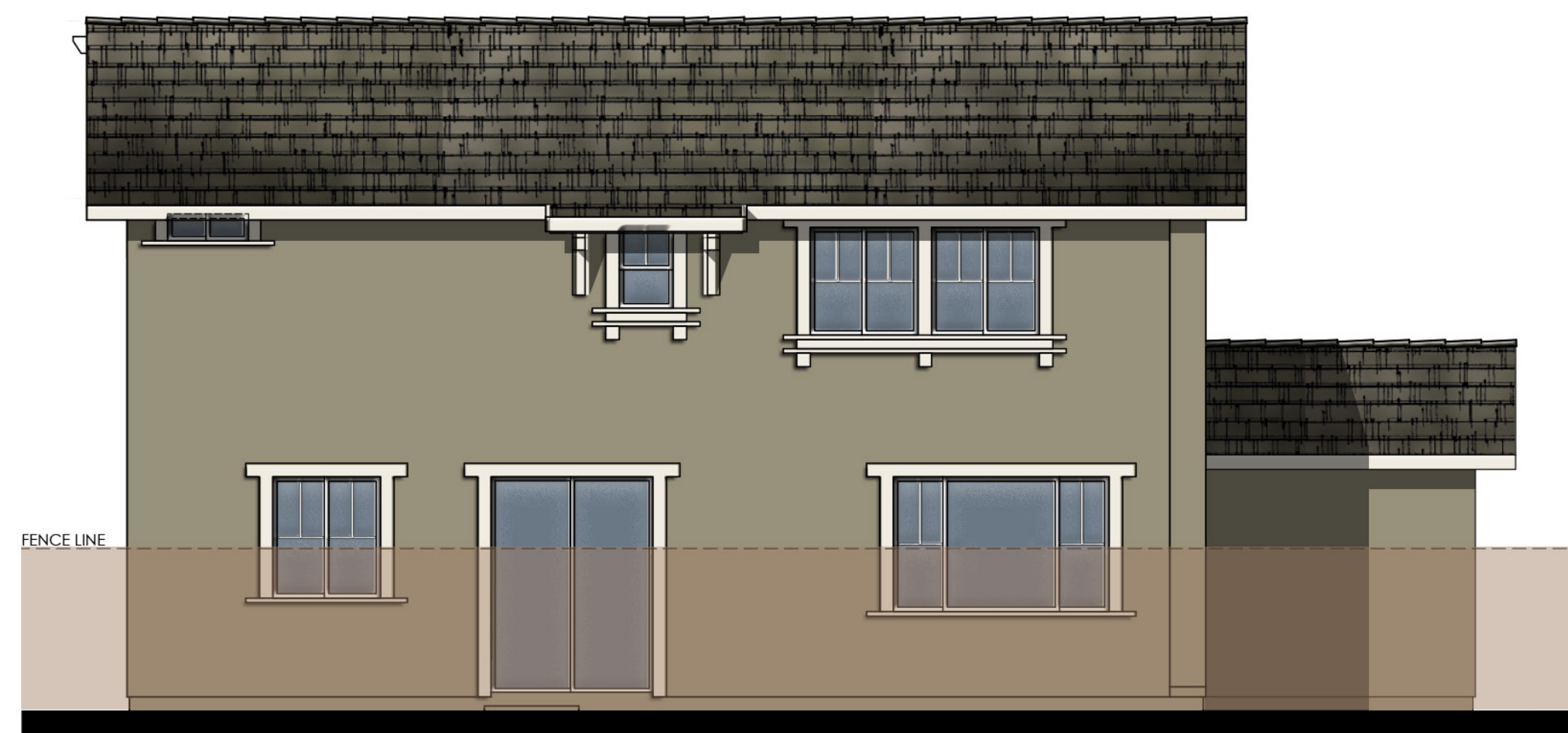
LEFT

COLOR SCHEME 4
 PLAN 2,614
 CRAFTSMAN "B" ELEVATION



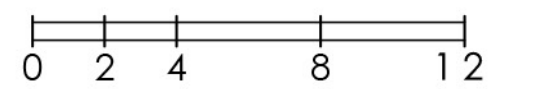


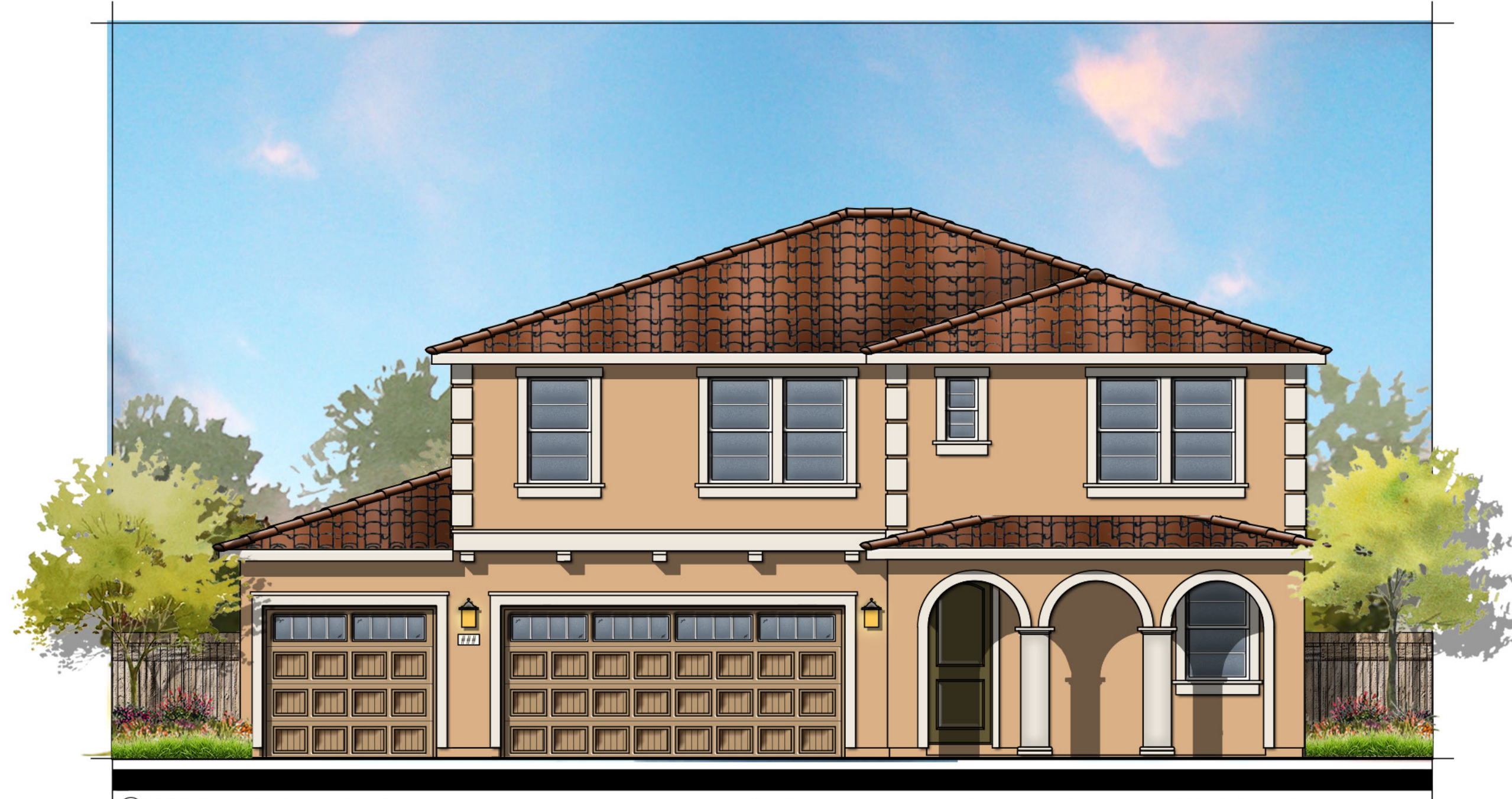
RIGHT



REAR

COLOR SCHEME 4
PLAN 2,614
CRAFTSMAN "B" ENHANCED ELEVATION





© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

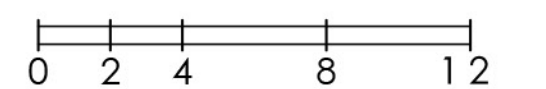


REAR



LEFT

COLOR SCHEME 7
 PLAN 2,614
 ITALIANATE "C" ELEVATION



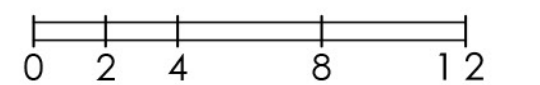


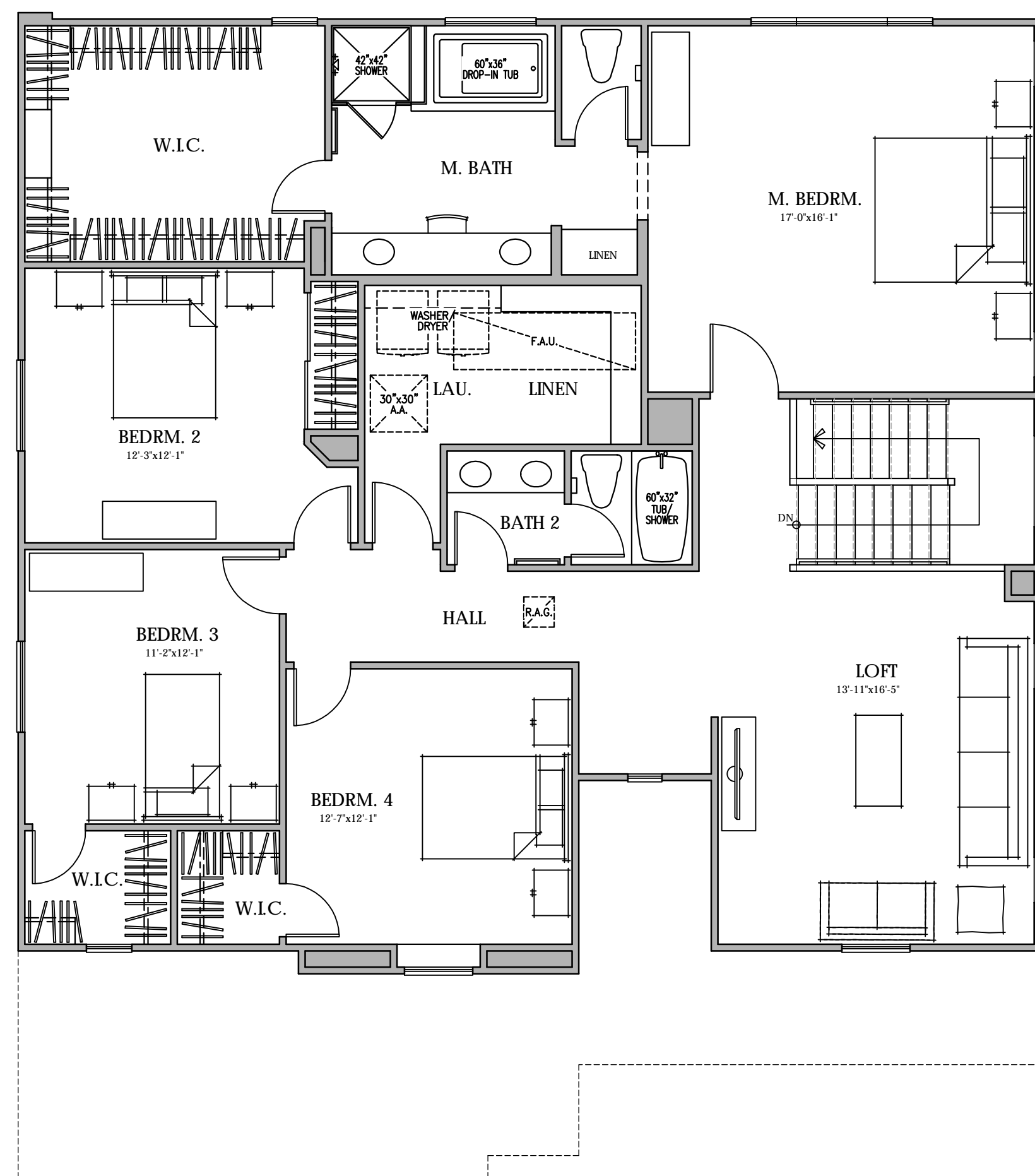
RIGHT



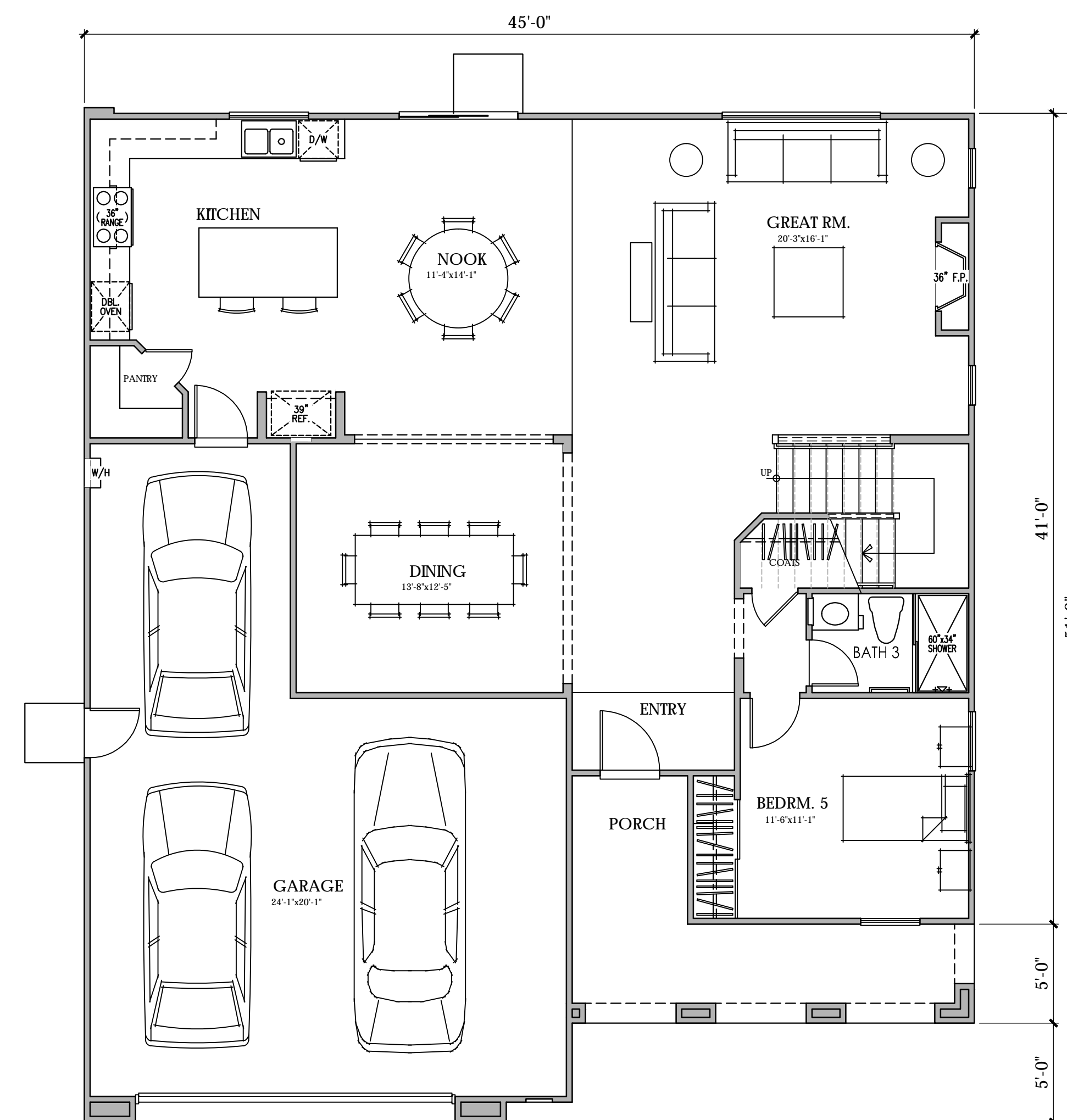
REAR

COLOR SCHEME 7
PLAN 2,614
ITALIANATE "C" ENHANCED ELEVATION





SECOND FLOOR PLAN



FIRST FLOOR PLAN



MEDITERRANEAN REVIVAL



MONTEREY



PRAIRIE



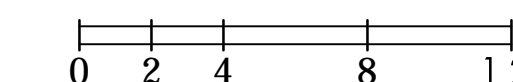
CRAFTSMAN



ITALIANATE

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR -	1386 SQ. FT.
SECOND FLOOR -	1719 SQ. FT.
TOTAL DWELLING -	3105 SQ. FT.
UNCONDITIONED SPACE	
PORCH -	32 SQ. FT.
GARAGE -	636 SQ. FT.



PLAN 3,105
5 BEDROOM, 3 BATH, LOFT



MEDITERRANEAN REVIVAL "A"

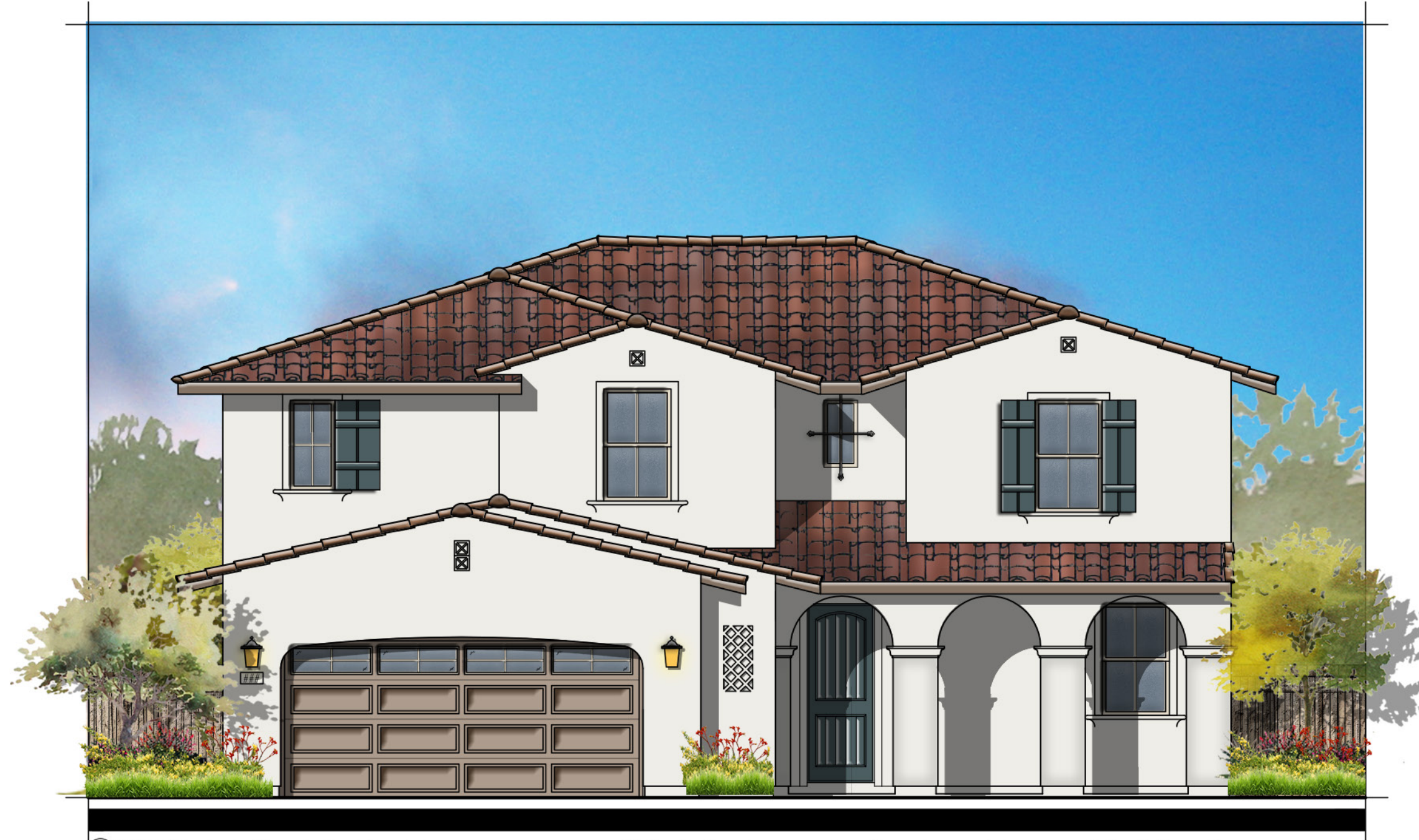


CRAFTSMAN "B"



ITALIANATE "C"

PLAN 3105 - FRONT ELEVATIONS



© 2018 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

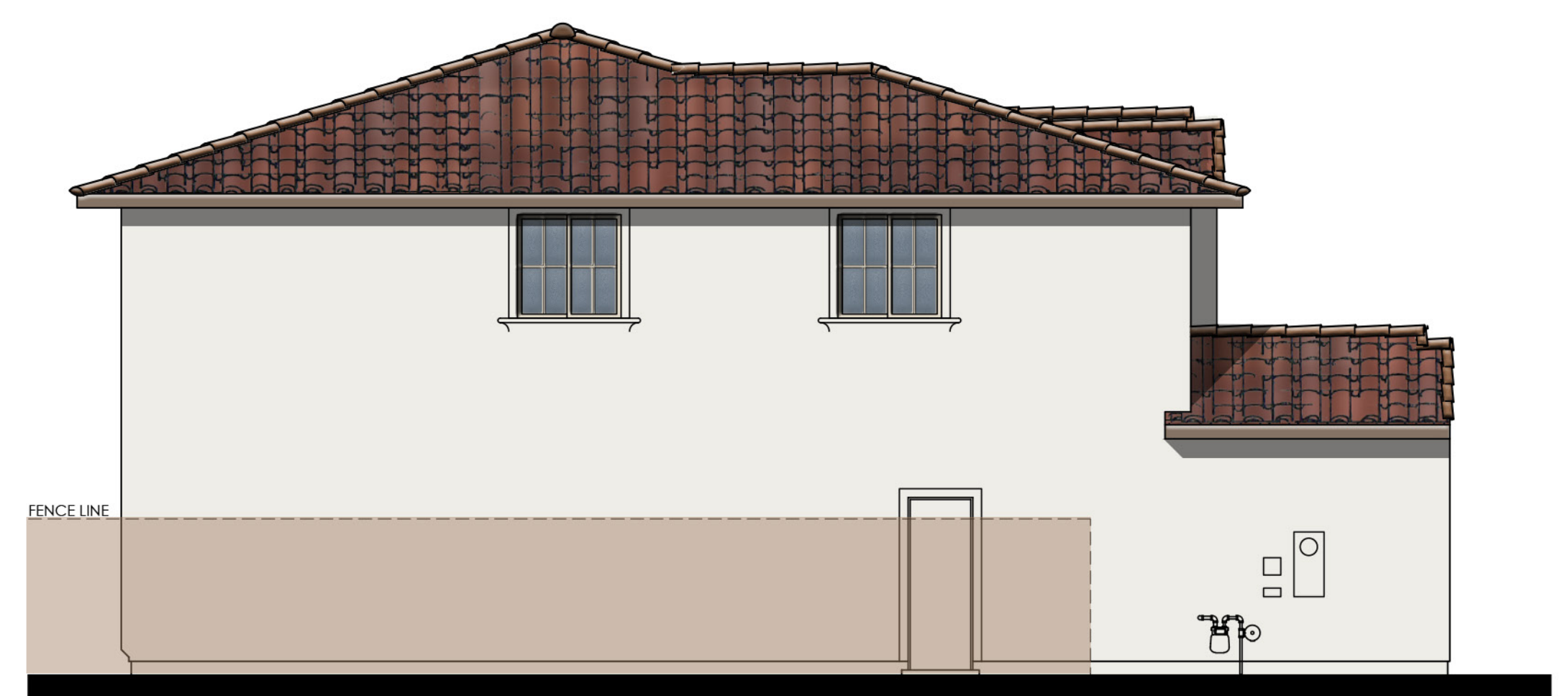
FRONT



RIGHT

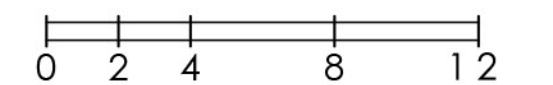


REAR



LEFT

COLOR SCHEME 2
 PLAN 3,105
 MEDITERRANEAN REVIVAL "A" ELEVATION



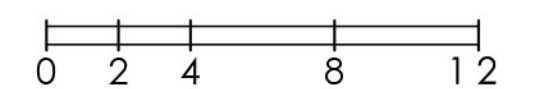


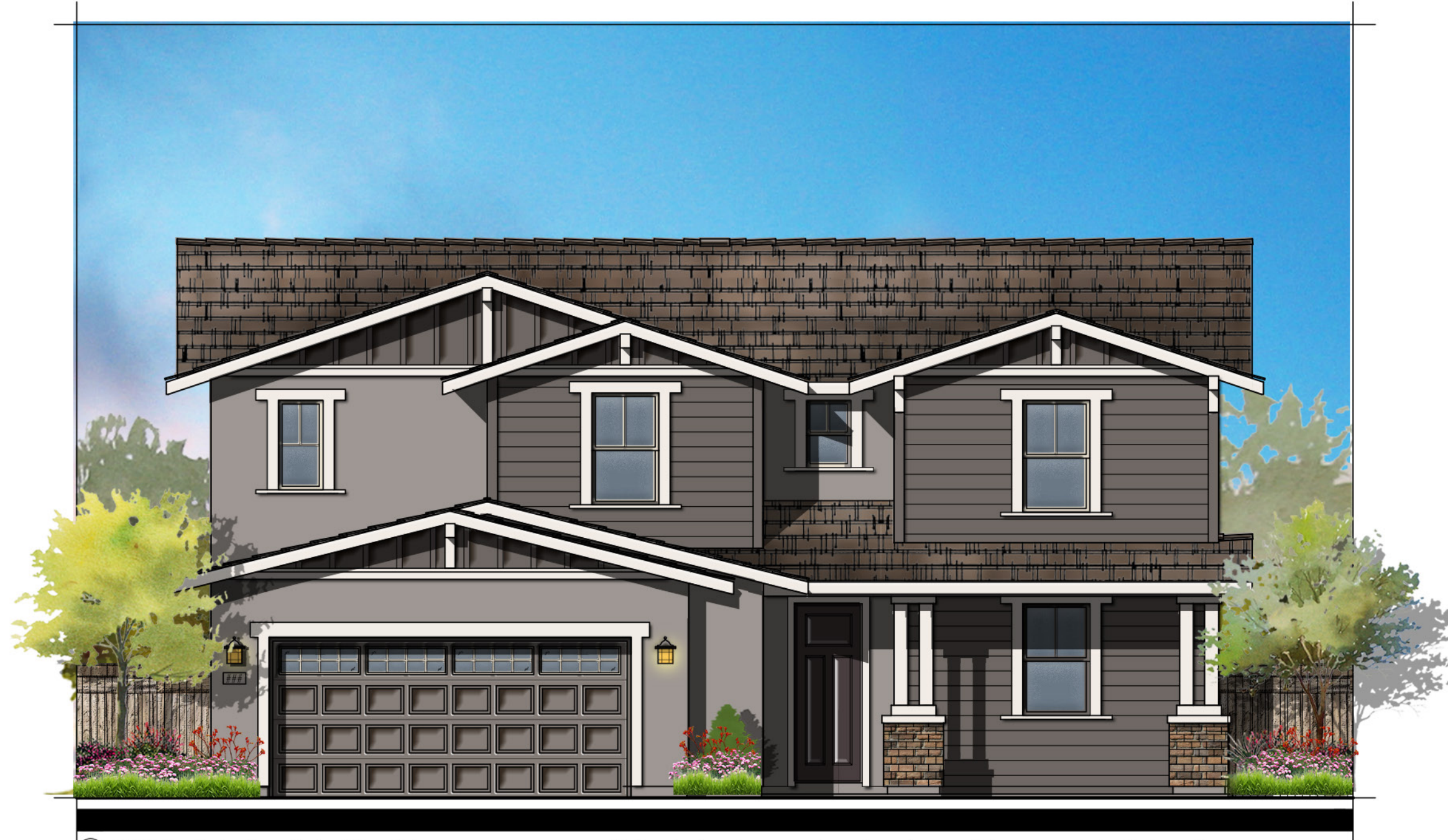
RIGHT



REAR

COLOR SCHEME 2
 PLAN 3,105
 MEDITERRANEAN REVIVAL "A" ENHANCED ELEVATION





© 2018 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

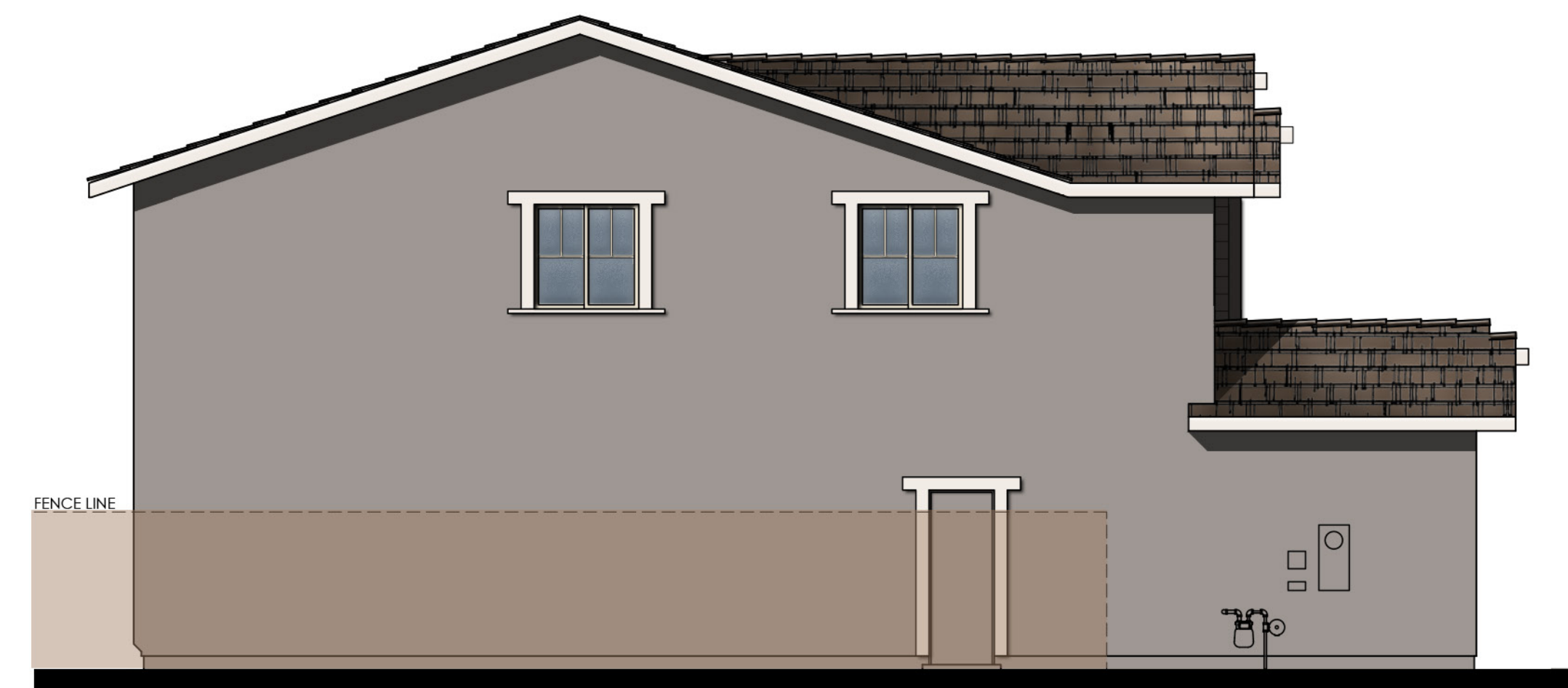
FRONT



RIGHT

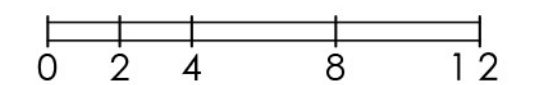


REAR



LEFT

COLOR SCHEME 5
 PLAN 3,105
 CRAFTSMAN "B" ELEVATION



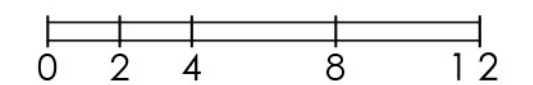


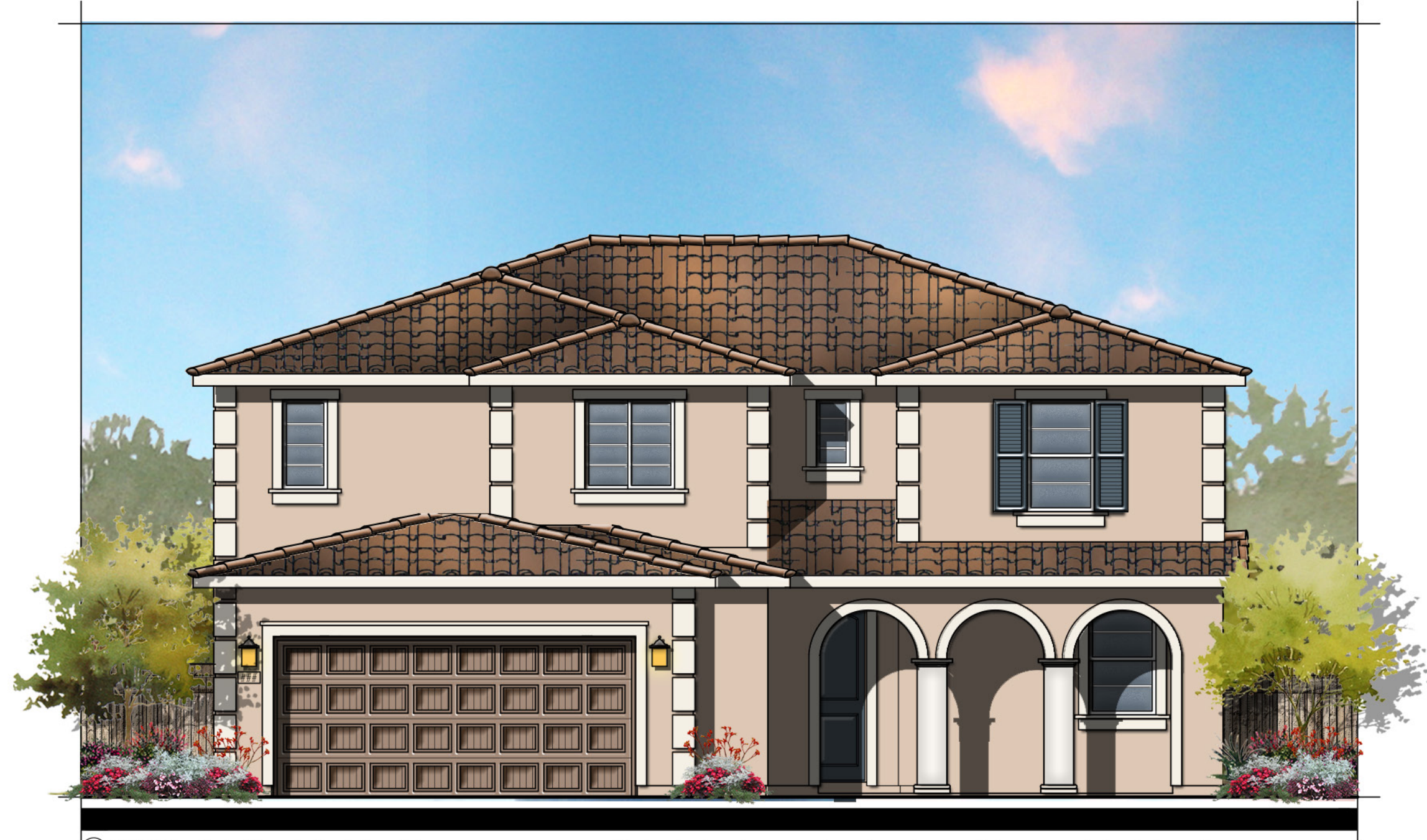
RIGHT



REAR

COLOR SCHEME 5
PLAN 3,105
CRAFTSMAN "B" ENHANCED ELEVATION



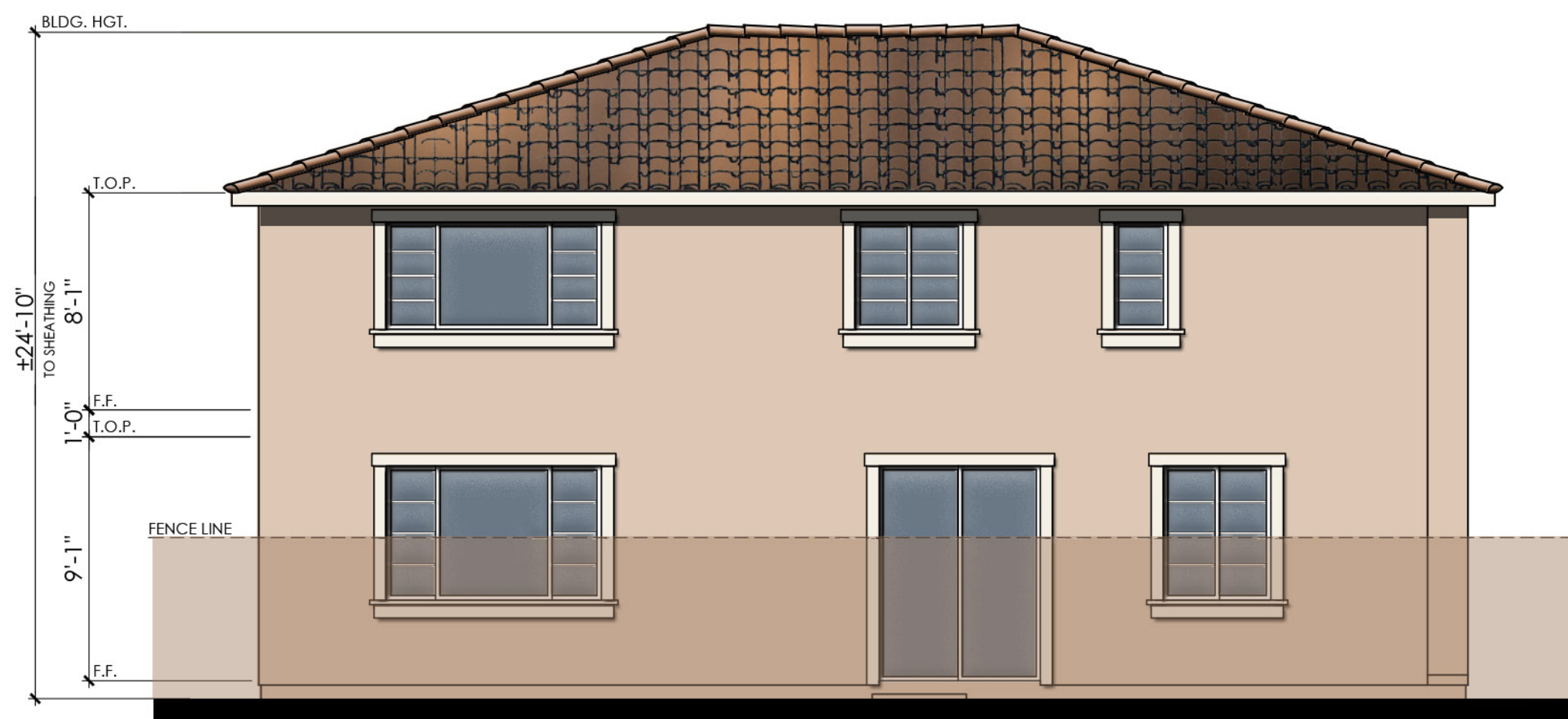


© 2018 Kevin L. Crook Architect, Inc. Refer to landscape drawings for wall, tree, and shrub locations

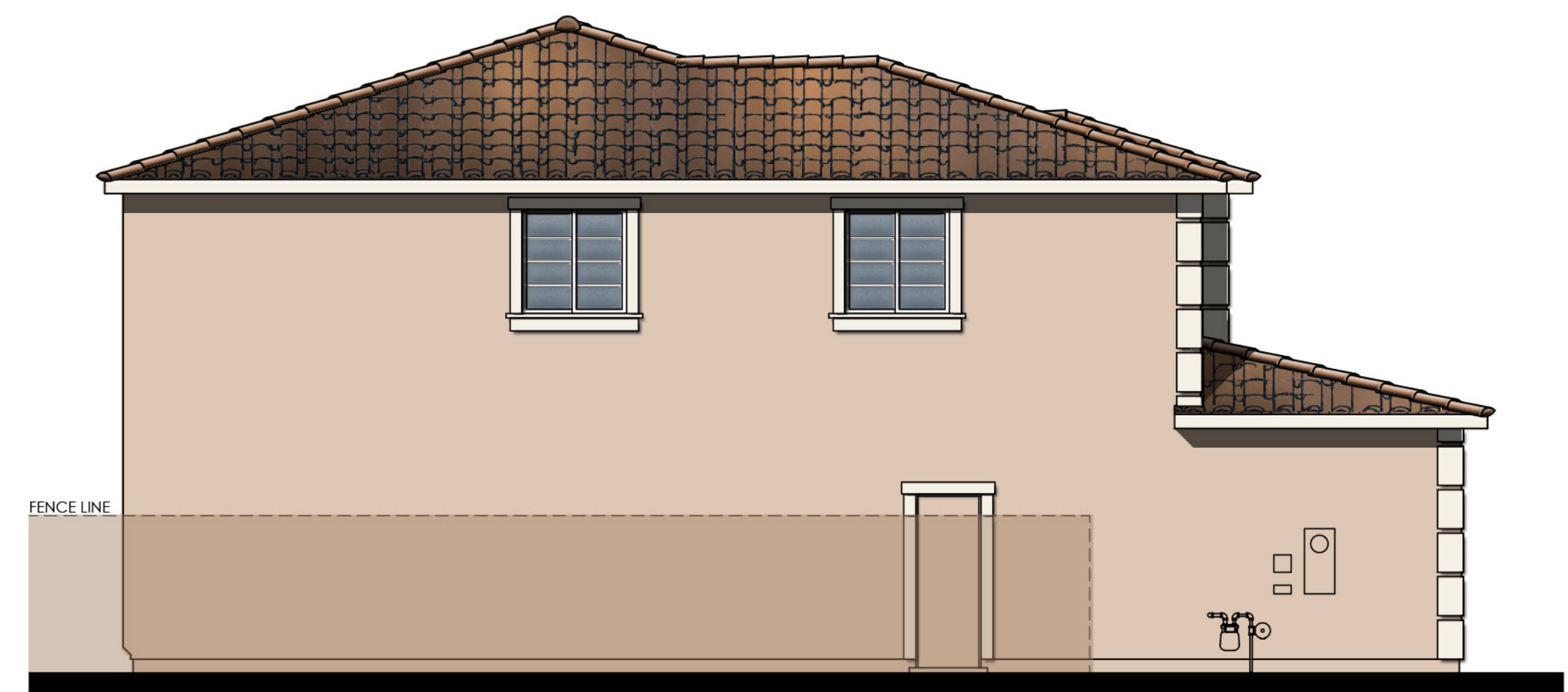
FRONT



RIGHT

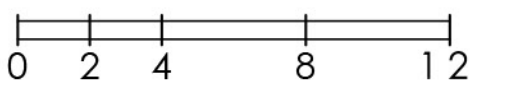


REAR



LEFT

COLOR SCHEME 8
 PLAN 3,105
 ITALIANATE "C" ELEVATION



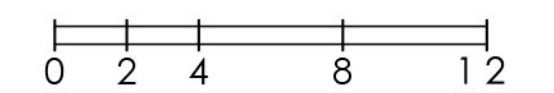


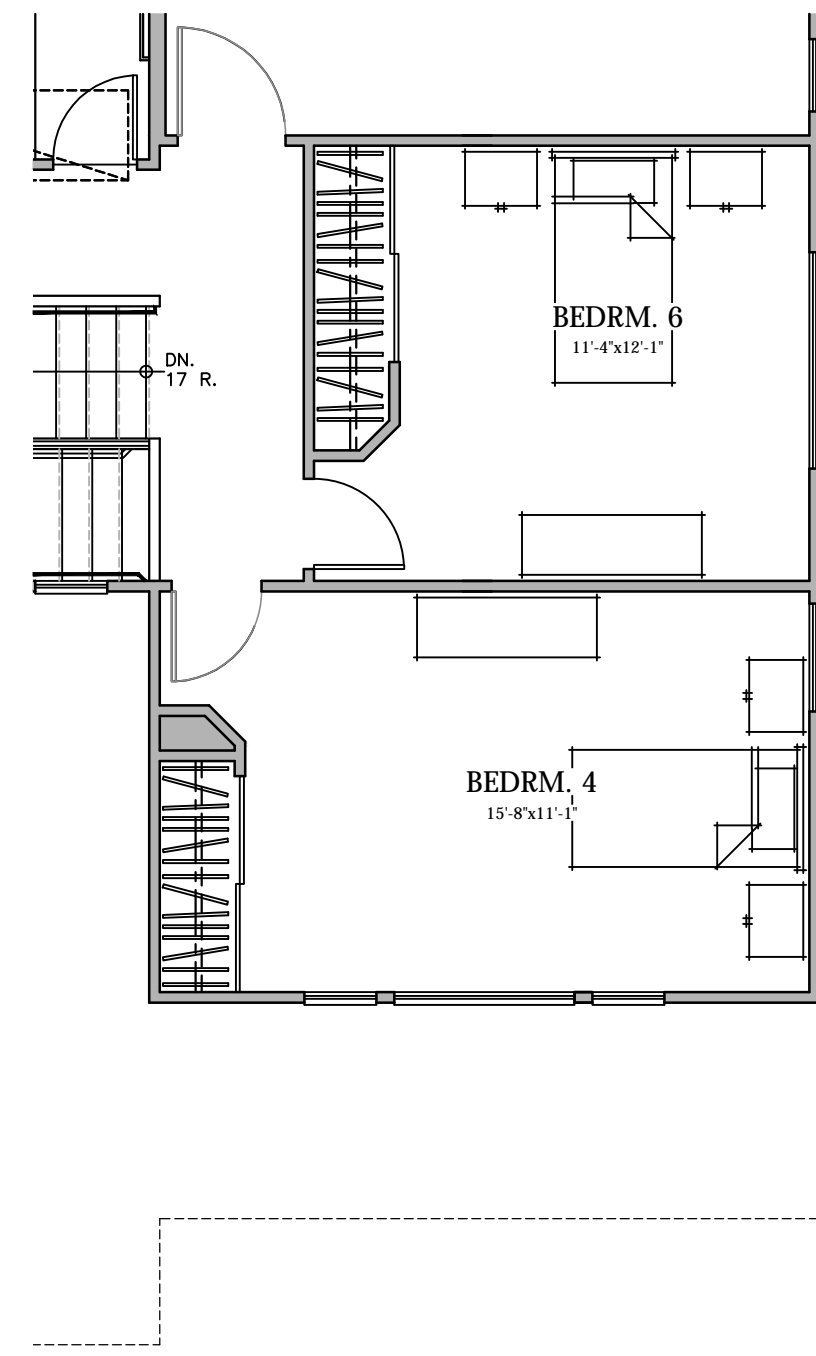
RIGHT



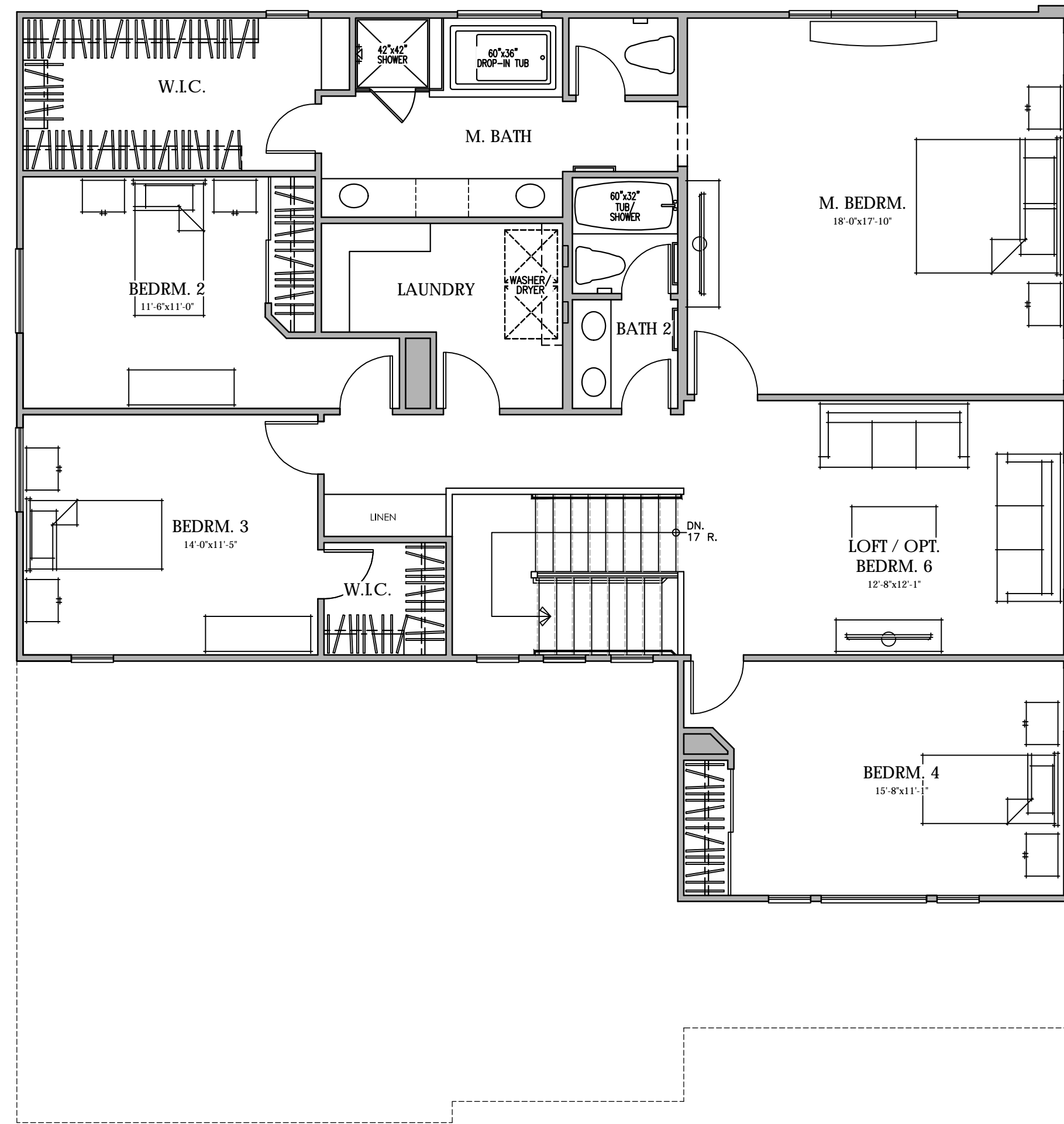
REAR

COLOR SCHEME 8
PLAN 3,105
ITALIANATE "C" ENHANCED ELEVATION





OPTIONAL BEDROOM 6



SECOND FLOOR PLAN



FIRST FLOOR PLAN



MEDITERRANEAN REVIVAL



MONTEREY



PRAIRIE



CRAFTSMAN

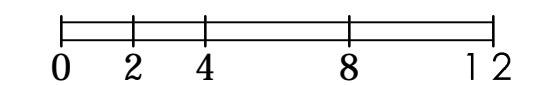


ITALIANATE

PLAN 3,423
5 BEDROOM, 3 BATH, LOFT/OPT. BEDRM. 6

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR -	1754 SQ. FT.
SECOND FLOOR -	1669 SQ. FT.
TOTAL DWELLING -	3423 SQ. FT.
UNCONDITIONED SPACE	
PORCH -	110 SQ. FT.
GARAGE -	659 SQ. FT.





MEDITERRANEAN REVIVAL "A"



CRAFTSMAN "B"



ITALIANATE "C"

PLAN 3423 - FRONT ELEVATIONS



© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

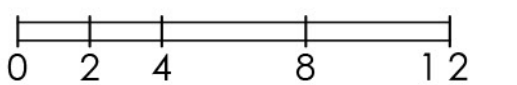


REAR



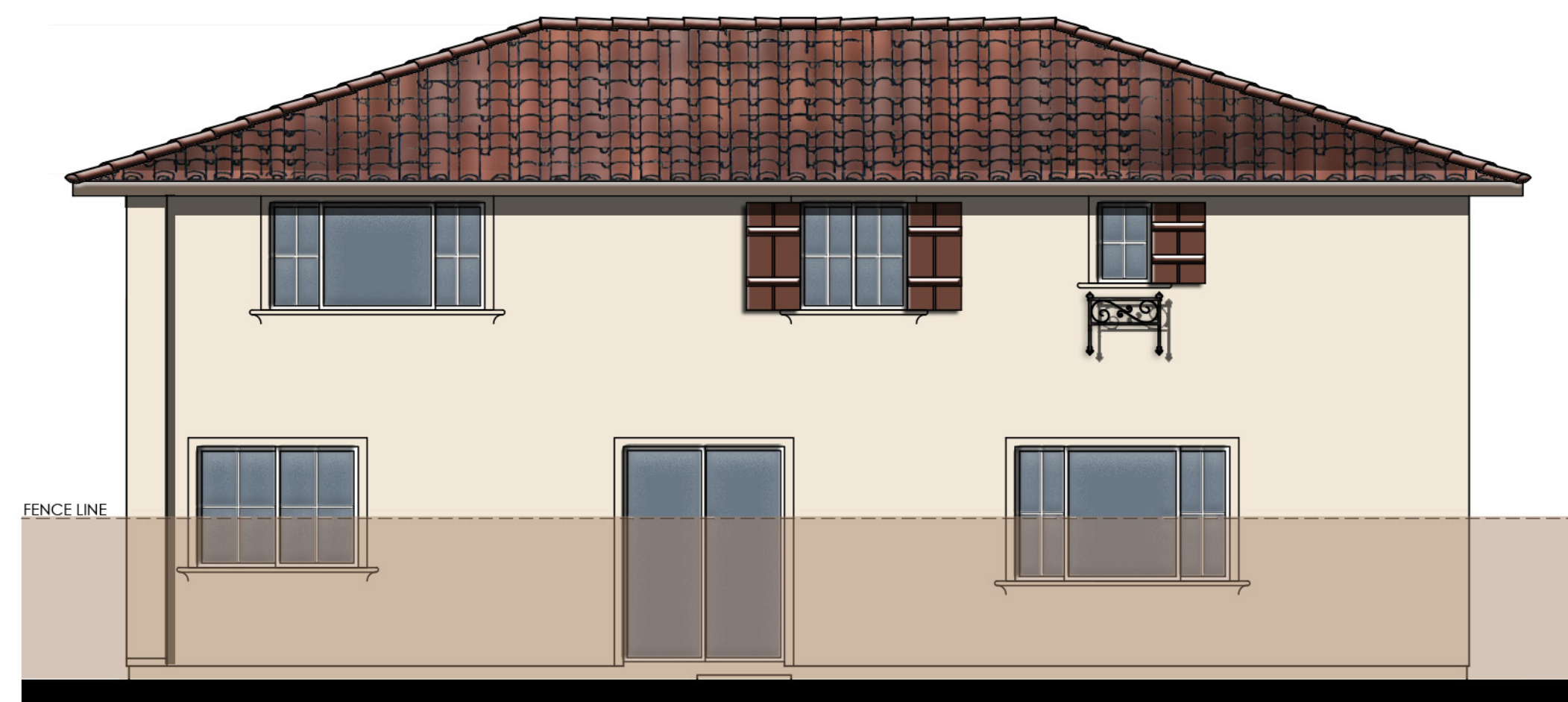
LEFT

COLOR SCHEME 3
 PLAN 3,423
 MEDITERRANEAN REVIVAL "A" ELEVATION



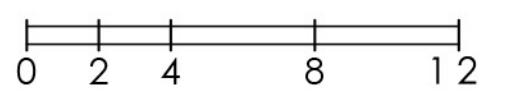


RIGHT



REAR

COLOR SCHEME 3
 PLAN 3,423
 MEDITERRANEAN REVIVAL "A" ENHANCED ELEVATION





© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

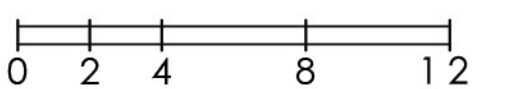


REAR



LEFT

COLOR SCHEME 6
 PLAN 3,423
 CRAFTSMAN "B" ELEVATION



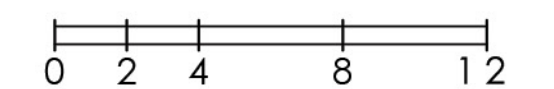


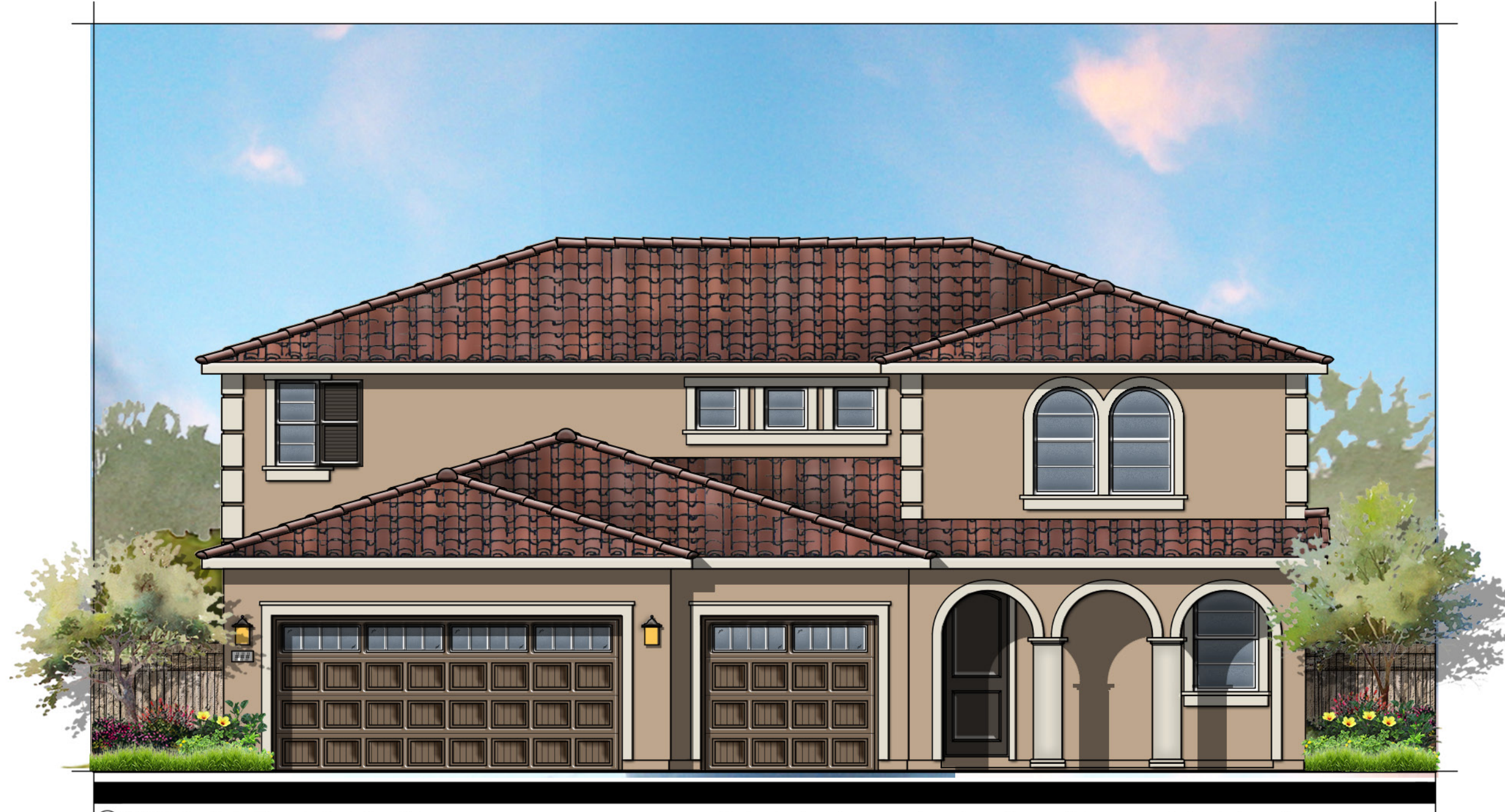
RIGHT



REAR

COLOR SCHEME 6
 PLAN 3,423
 CRAFTSMAN "B" ENHANCED ELEVATION





© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

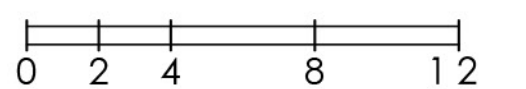


REAR



LEFT

COLOR SCHEME 9
 PLAN 3,423
 ITALIANATE "C" ELEVATION



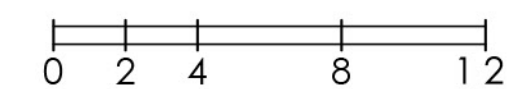


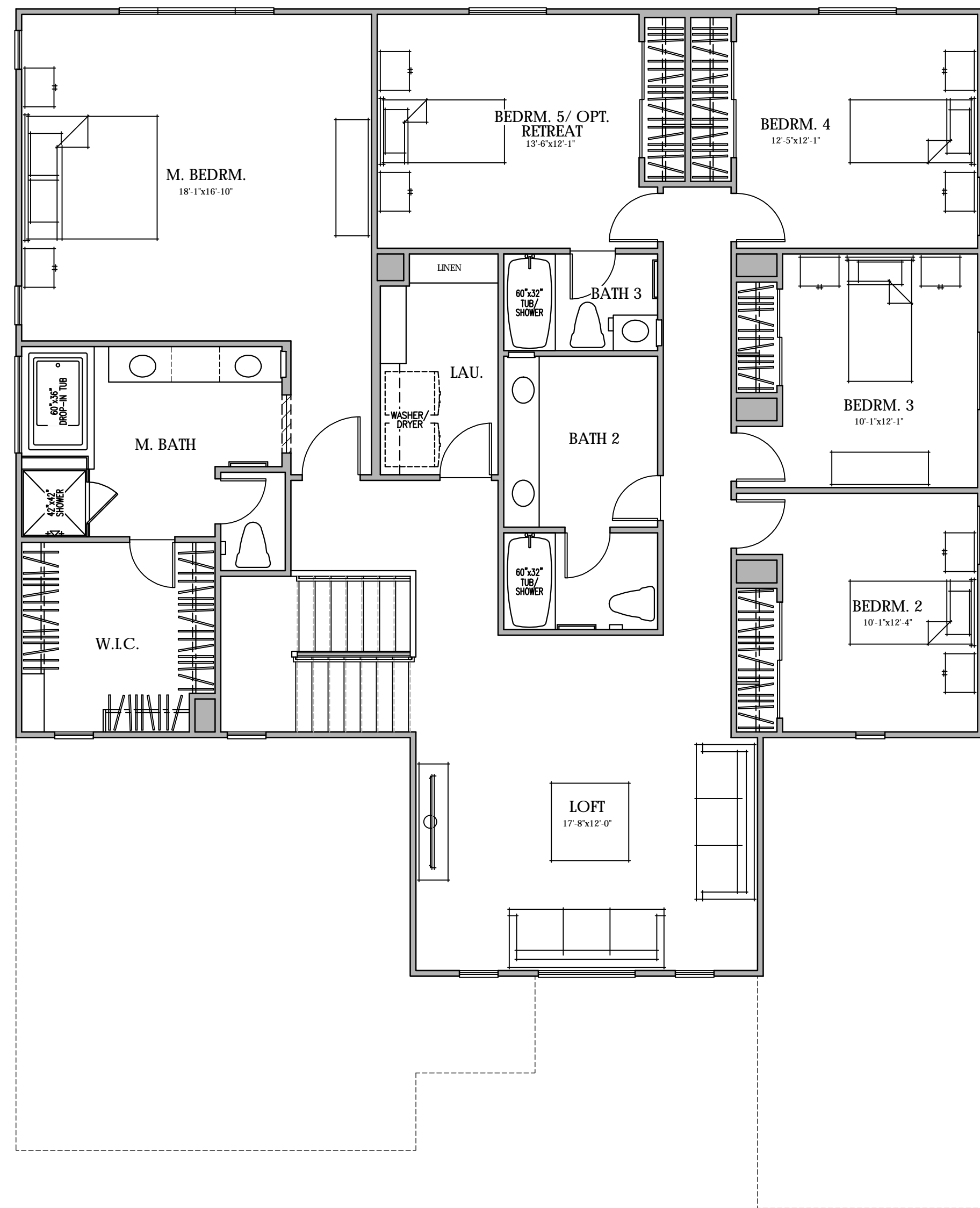
RIGHT



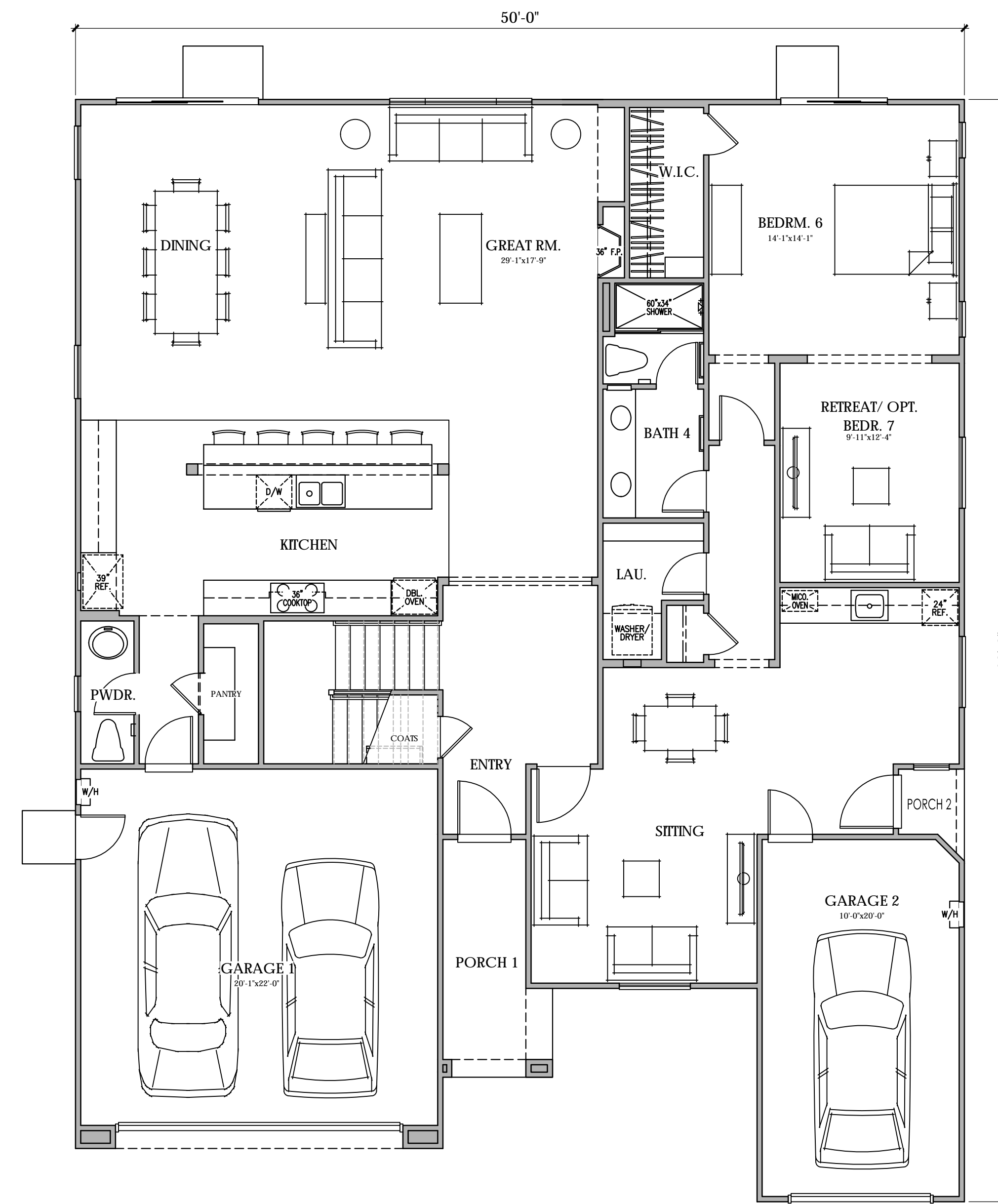
REAR

COLOR SCHEME 9
PLAN 3,423
ITALIANATE "C" ENHANCED ELEVATION





SECOND FLOOR PLAN



FIRST FLOOR PLAN



MEDITERRANEAN REVIVAL



MONTEREY



PRAIRIE



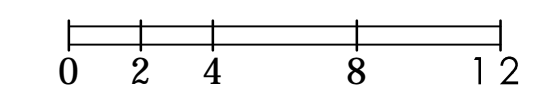
CRAFTSMAN



ITALIANATE

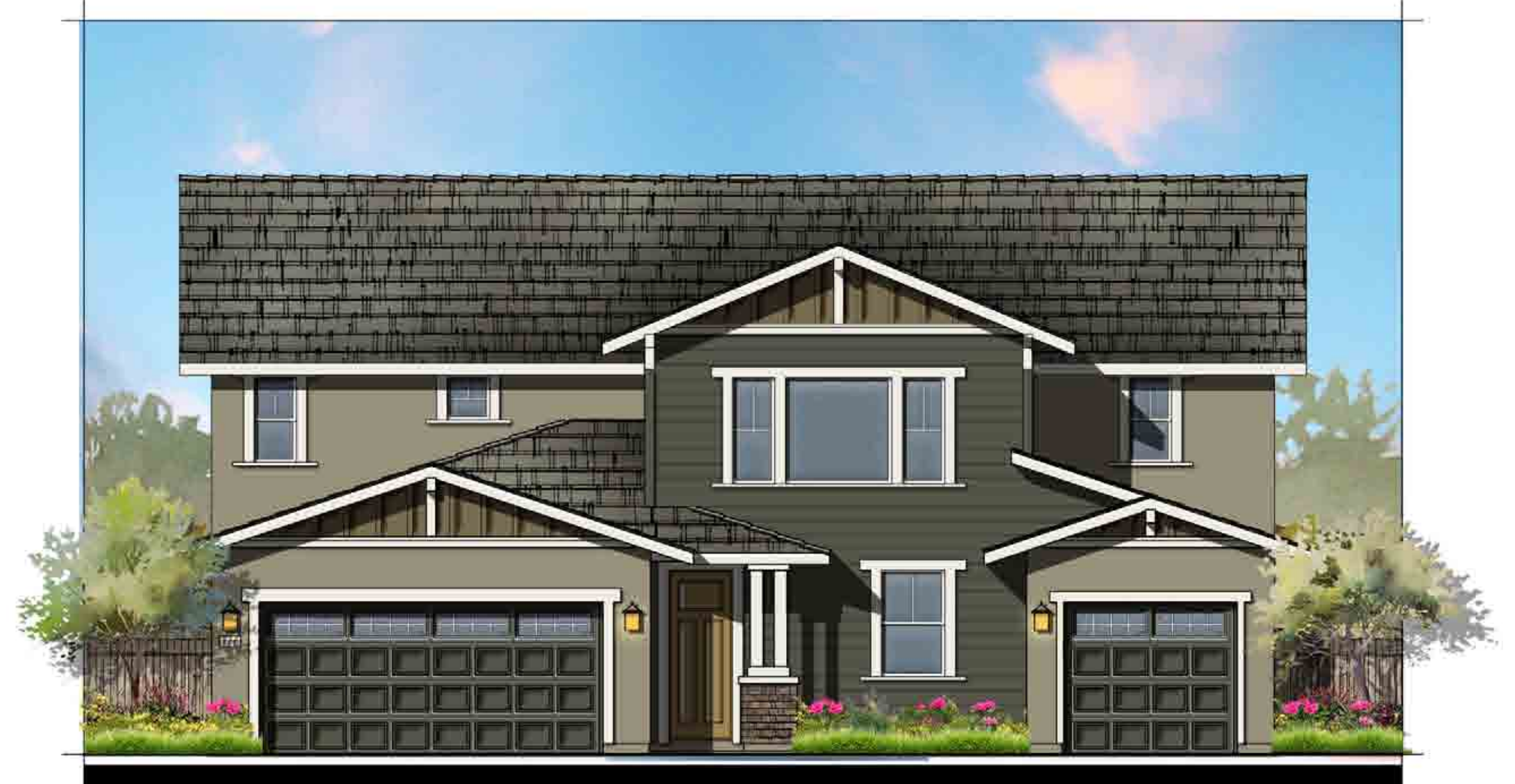
PLAN 4,122
6 BEDROOM, 4.5 BATH, LOFT

AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	2,091 SQ. FT.
SECOND FLOOR AREA	2,031 SQ. FT.
TOTAL DWELLING	4,122 SQ. FT.
UNCONDITIONED SPACE	
GARAGE 1	414 SQ. FT.
GARAGE 2	234 SQ. FT.
PORCH 1	128 SQ. FT.
PORCH 2	145 SQ. FT.





MEDITERRANEAN REVIVAL "A"



CRAFTSMAN "B"



ITALIANATE "C"

PLAN 4122 - FRONT ELEVATIONS



© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

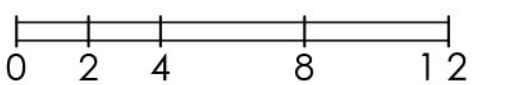


REAR



LEFT

COLOR SCHEME 1
 PLAN 4,122
 MEDITERRANEAN REVIVAL "A" ELEVATION



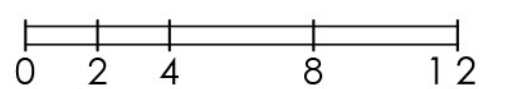


RIGHT



REAR

COLOR SCHEME 1
 PLAN 4,122
 MEDITERRANEAN REVIVAL "A" ENHANCED ELEVATION





© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

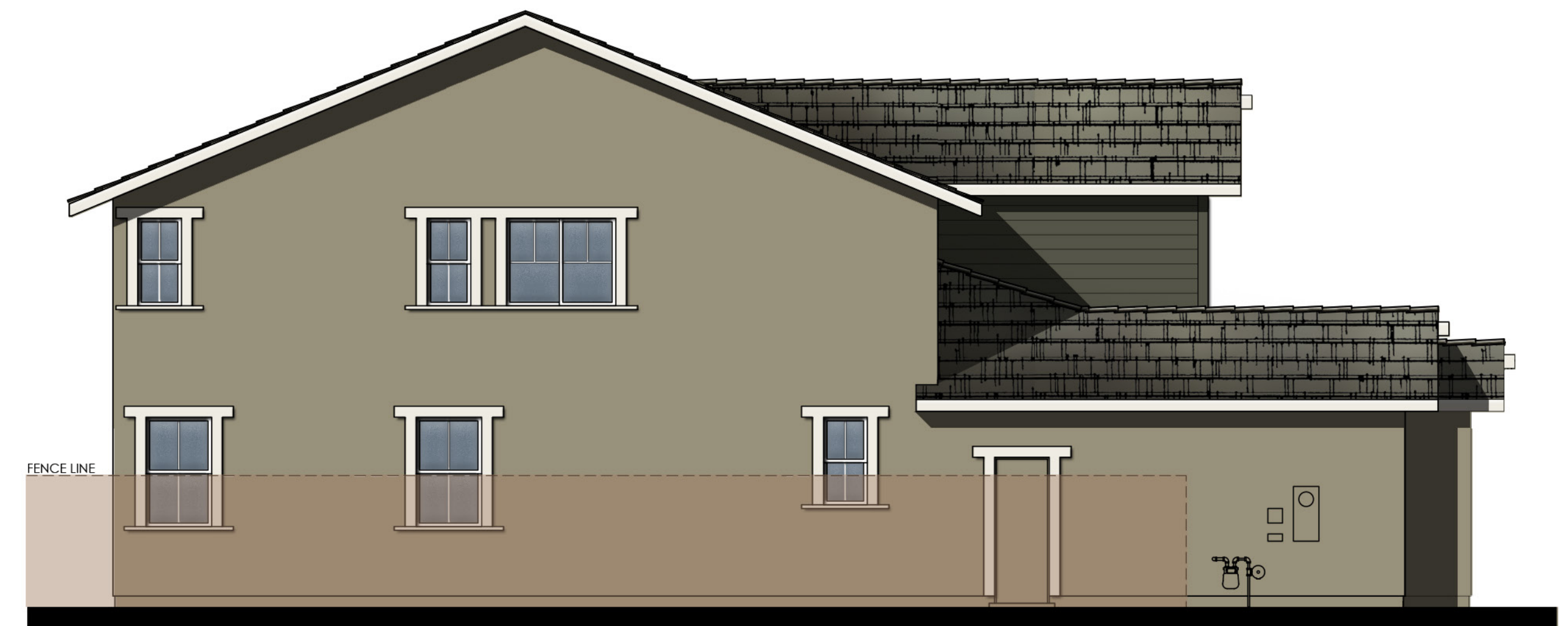
FRONT



RIGHT

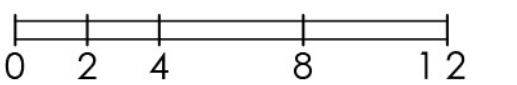


REAR



LEFT

COLOR SCHEME 4
 PLAN 4,122
 CRAFTSMAN "B" ELEVATION



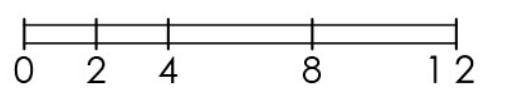


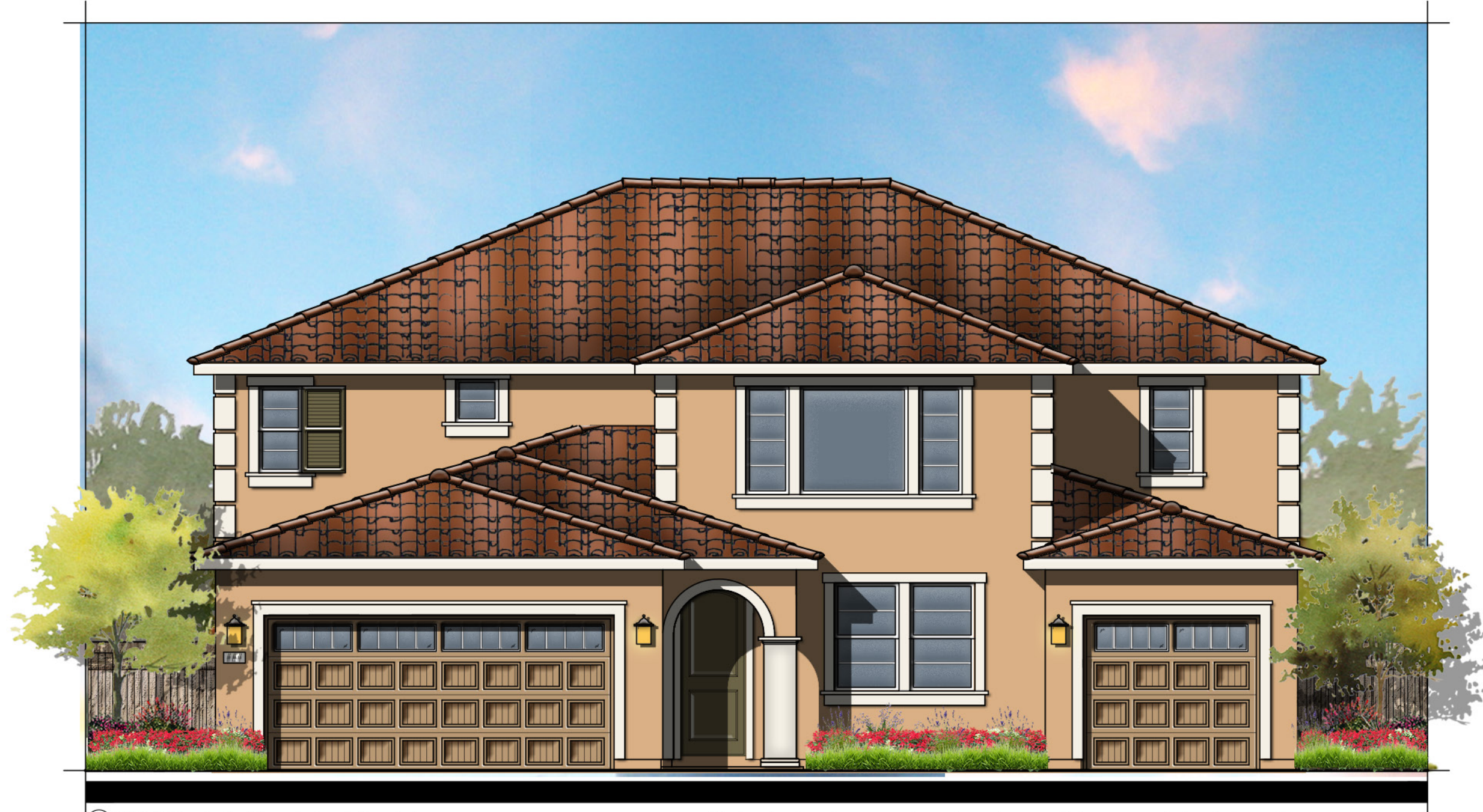
RIGHT



REAR

COLOR SCHEME 4
 PLAN 4,122
 CRAFTSMAN "B" ENHANCED ELEVATION





© 2018 Kevin L. Crook Architect, Inc.

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

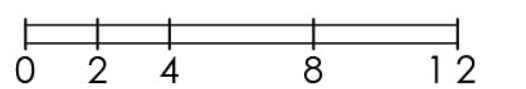


REAR



LEFT

COLOR SCHEME 7
 PLAN 4,122
 ITALIANATE "C" ELEVATION



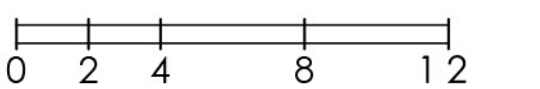


RIGHT



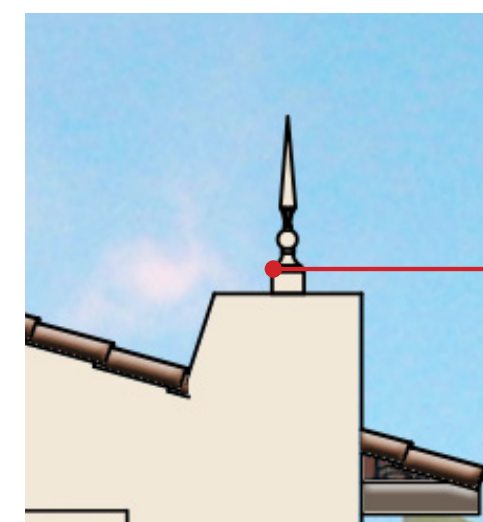
REAR

COLOR SCHEME 7
 PLAN 4,122
 ITALIANATE "C" ENHANCED ELEVATION





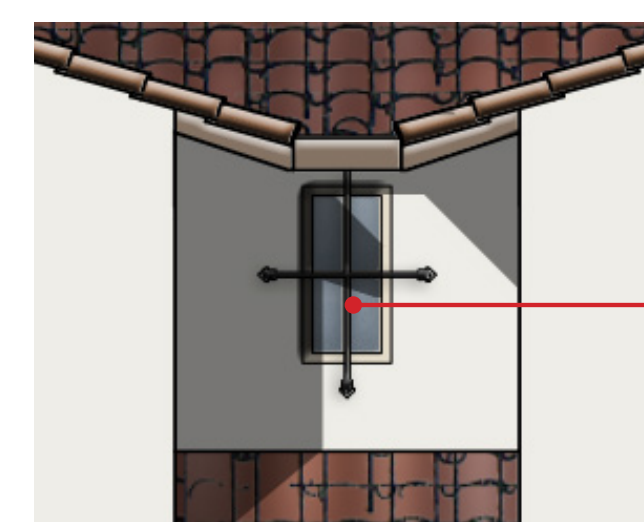
CANTILEVER WITH CORBELS



FINIAL



ENTRY DOOR



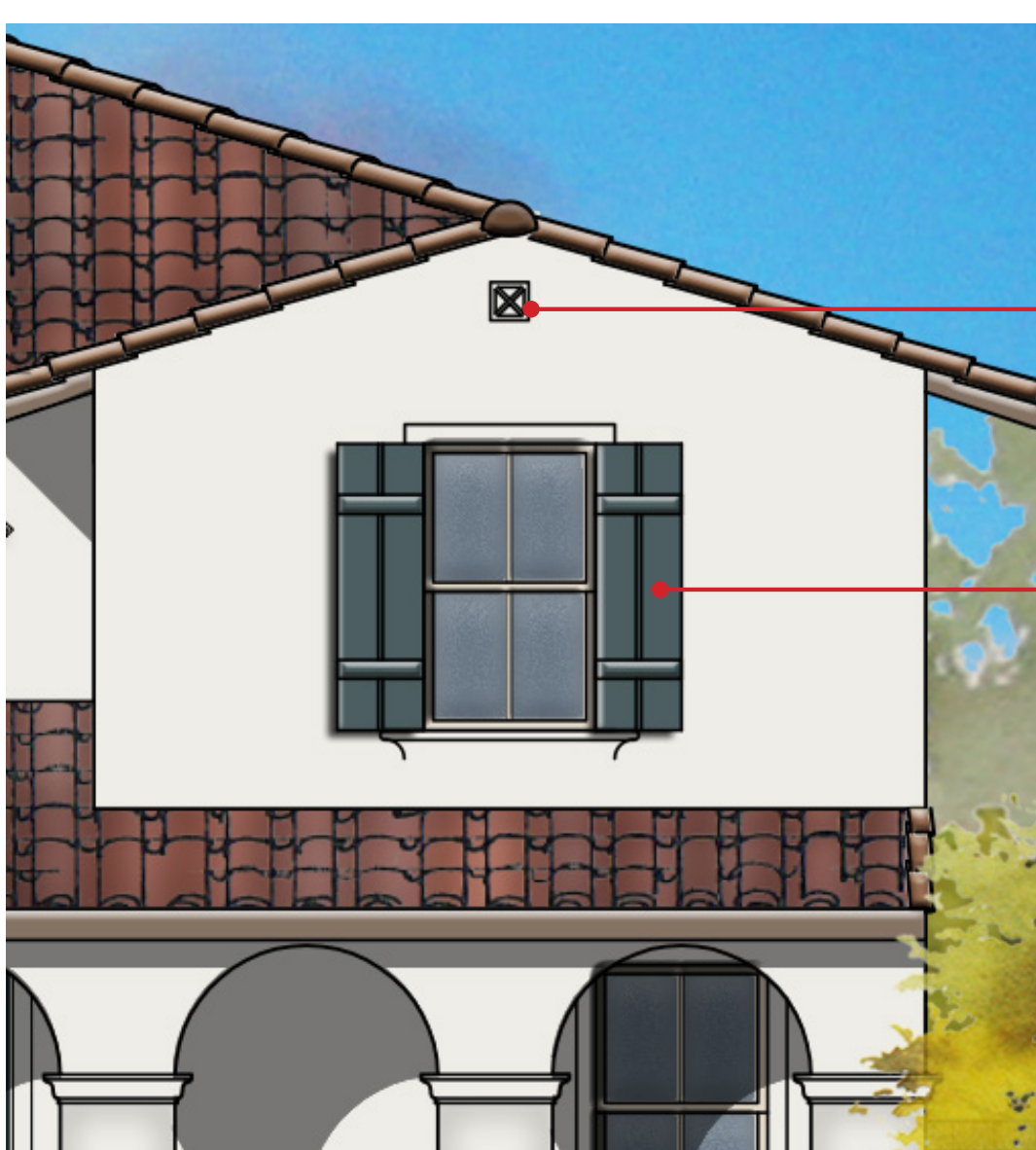
WROUGHT IRON ACCENT



PORCH WITH ARCHED OPENINGS



DECORATIVE VENT DETAIL



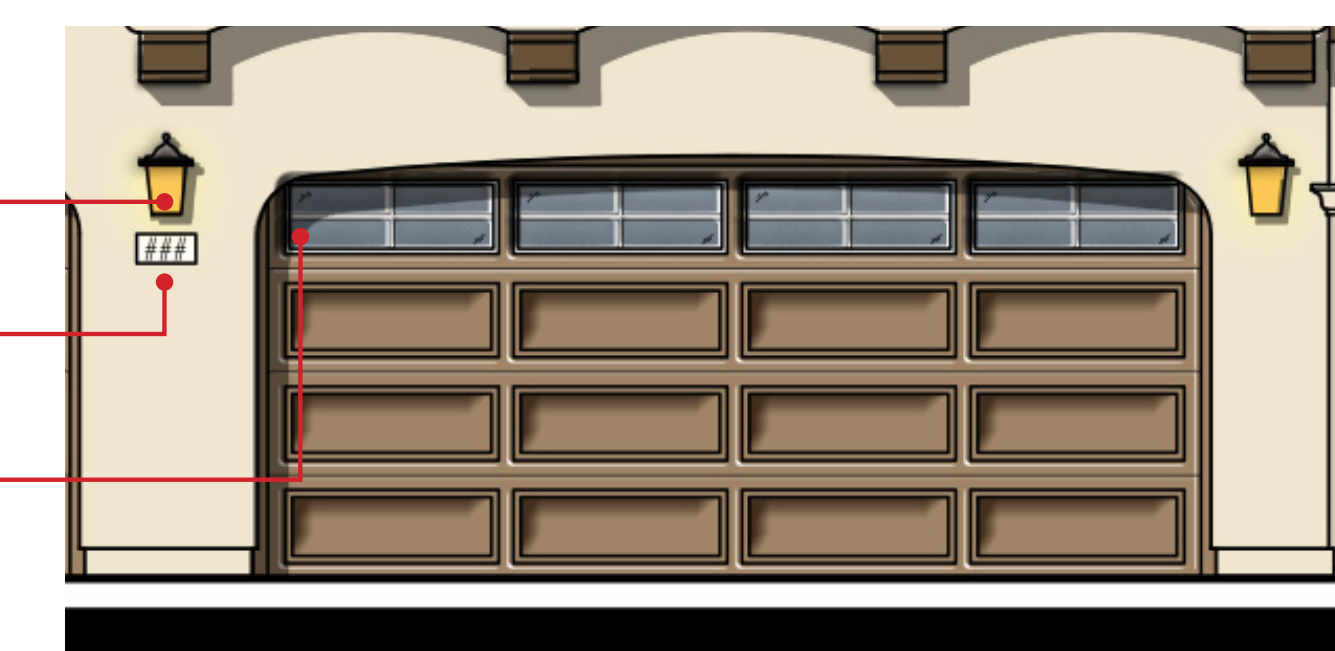
RECESSED DECORATIVE TILE ACCENT

STYLE SPECIFIC SHUTTERS

STYLE SPECIFIC COACH LIGHT

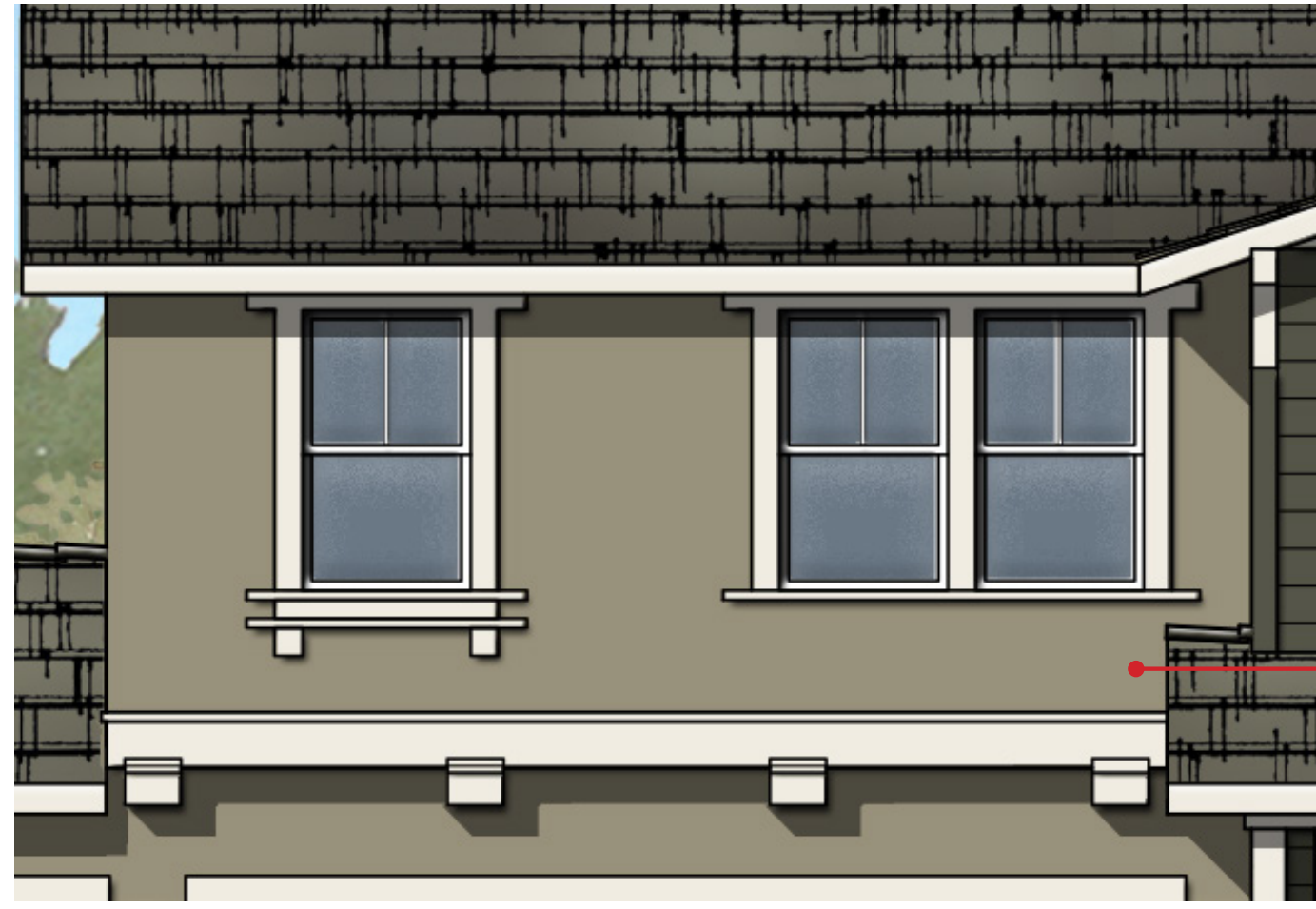
ADDRESS PANEL

WINDOWS

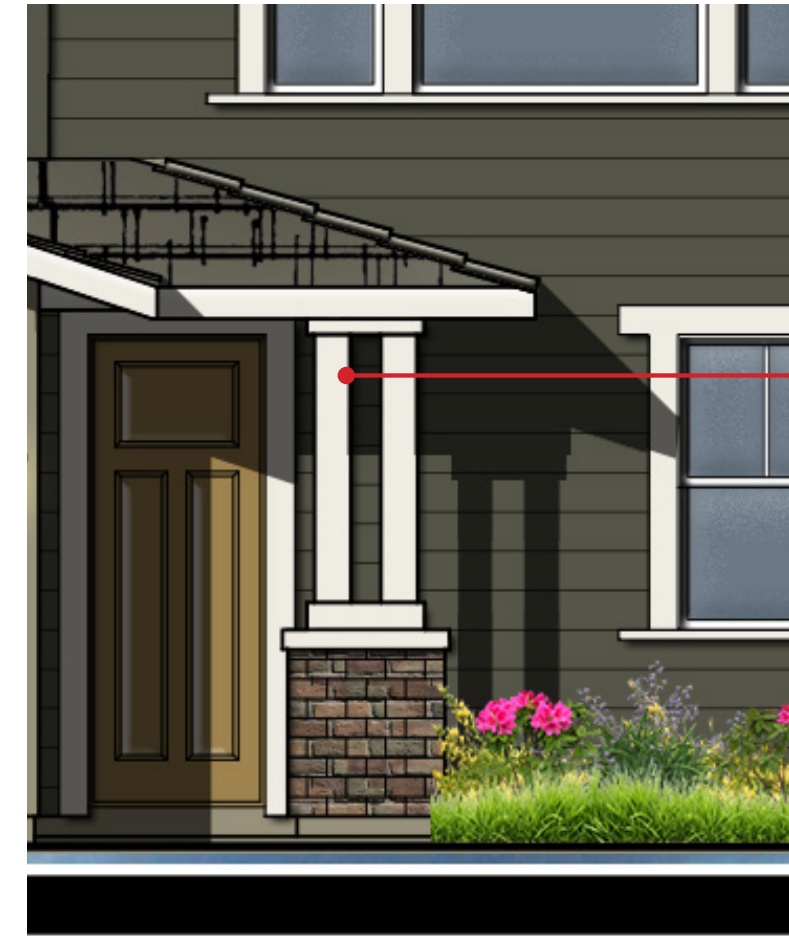


GARAGE DOOR

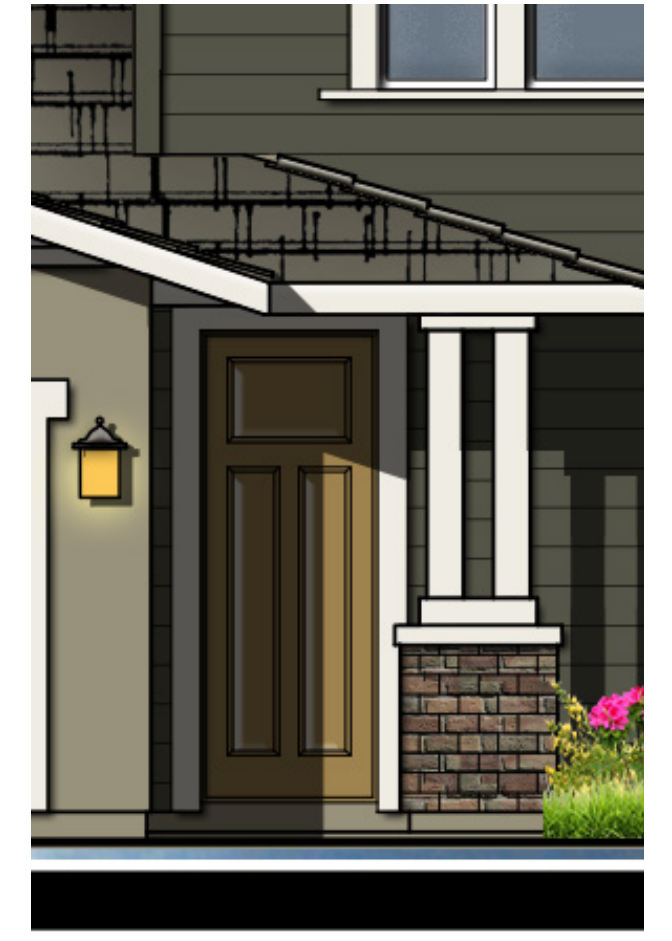
ARCHITECTURAL DETAILS MEDITERRANEAN REVIVAL



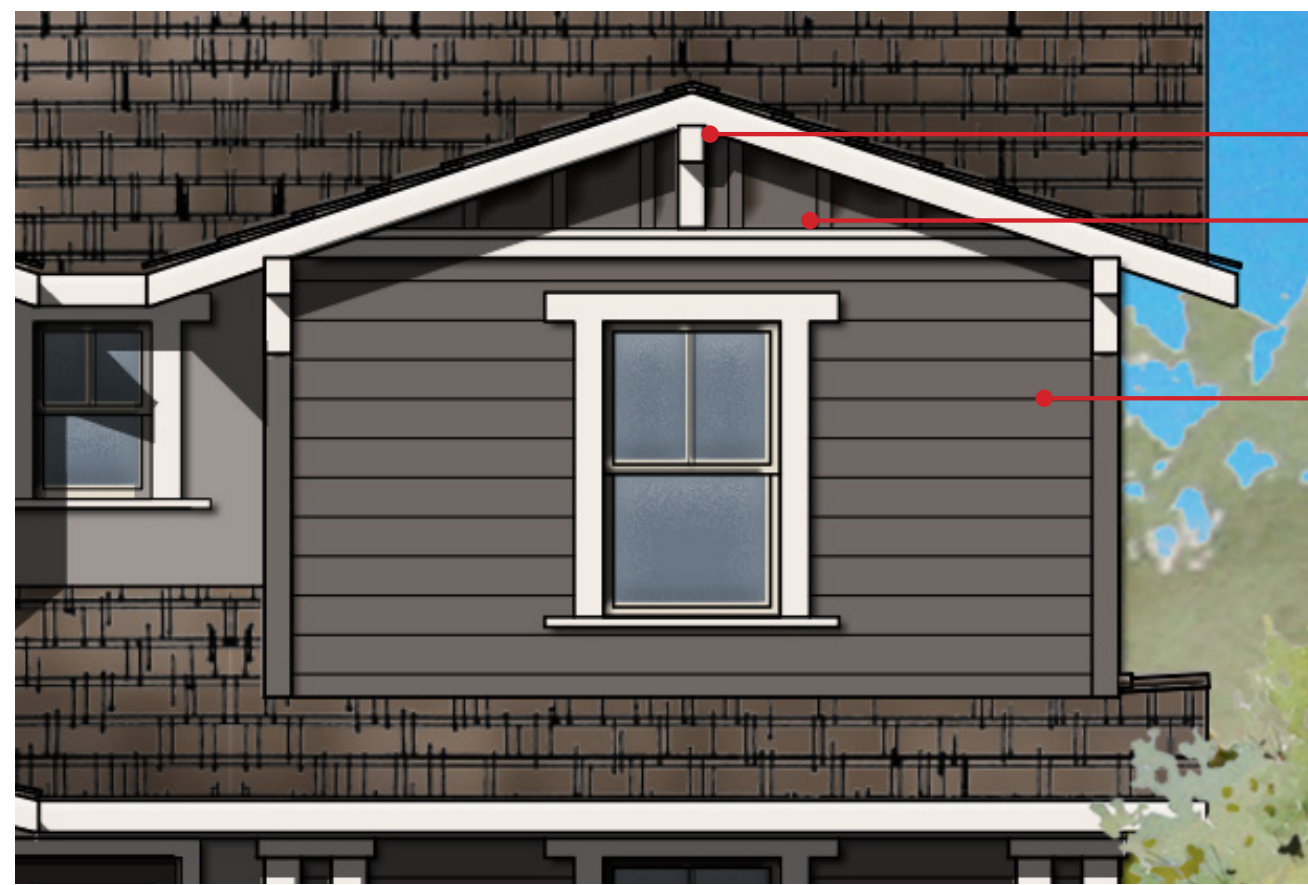
CANTILEVER WITH CORBELS



WOOD POST WITH BRICK BASE

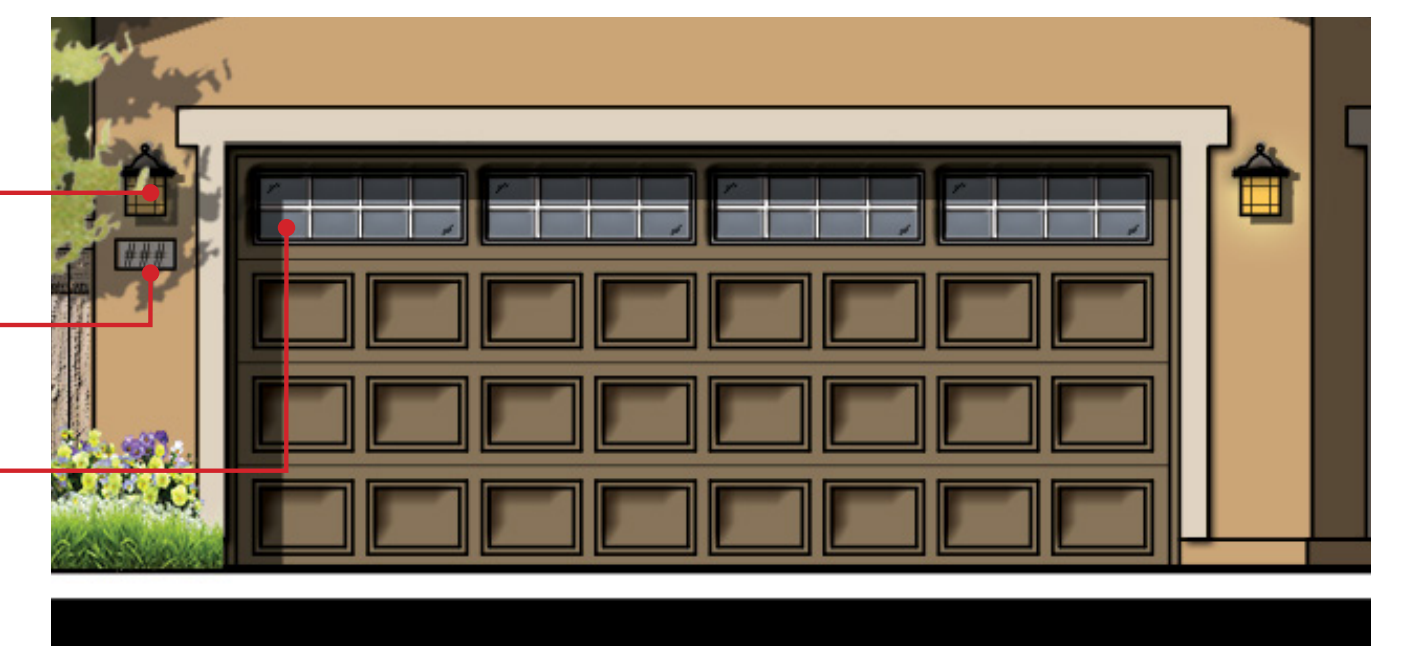


ENTRY DOOR



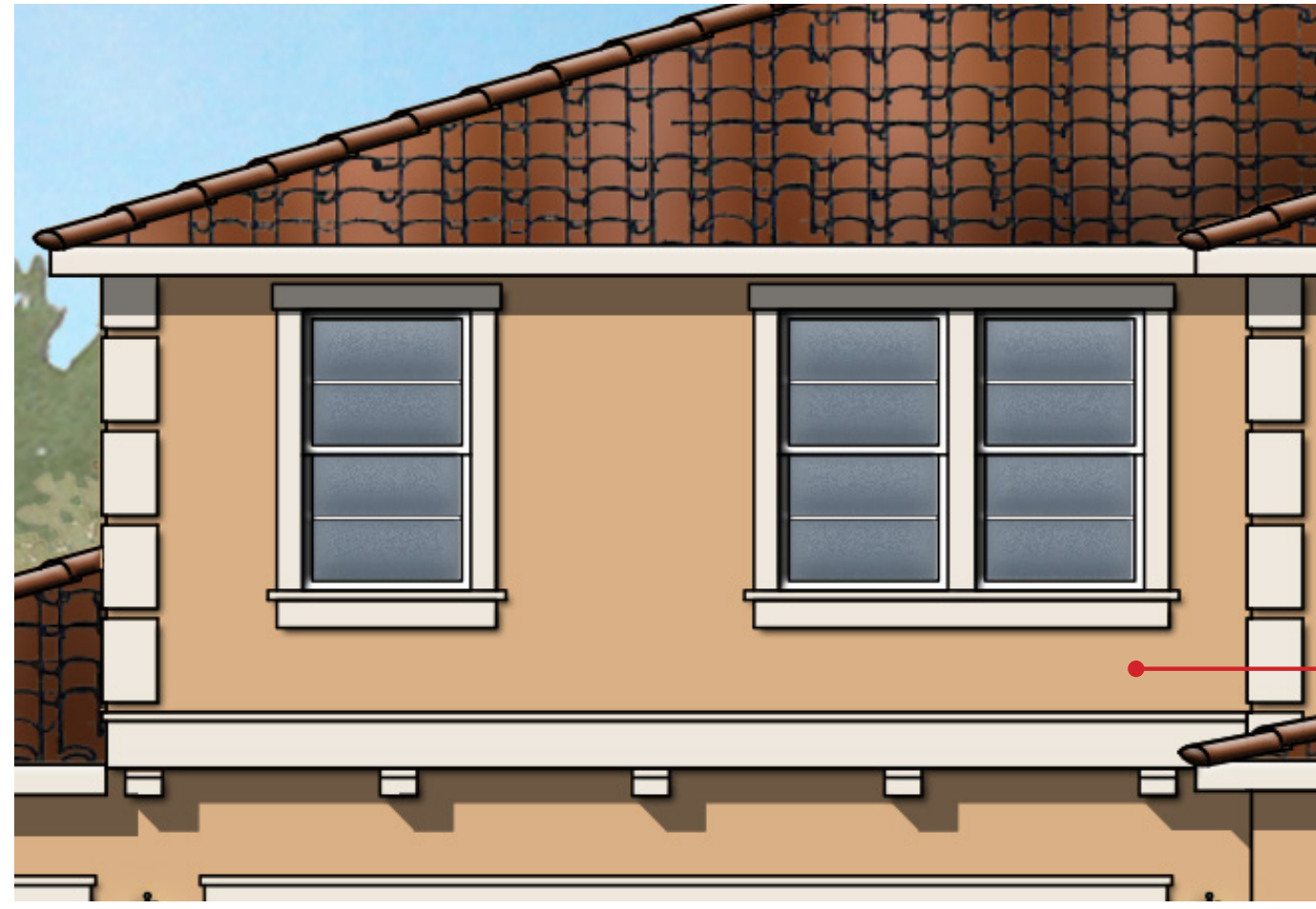
OUTLOOKER
BOARD AND BATTEN SIDING
LAP SIDING

STYLE SPECIFIC COACH LIGHT
ADDRESS PANEL
WINDOWS



GARAGE DOOR

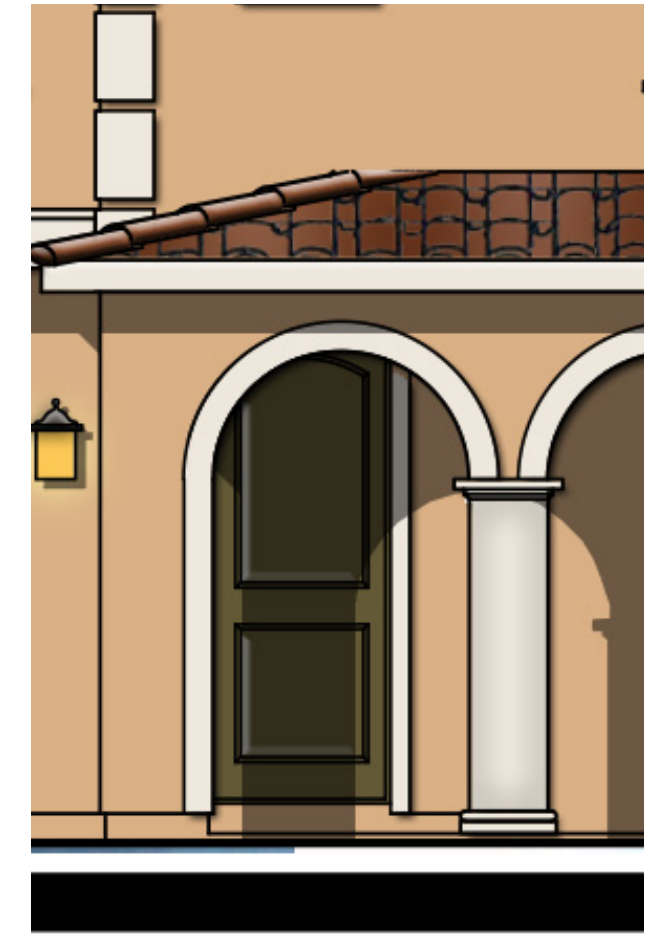
ARCHITECTURAL DETAILS CRAFTSMAN



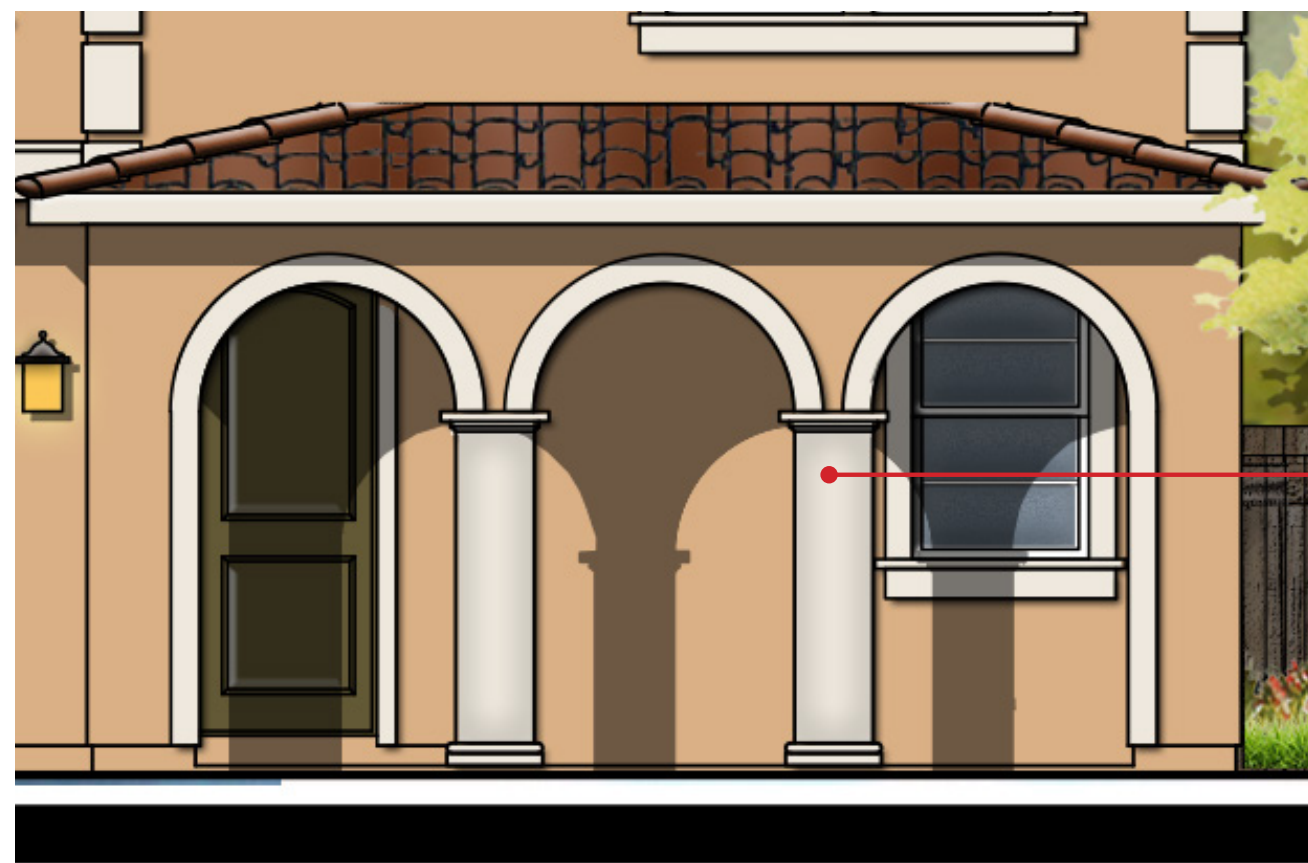
CANTILEVER WITH CORBELS



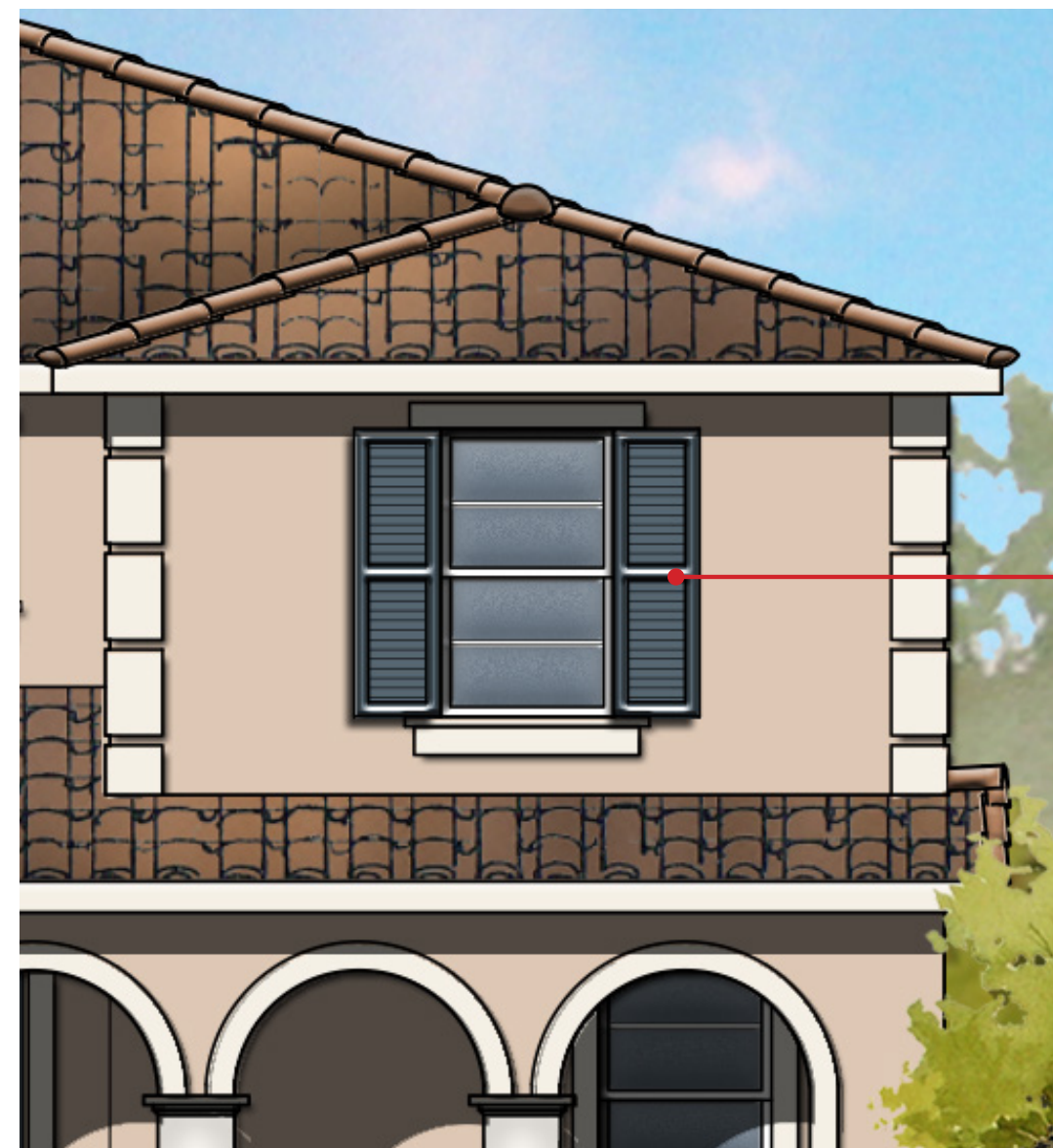
QUOINS



ENTRY DOOR



ROUND SMOOTH STUCCO COLUMNS



STYLE SPECIFIC SHUTTERS

STYLE SPECIFIC COACH LIGHT

ADDRESS PANEL

WINDOWS



GARAGE DOOR

ARCHITECTURAL DETAILS ITALIANATE

CITRUS TRAILS COMM #2
LOMA LINDA, CA

JOB #	18035
CREATED:	6/4/2018
Client Revisions	7/16/2018
City Revisions	8/30/2018
City Revisions	9/5/2018
Hist. Review Rev	10/4/2018

"A" ELEVATIONS			
MEDITERRANEAN REV	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO	1504	1572	1555
STUCCO PAINT MATCH***	SW0046 WHITE HYACINTH	SW7005 - PURE WHITE	SW7558 MEDICI IVORY
FASCIA	SW9115 COWBOY BOOTS	SW7509 TIKI HUT	SW7515 HOMESTEAD BROWN
GARAGE DOOR	SW9113 MUDSLIDE	SW7501 THRESHOLD	SW9169 CHATURA GRAY
FRONT DOOR / SHUTTERS	SW7745 MUDDLED BASIL	SW6223 STILL WATER	SW2837 AURORA BROWN
GABLE END DETAIL	SW6061 TANBARK	SW6061 TANBARK	SW6061 TANBARK
WROUGHT IRON	SW6990 CAVIAR	SW6990 CAVIAR	SW6990 CAVIAR
ROOF: LOW PROFILE "S"	1VICS6464 CA MISSION BLEND	1VICS6464 CA MISSION BLEND	1VICS6464 CA MISSION BLEND
WINDOWS	ALMOND	ALMOND	ALMOND

STUCCO:	OMEGA
PAINT:	SHERWIN WILLIAMS
ROOF:	BORAL
STONE / BRICK:	CORONADO

"B" ELEVATIONS			
CRAFTSMAN	SCHEME 4	SCHEME 5	SCHEME 6
STUCCO	1518	1527	1569
STUCCO PAINT MATCH***	SW2845 BUNGLEHOUSE GRAY	SW9167 POLISHED CONCRETE	SW9024 VINTAGE GOLD
FASCIA / TRIM / CORBELS	SW7551 GREEK VILLA	SW7000 IBIS WHITE	SW7526 MAISON BLANCHE
LAP SIDING / CORNER BOARDS	SW2846 ROYCROFT BRONZE	SW6005 FOLKSTONE	SW6123 BAGUETTE
GABLE SIDING	SW2843 ROYCROFT BRASS	SW6005 FOLKSTONE	SW6123 BAGUETTE
GARAGE DOOR	SW2846 ROYCROFT BRONZE	SW6004 MINK	SW9124 VERDE MARRON
FRONT DOOR / SHUTTERS	SW2814 ROOKWOOD ANTIQUE GOLD	SW7630 RAISIN	SW6096 JUTE BROWN
ROOF (FLAT) SHAKE	1FBCJ4598 FOREST GREEN	1FBCJ3233 BROWN BLEND	1FBCJ0198 DUNES TAN
BRICK	SPECIAL USED CHABLIS	SPECIAL USED TRIBECCA	SPECIAL USED CARMEL MOUNTAIN
WINDOW FRAME	ALMOND	ALMOND	ALMOND

"C" ELEVATIONS			
ITALIANATE	SCHEME 7	SCHEME 8	SCHEME 9
STUCCO	1561	1520	1537
STUCCO PAINT MATCH***	SW7679 GOLDEN GATE	SW7712 TOWNHOUSE TAN	SW6094 SENSATIONAL SAND
FASCIA / TRIM	SW7102 WHITE FLOUR	SW7102 WHITE FLOUR	SW7011 NATURAL CHOICE
GARAGE DOOR	SW9104 WOVEN WICKER	SW9082 CHOCOLATE POWDER	SW6082 COBBLE BROWN
FRONT DOOR / SHUTTERS	SW7735 PALM LEAF	SW0032 NEEDLEPOINT NAVY	SW7675 SEALSKIN
ROOF: LOW PROFILE "S"	1VICS6169 CASA GRANDE	1VICS0431 APPLE BARK	1VICS6464 CA MISSION BLEND
WINDOWS	WHITE	WHITE	WHITE

ALL FLASHING, GUTTERS, DOWNSPOUTS ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE. ALL PAINT BREAKS TO BE CUT AT INSIDE CORNERS.

WRITTEN COLOR SCHEMES



MEDITERRANEAN REVIVAL SCHEME #1

STUCCO BODY

ROOF

FASCIA

GARAGE DOOR

FRONT DOOR / SHUTTERS

GABLE END DETAIL

WROUGHT IRON

LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

MEDITERRANEAN REVIVAL SCHEME #2

STUCCO BODY

ROOF

FASCIA

GARAGE DOOR

FRONT DOOR / SHUTTERS

GABLE END DETAIL

WROUGHT IRON

LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

MEDITERRANEAN REVIVAL SCHEME #3

STUCCO BODY

ROOF

FASCIA

GARAGE DOOR

FRONT DOOR / SHUTTERS

GABLE END DETAIL

WROUGHT IRON

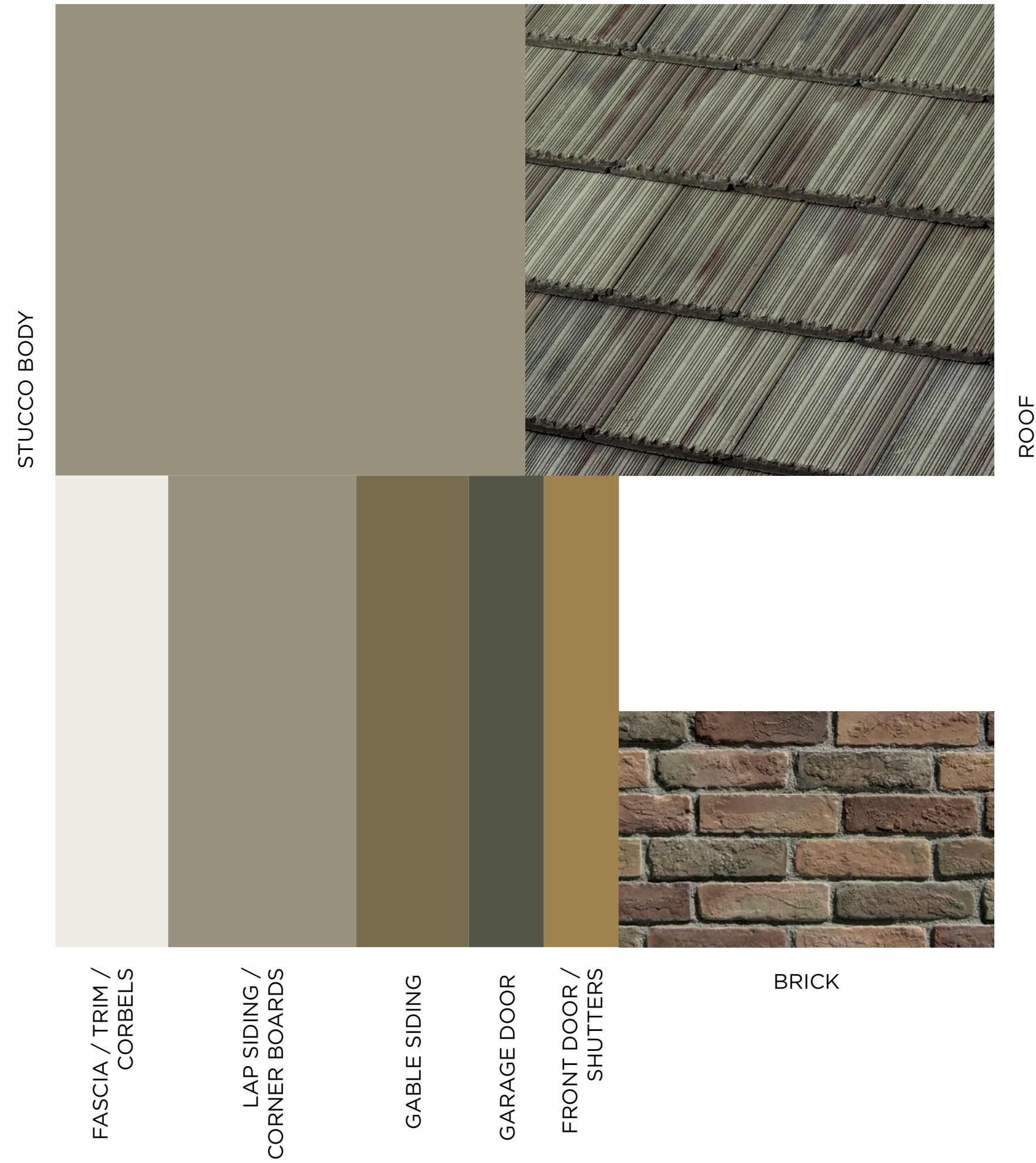
LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - MEDITERRANEAN REVIVAL

CRAFTSMAN
SCHEME #4



LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

CRAFTSMAN
SCHEME #5

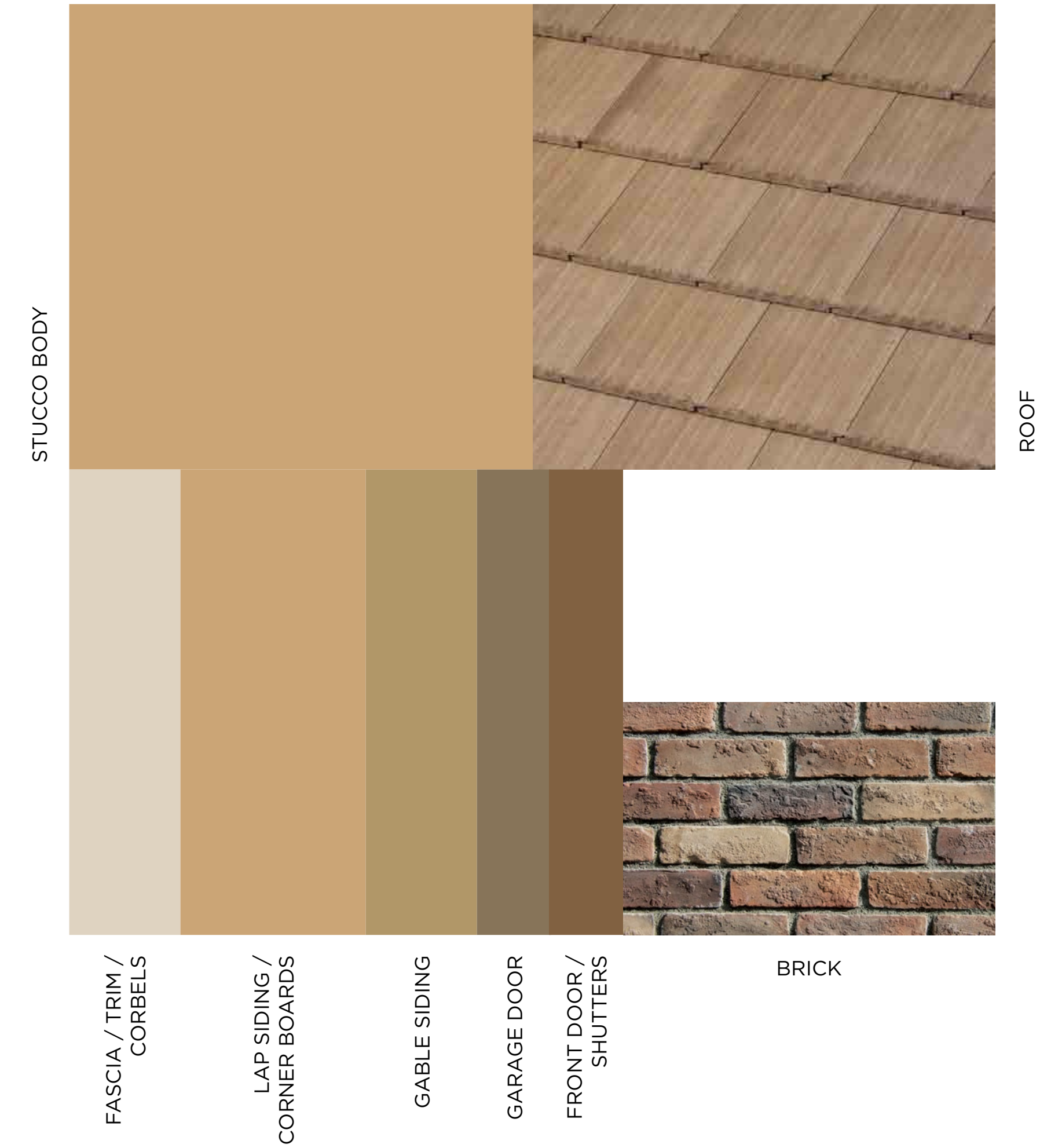


LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

CRAFTSMAN
SCHEME #6



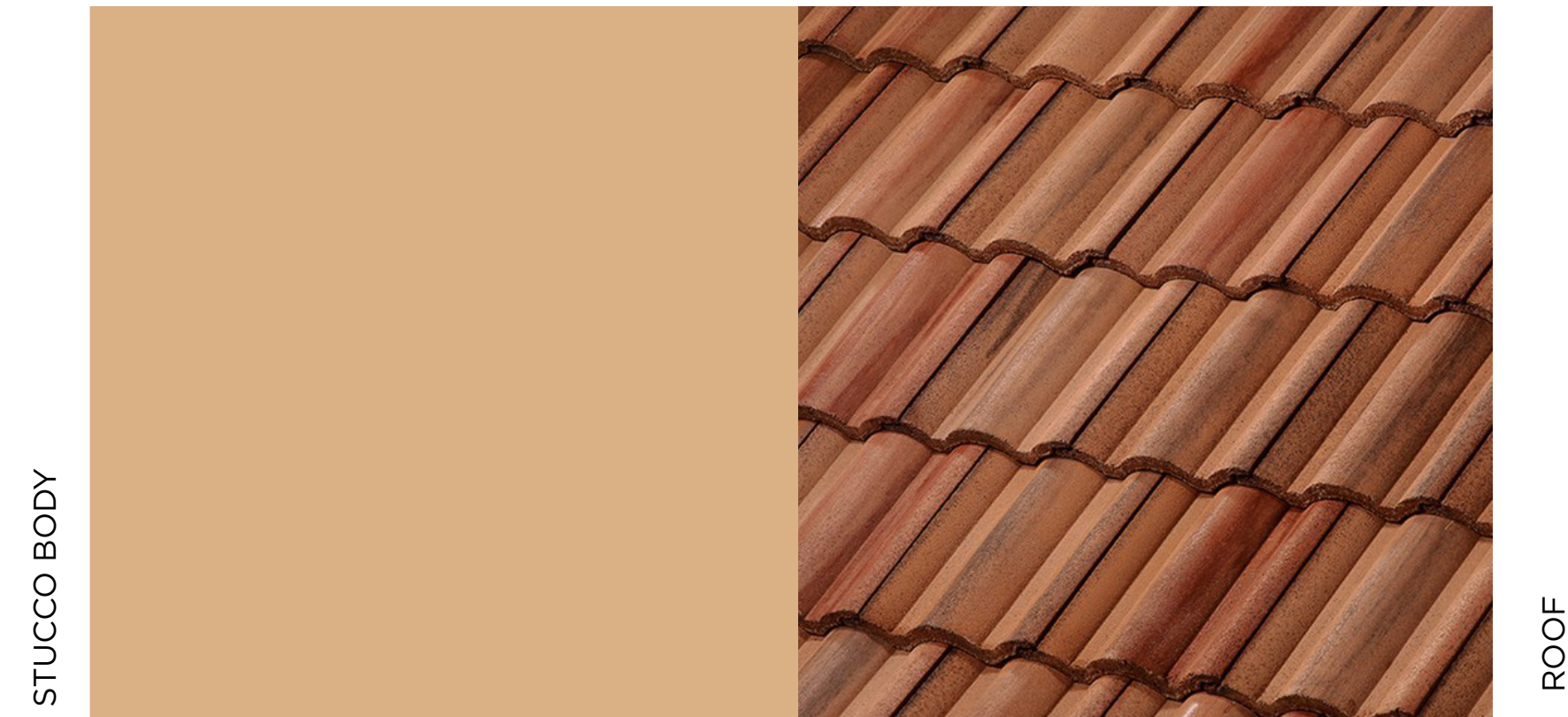
LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - CRAFTSMAN

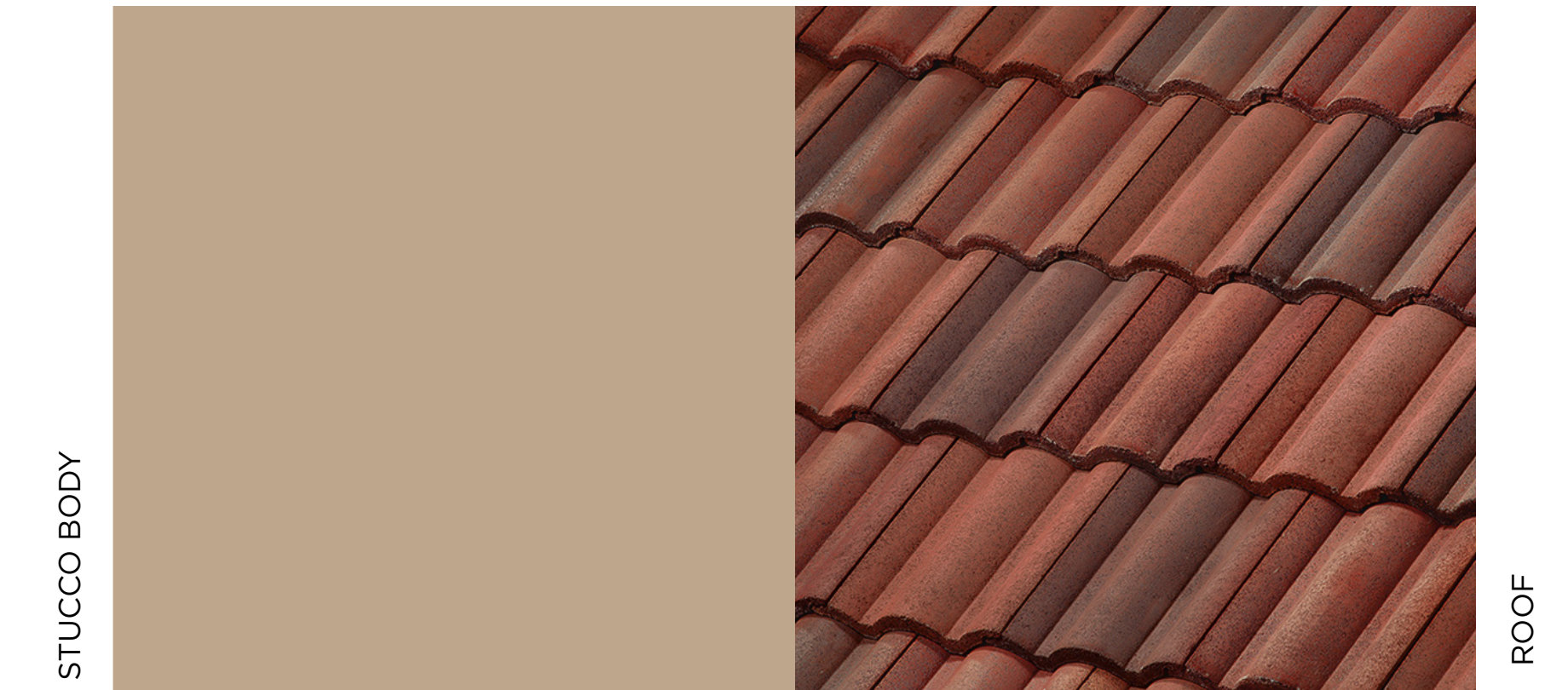
ITALIANATE
SCHEME #7



ITALIANATE
SCHEME #8



ITALIANATE
SCHEME #9



LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

LENNAR
#18035
9/11/18

CITRUS TRAILS COMMUNITY 2
LOMA LINDA, CA

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

COLOR BOARDS - ITALIANATE



NORTH PARK - SEE SHEET L-3 FOR ENLARGEMENT



VICINITY MAP

ASSESSORS PARCEL NO.
0292-111-14, -22, -50
0292-122-14, -15, -16, -17, -20, -32

APPLICANT / DEVELOPER
LENNAR HOMES OF CALIFORNIA
980 MONTECITO DR., SUITE 302
CORONA, CA 92879
(951) 817-3508
BRIAN KING

ENGINEER
OTTE-BERKELEY GROUPE, INC.
575 E. CARREON DRIVE
COLTON, CA 92324
(909) 370-0911
JOHN FORD BERKELEY

ARCHITECT
KEVIN L. CROOK ARCHITECT, INC.
1360 REYNOLDS AVE., SUITE 110
IRVINE, CA 92614
(949) 660-1589
KEVIN CROOK

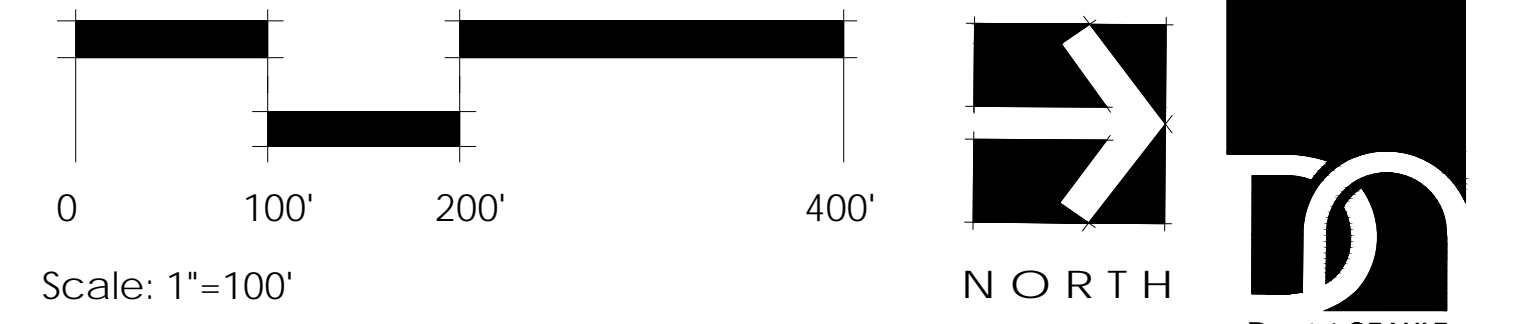
LANDSCAPE ARCHITECT
DAVID NEAULT ASSOCIATES, INC.
41877 ENTERPRISE CIRCLE N., SUITE 140
TEMECULA, CA 92590
951-296-3430
BRYAN LOVE

FOR CONCEPTUAL PLANT LEGEND SEE SHEET 2

NOTE:
- CONTRACTOR TO PROVIDE SOIL ANALYSIS REPORT
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM AND UTILIZE CURRENT LOW WATER USE METHODS.

LANDSCAPE CONCEPTS FOR:
CITRUS TRAILS - TRACT #18990
LENNAR HOMES

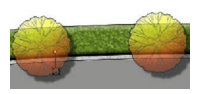








OVERALL LANDSCAPE PLAN SHEET L-1

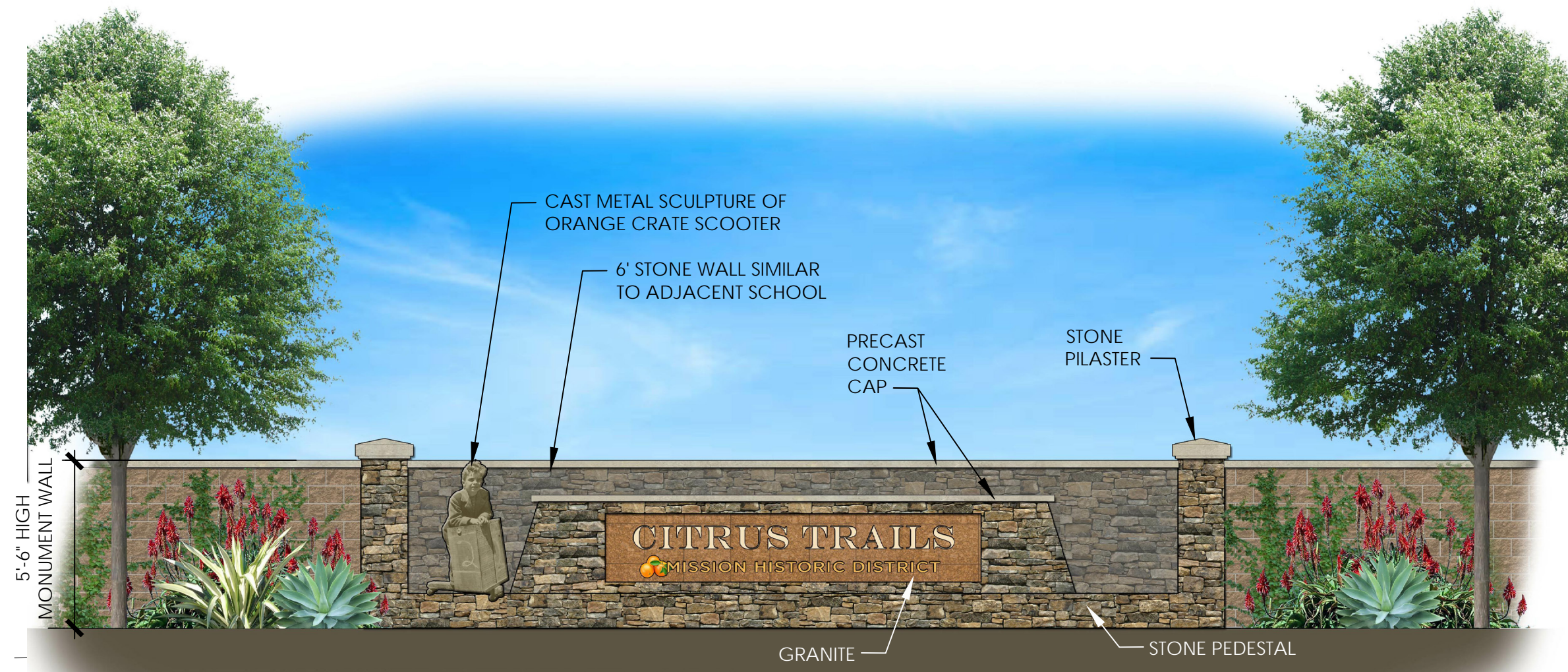


CITY OF LOMA LINDA, CALIFORNIA

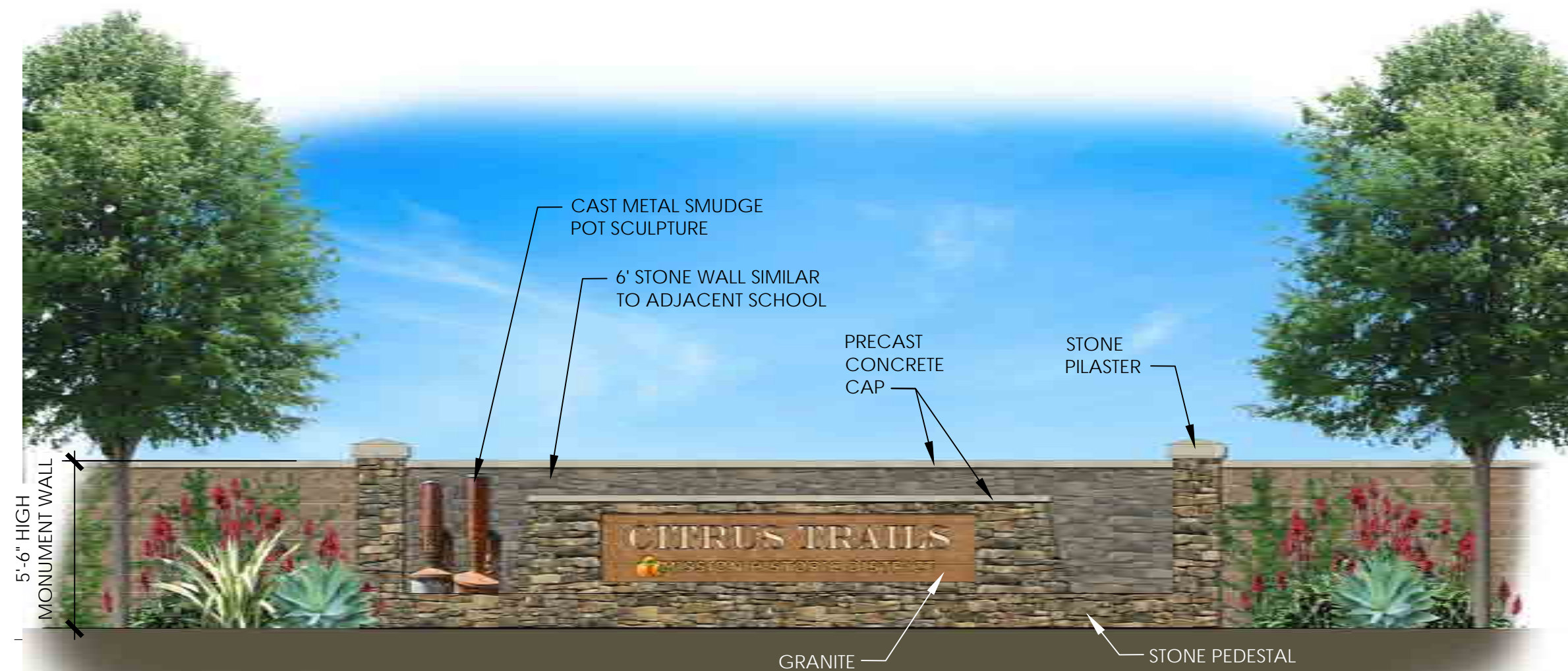


CONCEPTUAL PLANT LEGEND

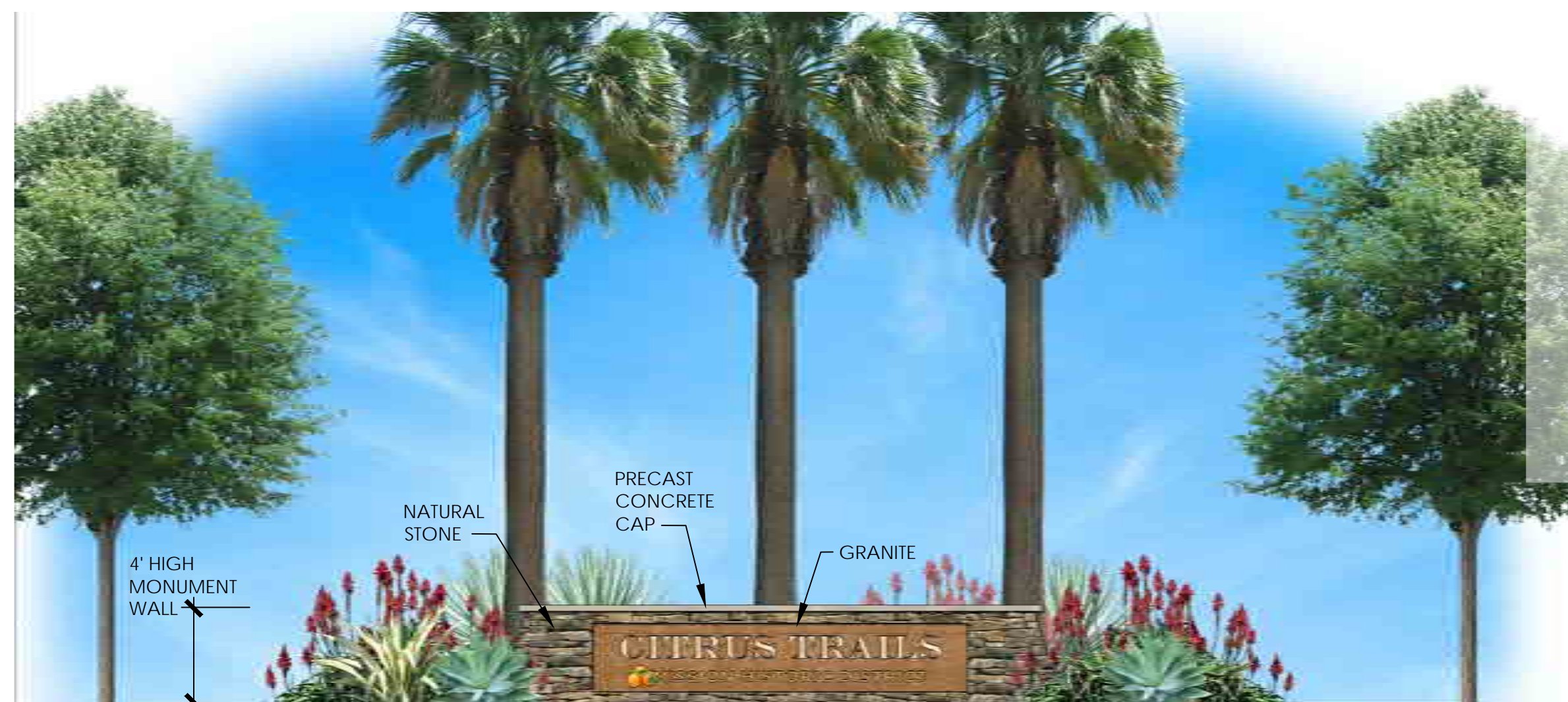
BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	PLANT FACTOR	SIZE
STREET TREES:					
PARK AVENUE					
 PLATANUS A. 'BLOODGOOD'	LONDON PLANE TREE	24" BOX	AVG. 40' O.C.	MEDIUM	9'H X 4'W 1.5" CALIPER
MISSION ROAD					
 OLEA EUROPAEA	OLIVE TREE	24" BOX	AVG. 20' O.C.	MEDIUM	9'H X 4'W 1.5" CALIPER
CALIFORNIA STREET					
 GINKGO BILOBA	MAIDENHAIR TREE	24" BOX	AVG. 40' O.C.	MEDIUM	9'H X 4'W 1.5" CALIPER
 MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	24" BOX	AVG. 40' O.C.	MEDIUM	9'H X 4'W 1.5" CALIPER
 SYAGRUS ROMANZOFFIANUM	QUEEN PALM	24" BOX	AVG. 40' O.C.	MEDIUM	9'H X 4'W 1.5" CALIPER
INTERIOR STREET TREES					
 LAGERSTROEMIA INDICA	CRAPE MYRTLE	24" BOX	AS SHOWN	MEDIUM	9'H X 4'W 1.5" CALIPER
 MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA			MEDIUM	
 QUERCUS ILEX	HOLLY OAK			MEDIUM	
 PLATANUS ACERIFOLIA	LONDON PLANE TREE			MEDIUM	
 PODOCARPUS GRACILIOR	FERN PINE			MEDIUM	
 PRUNUS C. 'THUNDERCLOUD'	FLOWERING PLUM			MEDIUM	
ACCENT TREES / PALMS					
 CHITALPA TASHKENTENSIS	CHITALPA	24" BOX	AS SHOWN	MEDIUM	9'H X 4'W 1.5" CALIPER
 PRUNUS CERASIFERA	PURPLE LEAF PLUM	24" BOX		MEDIUM	
 PHOENIX DACTYLIFERA	DATE PALM	10' - 12' B.T.H.		MEDIUM	
 WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	10' - 12' B.T.H.		MEDIUM	
PARKING TREES					
 GEUERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	AS SHOWN	MEDIUM	9'H X 4'W 1.5" CALIPER
 GLEDITSIA T. 'SHADE MASTER'	HONEY LOCUST			LOW	
 QUERCUS VIRGINIANA	SOUTHERN LIVE OAK			MEDIUM	
LANDSCAPE TREES					
 ARBUTUS 'MARINA'	MARINA ARBUTUS	MIN. 15 GAL.	AS SHOWN	MEDIUM	7'H X 3'W 1" CALIPER
 GEUERA PARVIFLORA	AUSTRALIAN WILLOW			LOW	
 GLEDITSIA T. 'SHADE MASTER'	HONEY LOCUST			LOW	
 PLATANUS ACERIFOLIA	LONDON PLANE TREE			MEDIUM	
 QUERCUS AGRIFOLIA	COAST LIVE OAK			LOW	
 ULMUS PARVIFOLIA	EVERGREEN ELM			MEDIUM	
 SCHINUS MOLLE	CALIFORNIA PEPPER			LOW	
 CHITALPA TASHKENTENSIS	CHITALPA			LOW	
FOUNDATION SHRUBS					
 GREVILLEA NOELLII	GREVILLEA	5 GALLON	4' O.C.	LOW	
 LEUCOPHYLLUM F. 'GREEN CLOUD'	TEXAS RANGER	5 GALLON	4' O.C.	LOW	
 MYRTUS COMMUNIS 'COMPACTA'	COMPACT MYRTLE	5 GALLON	4' O.C.	MEDIUM	
 PHORMIUM TENAX 'DARK DELIGHT'	NEW ZEALAND FLAX	5 GALLON	4' O.C.	MEDIUM	
 PHORMIUM TENAX 'BRONZE BABY'	NEW ZEALAND FLAX	5 GALLON	4' O.C.	MEDIUM	
 RHAPHIOLEPIS 'MAJESTIC BEAUTY'	INDIA HAWTHORN	5 GALLON	4' O.C.	MEDIUM	
 RHAPHIOLEPIS UMBELLATA 'MINOR'	INDIA HAWTHORN	5 GALLON	4' O.C.	MEDIUM	
 ROSMARINUS OFFICINALIS	ROSEMARY	5 GALLON	4' O.C.	LOW	
 SALVIA LEUCANTHA	MEXICAN SAGE	5 GALLON	4' O.C.	LOW	
 XYLOSMA CONGESTUM	SHINY LEAF XYLOSMA	5 GALLON	4' O.C.	LOW	
ACCENT SHRUBS / PERENNIALS					
 AGAPANTHUS AFRICANUS	LILY-OF-THE-NILE	1 GALLON	2' O.C.	LOW	
 ANIGOZANTHOS FLAVIDUS	KANGAROO PAW	5 GALLON	2' O.C.	LOW	
 CISTUS PURPUREUS	ROCKROSE	1 GALLON	2' O.C.	LOW	
 DIETS BICOLOR	FORTNIGHT LILY	5 GALLON	2' O.C.	MEDIUM	
 HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GALLON	2' O.C.	MEDIUM	
 HEMEROCALLIS HYBRID	DAYLILY	5 GALLON	2' O.C.	MEDIUM	
 MUHLENBERGIA DUMOSA	BAMBOO MUHLY	5 GALLON	4' O.C.	LOW	
 ROSA SPECIES	SHRUB ROSE	5 GALLON	2' O.C.	MEDIUM	
GROUNDCOVERS					
 BACCHARIS P. 'PIGEON POINT'	DWARF COYOTE BRUSH	1 GALLON @ 24" O.C.		LOW	
 CEANOTHUS G. HORIZONTALIS	CARMEL CREEPER	1 GALLON @ 24" O.C.		LOW	
CISTUS SALVIFOLIUS	SAGELEAF ROCKROSE	1 GALLON @ 24" O.C.		LOW	
GAZANIA SP.	GAZANIA	FLATS @ 12" O.C.		MEDIUM	
LONICERA JAPONICA 'HALLIANA'	HALL'S HONEYSUCKLE	FLATS @ 12" O.C.		MEDIUM	
ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY	1 GALLON @ 24" O.C.		LOW	
ROSA FLOWER CARPET HYBRIDS'	GROUNDCOVER ROSE	1 GALLON @ 24" O.C.		MEDIUM	
VINES					
DISTICTUS BUCCINATORIA	RED TRUMPET VINE	5 GALLON	10' O.C.	MEDIUM	
MACFADYENA UNGUIS-CATI	CAT'S CLAW VINE	5 GALLON	10' O.C.	MEDIUM	
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GALLON	10' O.C.	MEDIUM	
TURF					
MARATHON II OR EQUAL		SOD		HIGH	
BIO-SWALE / BASINS					
CAREX PANSA	CALIFORNIA MEADOW SEDGE	LINERS	8" O.C.	MEDIUM	



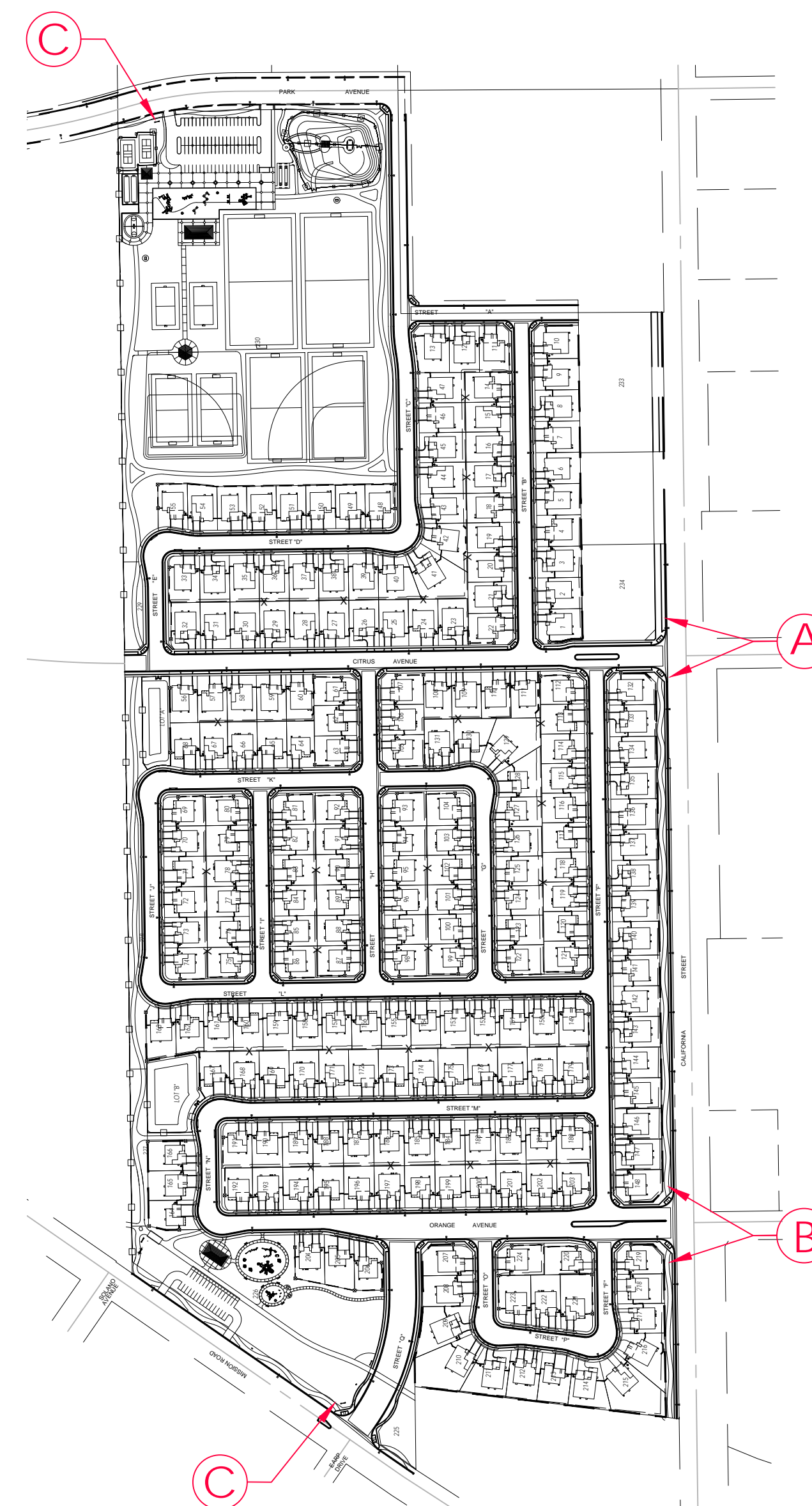
(A) MAJOR MONUMENT (CITRUS AVE - PA13)



(B) MAJOR MONUMENT (ORANGE AVE - PA14)



(C) MINOR MONUMENT (PARK AVE - PA-5, 7 & 11 AND SOUTH PARK - PA-15)



ENTRY MONUMENT PLAN SHEET L-2

LANDSCAPE CONCEPTS FOR:

CITRUS TRAILS - TRACT #18990

LENNAR HOMES

CITY OF LOMA LINDA, CALIFORNIA



LEGEND

- ① DECOMPOSED GRANITE TRAIL
- ② MISSION-STYLE PICNIC SHELTER / GAZEBO
- ③ PICKLE BALL COURTS
- ④ PARKING LOT
- ⑤ DOG PARKS (SMALL / LARGE DOGS)
WATER FOUNTAIN AND DOG BAG DISPENSERS AT SHELTER
- ⑥ PARK SIGNAGE
- ⑦ EXERCISE EQUIPMENT STATIONS
- ⑧ BOCCE BALL COURTS
- ⑨ TURF SOCCER FIELDS (YOUTH / ADULT)
- ⑩ CITRUS / FARM DISPLAY GROUP USE AREA
- ⑪ BASKETBALL COURTS
- ⑫ PICNIC TABLES
- ⑬ AGRICULTURAL-THEME TOT LOT
- ⑭ BASEBALL OVERLAY
- ⑮ HORSESHOE PITS
- ⑯ TREE BOSQUE
- ⑰ NATURE-THEMED TOT LOT
- ⑱ SHELTER WITH BENCHES
- ⑲ RAISED PLANTER WITH LOW SEAT BENCH SURROUND

PARK SIZE - 13 ACRES
 HARDSCAPE - 2.2 ACRES
 SOFTSCAPE PERCENTAGE - 83%



⑰ ⑬ NATURE AND AGRICULTURAL - THEMED TOT LOTS



② MISSION-STYLE PICNIC SHELTER / GAZEBO

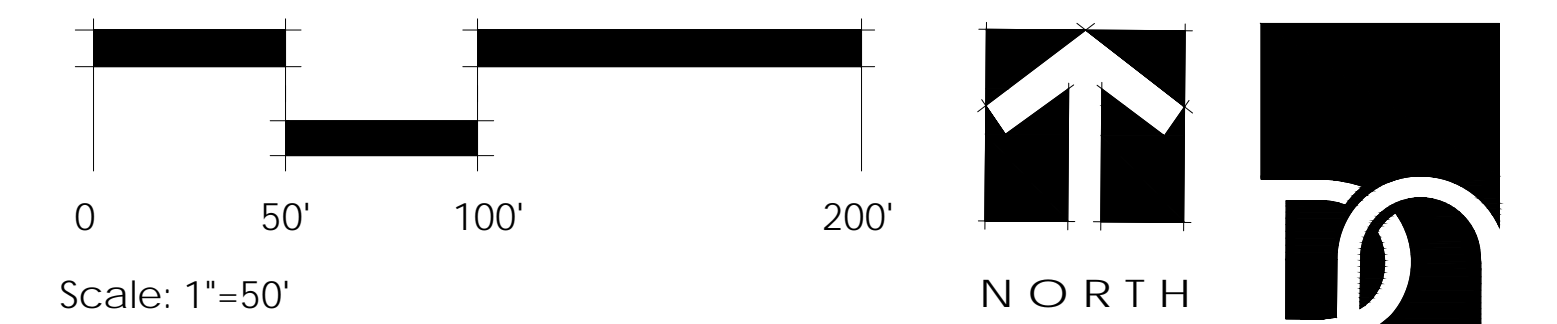


⑩ CITRUS / FARM DISPLAY GROUP USE AREA



LANDSCAPE CONCEPTS FOR:
CITRUS TRAILS - TRACT #18990
 LENNAR HOMES

NORTH PARK ENLARGEMENT SHEET L-3



CITY OF LOMA LINDA, CALIFORNIA

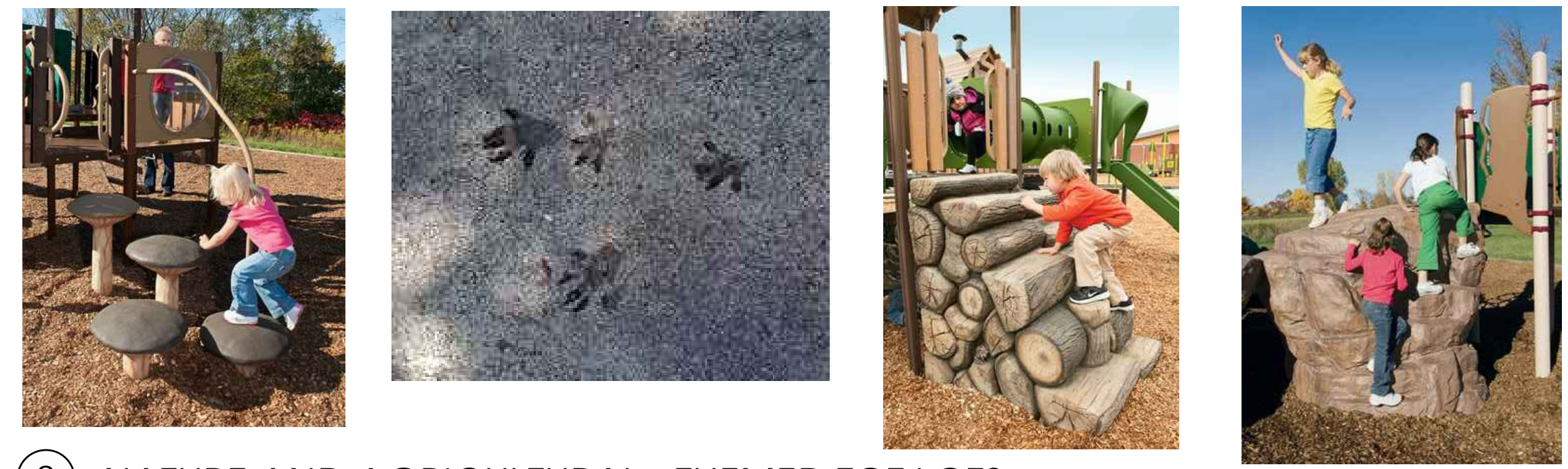


TRAIL CONNECTS TO UPPER REACH OF "ZANJA TRAIL"



- LEGEND**
- ① PARKING LOT
 - ② PICNIC TABLES
 - ③ NATURE-THEMED TOT LOT
 - ④ OLIVE GROVE
 - ⑤ ZANJA TRAIL INTERPRETIVE SIGNS
 - ⑥ MISSION-STYLE GROUP-USE SHADE STRUCTURE
 - ⑦ 12' WIDE "ZANJA TRAIL"
 - ⑧ "ZANJA TRAIL" SIGN
 - ⑨ BRIDGE: REPLICA / STYLE OF EXISTING HISTORICAL BRIDGE W/ INTERPRETIVE SIGN
 - ⑩ APPROX. LOCATION OF EXISTING HISTORICAL BRIDGE
 - ⑪ OPEN TURF PLAY
- PARK SIZE - 3.5 ACRES
 HARDSCAPE - 0.7 ACRES
 SOFTSCAPE PERCENTAGE - 80%

SOUTH PARK PLAN



③ NATURE AND AGRICULTURAL - THEMED TOT LOTS



⑤ "ZANJA TRAIL" INTERPRETIVE SIGNS



⑧ "ZANJA TRAIL" SIGN



⑩ EXISTING HISTORICAL BRIDGE

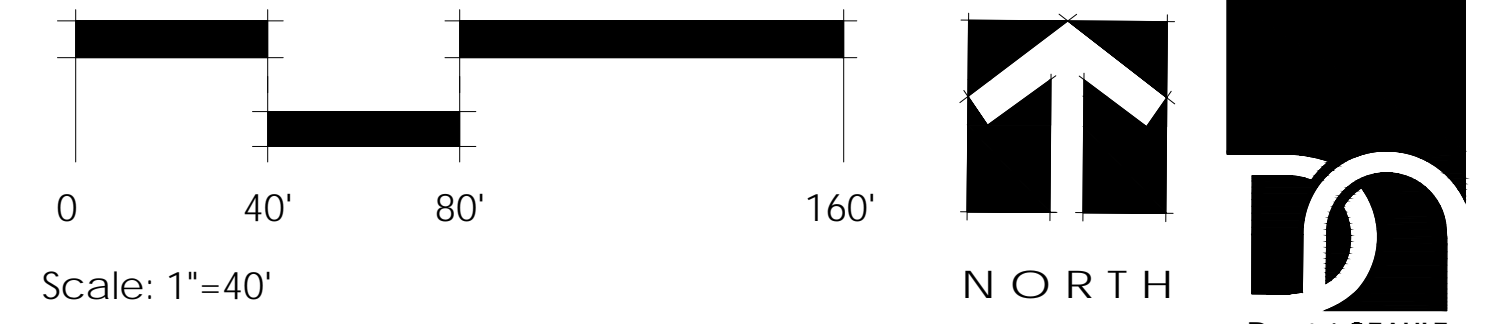


⑨ "ZANJA TRAIL"



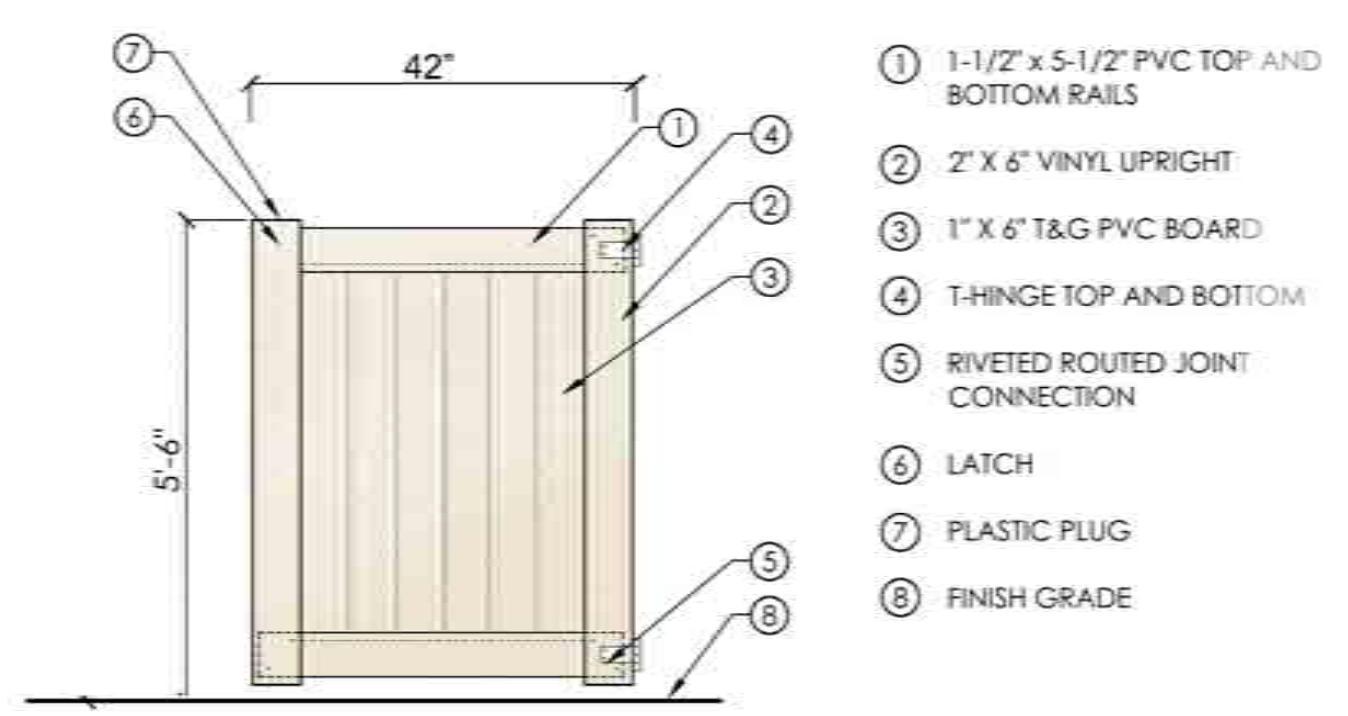
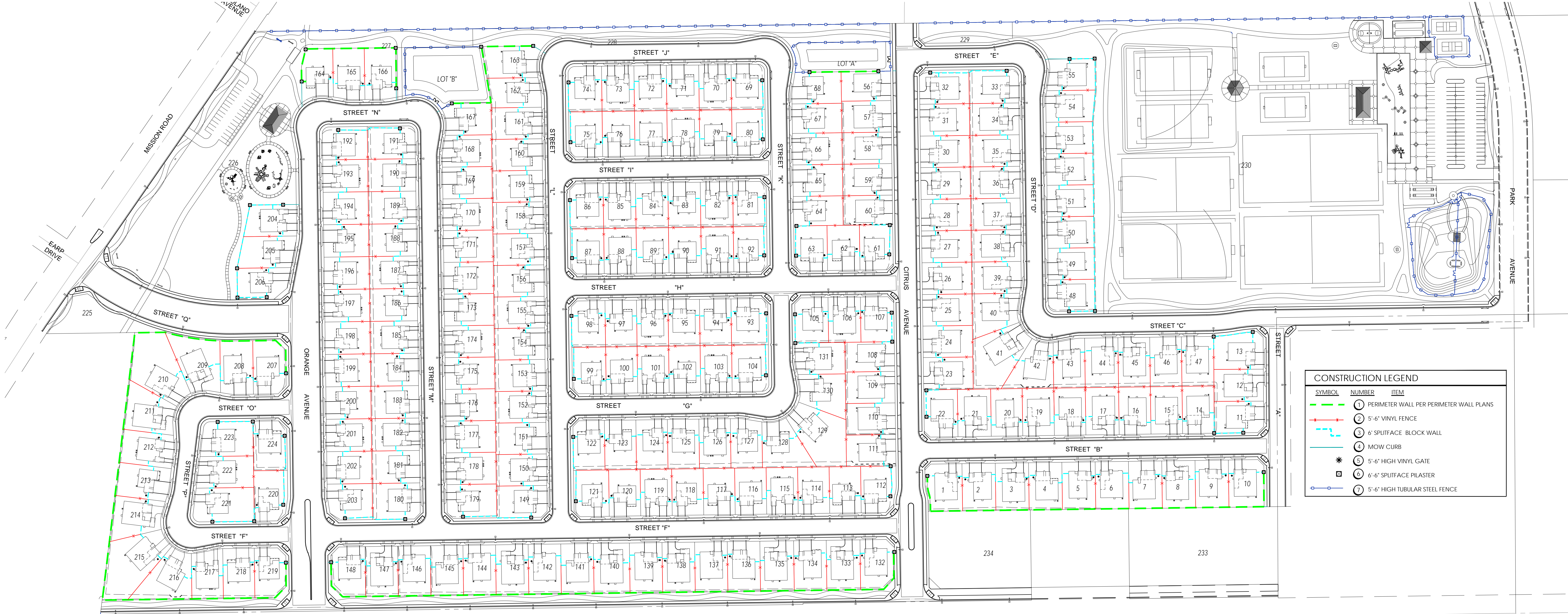
⑥ MISSION-STYLE GROUP-USE SHADE STRUCTURES

SOUTH PARK ENLARGEMENT SHEET L-4

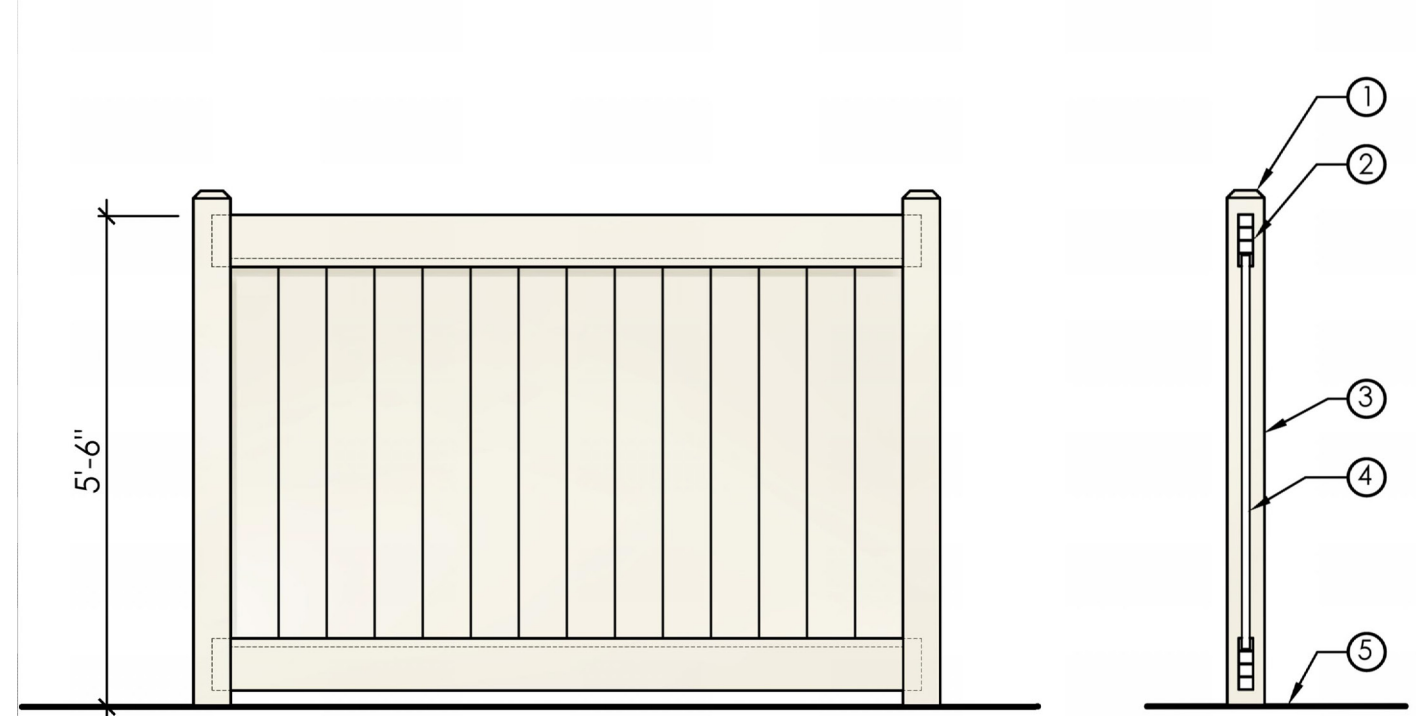


LANDSCAPE CONCEPTS FOR:
CITRUS TRAILS - TRACT #18990
 LENNAR HOMES

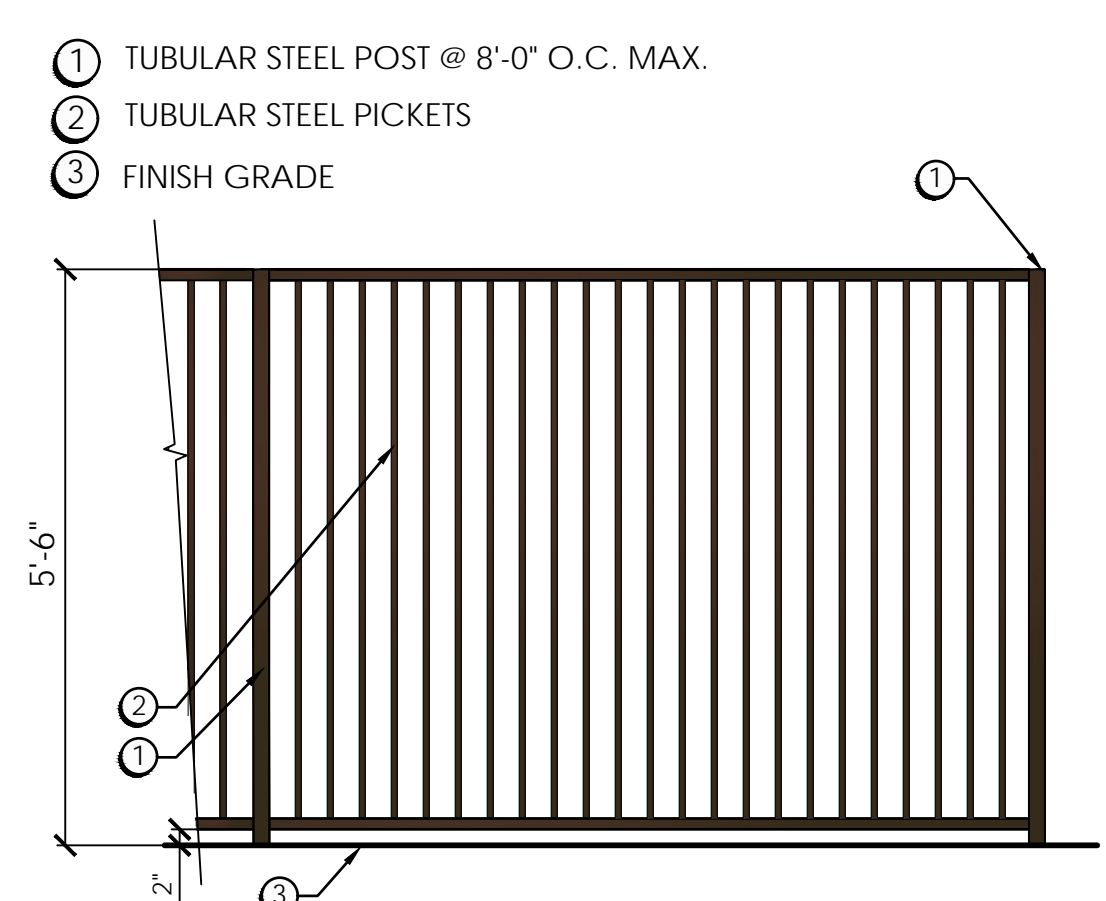
CITY OF LOMA LINDA, CALIFORNIA



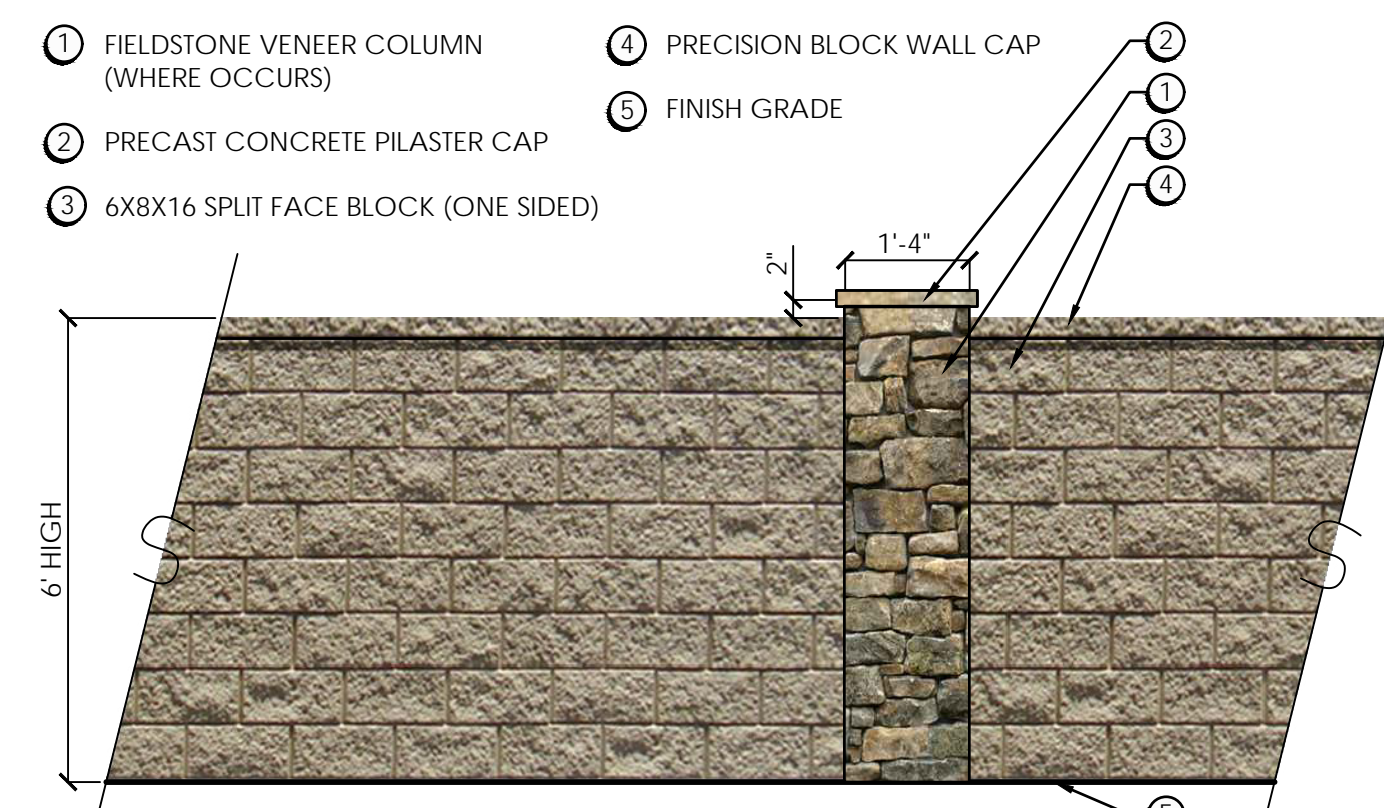
VINYL GATE



VINYL SIDE-YARD FENCE



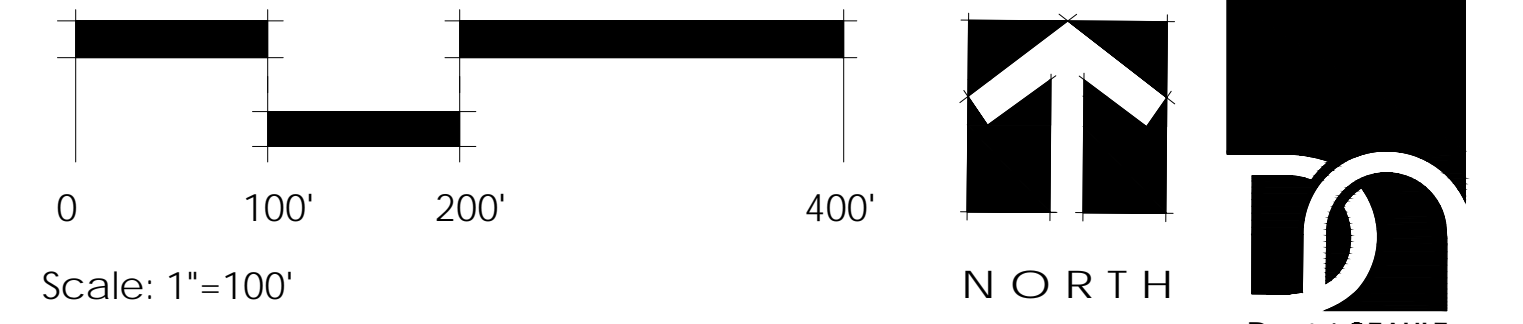
TUBE STEEL VIEW FENCE



COMMUNITY WALL: SPLIT-FACE BLOCK / FIELDSTONE PILASTER

WALL AND FENCE PLAN SHEET L-5

LANDSCAPE CONCEPTS FOR:
CITRUS TRAILS - TRACT #18990
 LENNAR HOMES





FRONT YARD TYPICAL PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE CLASSIFICATIONS OF LANDSCAPE SPECIES
FRONT YARD TREES			
RHUS LANCEA	AFRICAN SUMAC	15 GAL	LOW
PYRUS C. 'BRADFORD'	BRADFORD PEAR	15 GAL	MEDIUM
PODOCARPUS GRACILIOR	FERN PINE	15 GAL	MEDIUM
STREET TREE		24" BOX MIN 2" CAL	MEDIUM
SHRUBS			
LAURUS NOBILIS	SWEET BAY	5 GALLON	LOW
CUPRESSUS 'TINY TOWERS'	ITALIAN CYPRESS	5 GALLON	LOW
LEUCOPHYLLUM F. 'COMPACTA'	BAROMETER BUSH	5 GALLON	LOW
LEPTOSPERMUM SCOPARIUM	NEW ZEALAND TEA TREE	5 GALLON	LOW
SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GALLON	LOW
CISTUS PURPUREUS	ORCHID ROCK ROSE	5 GALLON	LOW
LAVANDULA STOECHAS	SPANISH LAVENDER	1 GALLON	LOW
CALLISTEMON VIMINALIS	DWARF BOTTLEBRUSH	1 GALLON	LOW
KNIPHOFIA UVARIA	RED HOT POKER	1 GALLON	LOW
HESPERALOE PARVIFLORA	RED YUCCA	1 GALLON	LOW
HELICTORICHON SEMPERVIRENS	BLUE OAT GRASS	1 GALLON	LOW
MUHLENBERGIA C. 'REGAL MIST'	PINK MUHLY	1 GALLON	LOW
GROUNDCOVERS			
MARATHON III	TALL FESCUE	SOD	HIGH
MULCH			
VINES			
HARDENBERGIA VIOLACEA	HAPPY WANDERER	5 GALLON	LOW

AVERAGE FYT SIZE - 1,790 SF
 HARDSCAPE - 135 SF
 SOFTSCAPE PERCENTAGE - 92%

FRONT YARD TYPICAL PLANTING - SHEET L-6



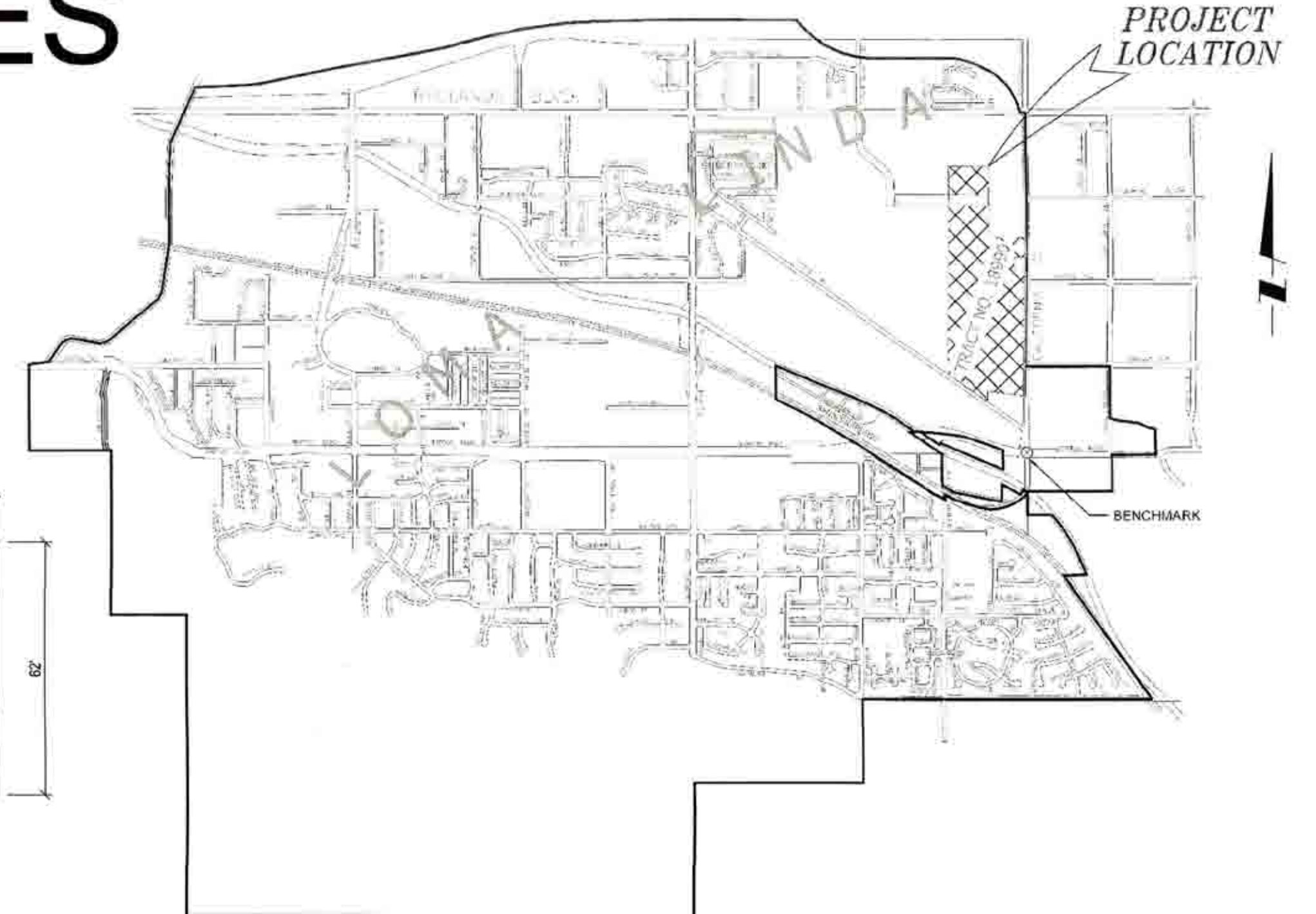
LANDSCAPE CONCEPTS FOR:
CITRUS TRAILS - TRACT #18990
 LENNAR HOMES

CITY OF LOMA LINDA, CALIFORNIA

David NEAULT ASSOCIATES Inc.
 951 | 296 | 3430
 www.dnassociates.com
 10.23.18

CITRUS TRAILS by LENNAR HOMES

~ TRACT MAP No. 18990 ~
Final Site Plan of Development



VICINITY MAP
NOT TO SCALE

PROPERTY OWNER: LENNAR HOMES OF CALIFORNIA
 APPLICANT INFORMATION: 980 MONTECITO DRIVE, SUITE 302
 CORONA, CALIFORNIA 92879
 W: (951) 817-3600 F: (951) 817-3659

MAP PREPARED BY: OTTE-BERKELEY GROUPE, INC.
 575 E. CARREON DRIVE
 COLTON, CALIFORNIA 92324-3000
 TEL: (909) 370-0911 FAX: (909) 370-1211

UNIT SUMMARY		RELEVANT STATE/MUNICIPAL CODES	
PLAN 1: 21 EA (9%)	□	2016 CALIFORNIA FIRE CODE	
PLAN 2: 22 EA (10%)	○	2016 CALIFORNIA BUILDING CODE	
PLAN 3: 22 EA (10%)	△	LOMA LINDA MUNICIPAL CODE (LLMC)	
PLAN 4: 23 EA (10%)	◇	CITRUS TRAILS MASTER PLAN	
PLAN 5: 33 EA (15%)	☆	THE GROVES SPECIFIC PLAN	
PLAN 6: 34 EA (15%)	▽	LOMA LINDA CONNECTED COMMUNITY PROGRAM (LLCCP)	
PLAN 7: 34 EA (15%)	◇		
PLAN 8: 35 EA (16%)	▽		
TOTAL: 224 (100%)			

PROJECT DESCRIPTION: LENNAR 224 HOMES (CITRUS TRAILS)
 PROJECT AREA: GROSS AREA TR 18890 = 91.7 Acres, 2.44 DU/Ac
 GROSS PROJECT AREA = 40.2 Acres

GENERAL PLAN DESIGNATION: SPECIAL PLANNING AREA "D"
 PROPOSED ZONING: PLANNED COMMUNITY (PC)
 LAND USE DESIGNATION: LOW-DENSITY RESIDENTIAL

ASSESSOR PARCEL NUMBERS			
0292-111-14	0292-111-22	0292-111-50	0292-122-14
0292-122-15	0292-122-16	0292-122-17	0292-122-20
0292-122-32			

LEGAL DESCRIPTION
 LOTS 13, 14, AND PORTIONS OF LOT 18, BLOCK 56, RANCHO SAN BERNARDINO, IN THE CITY OF LOMA LINDA PER PLAT RECORDED IN BOOK 7, PAGE 2 OF MAPS;
 LOTS 13, 14, AND PORTIONS OF LOTS 15, 16, & 18, BLOCK 57, ALONG WITH ADDITIONAL PORTIONS OF BLOCK 57, RANCHO SAN BERNARDINO, IN THE CITY OF LOMA LINDA PER PLAT RECORDED IN BOOK 7, PAGE 2 OF MAPS;
 PARCEL 2 OF PARCEL MAP No. 6977, IN THE CITY OF LOMA LINDA PER PLAT RECORDED IN BOOK 70, PAGES 32 & 33 OF PARCEL MAPS, ALL RECORDS OF THE COUNTY OF SAN BERNARDINO, CALIFORNIA.

UTILITY PURVEYORS		
ELECTRIC:	SOUTHERN CALIFORNIA EDISON COMPANY	(909) 973-2061
WATER:	CITY OF LOMA LINDA	(909) 799-2845
SEWER:	CITY OF LOMA LINDA	(909) 799-2845
TELEPHONE:	VERIZON	(909) 748-6640
GAS:	SOUTHERN CALIFORNIA GAS COMPANY	(800) 427-2200
CABLE TV:	TIME WARNER CABLE	(909) 284-9619

PROJECT NUMBER: P18-106

- NOTES
- PROJECT WILL COMPLY WITH THE LOMA LINDA CONNECTED COMMUNITY PROGRAM (LLCCP) AND EACH RESIDENCE WILL BE EQUIPPED WITH CITY'S NEW FIBER-OPTICS INTERFACE AND COPPER CABLING. PLANS FOR THE LOCATION OF THE INFRA-STRUCTURE SHALL BE PROVIDED WITH THE PRECISE GRADING PLANS AND REVIEWED AND APPROVED BY THE CITY OF LOMA LINDA PRIOR TO ISSUING GRADING PERMITS.
 - PROJECT WILL COMPLY WITH FIRE SPRINKLER REQUIREMENTS.

PLOTTING LEGEND

PLAN	SF	A - MEDITERRANEAN REVIVAL	B - MONTEREY	C - CRAFTSMAN	D - PRIME	E - ITALIANATE
PLAN 1	1,950 SF	■	■	■	■	■
PLAN 2	2,094 SF	■	■	■	■	■
PLAN 3	2,287 SF	■	■	■	■	■
PLAN 4	2,434 SF	■	■	■	■	■
PLAN 5	2,614 SF	■	■	■	■	■
PLAN 6	3,105 SF	■	■	■	■	■
PLAN 7	3,423 SF	■	■	■	■	■
PLAN 8	4,122 SF	■	■	■	■	■

LEGEND

- DENOTES LOT NUMBER
- /□ DENOTES PLAN NUMBER & ELEVATION TYPE

SHEET 3

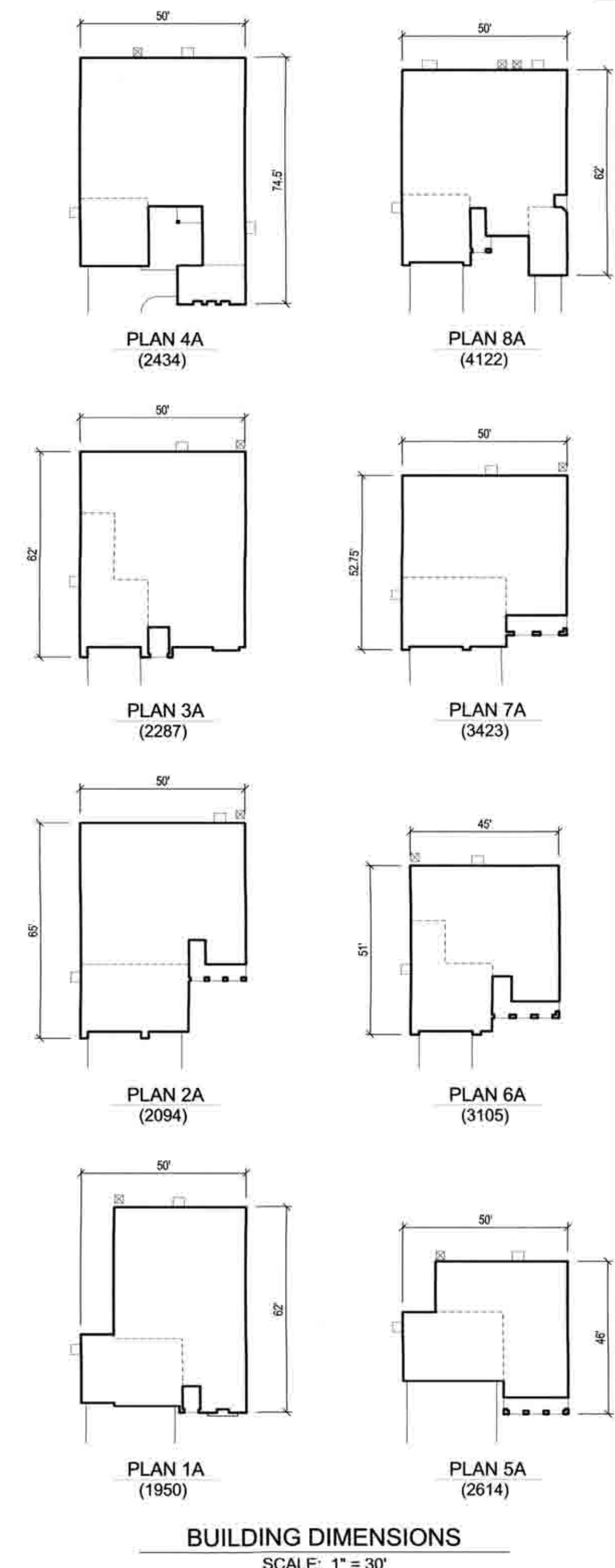
SHEET 4

SHEET 5



INDEX MAP
SCALE: 1" = 150'

CALIFORNIA STREET



BUILDING DIMENSIONS
SCALE: 1" = 30'



19 October 2018

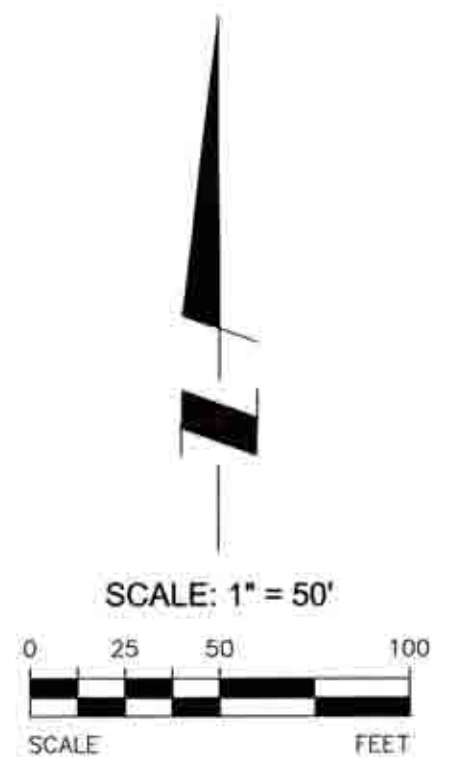
REV.	DESCRIPTION	DATE	BY	PREPARED BY	PLOT PLAN TITLE SHEET	SCALE
				OTTE-BERKELEY GROUPE, INC. 575 E. CARREON DRIVE COLTON, CALIFORNIA 92324-3000 TEL: (909) 370-0911 FAX: (909) 370-1211	TRACT No. 18990	N/A
					CLIENT: LENNAR HOMES 980 Montecito Drive, Corona, CA 92879	SHEET 1 OF 5
					DESIGNED BY: J.F. BERKELEY	JOB No.: 18003
					DRAWN BY: J.F. BERKELEY	
					CHECKED BY: R.R. OTTE	

LOT SUMMARY TABLE

LOT No.	AREA SF	PLAN No.	ELEV. No.	GARAGE HANDING	1st FLOOR SF	2nd FLOOR SF	TOTAL SF HABITABLE	GARAGE SF	PORCH SF	TOTAL SF COVERAGE	% LOT COVERAGE
1	8,359	3	A	L	2,287	0	2,287	624	44	2,955	35.4%
2	7,770	1	B	R	1,950	0	1,950	624	27	2,601	33.5%
3	7,770	4	C	L	2,434	0	2,434	639	38	3,111	40.0%
4	7,770	2	A	R	2,094	0	2,094	667	66	2,827	36.4%
5	7,770	1	B	L	1,950	0	1,950	624	27	2,601	33.5%
6	7,770	3	A	R	2,287	0	2,287	624	44	2,955	38.0%
7	7,770	2	C	L	2,094	0	2,094	667	66	2,827	36.4%
8	7,770	4	A	R	2,434	0	2,434	639	38	3,111	40.0%
9	7,770	1	C	L	1,950	0	1,950	624	27	2,601	33.5%
10	8,165	3	B	R	2,287	0	2,287	624	44	2,955	36.2%
11	7,631	2	A	R	2,094	0	2,094	667	66	2,827	37.0%
12	7,810	4	C	R	2,434	0	2,434	639	38	3,111	39.8%
13	8,629	1	B	L	1,950	0	1,950	624	27	2,601	30.1%
14	7,410	2	B	L	2,094	0	2,094	667	66	2,827	38.2%
15	7,381	3	C	R	2,287	0	2,287	624	44	2,955	40.0%
16	7,423	1	A	L	1,950	0	1,950	624	27	2,601	35.0%
17	7,770	4	B	R	2,434	0	2,434	639	38	3,111	40.0%
18	7,350	2	A	R	2,094	0	2,094	667	66	2,827	38.5%
19	7,381	3	B	L	2,287	0	2,287	624	44	2,955	40.0%
20	7,350	1	C	R	1,950	0	1,950	624	27	2,601	35.4%
21	7,770	4	A	L	2,434	0	2,434	639	38	3,111	40.0%
22	7,759	2	B	R	2,094	0	2,094	667	66	2,827	36.4%
23	7,887	4	C	R	2,434	0	2,434	639	38	3,111	39.4%
24	7,700	2	B	R	2,094	0	2,094	667	66	2,827	36.7%
25	7,700	3	C	L	2,287	0	2,287	624	44	2,955	38.4%
26	7,771	4	A	R	2,434	0	2,434	639	38	3,111	40.0%
27	7,771	1	B	L	1,950	0	1,950	624	27	2,601	33.5%
28	7,700	3	A	R	2,287	0	2,287	624	44	2,955	38.4%
29	7,771	4	C	L	2,434	0	2,434	639	38	3,111	40.0%
30	7,700	2	B	R	2,094	0	2,094	667	66	2,827	36.7%
31	7,771	3	C	L	2,287	0	2,287	624	44	2,955	38.0%
32	8,187	4	B	R	2,434	0	2,434	639	38	3,111	38.0%
33	8,208	1	B	L	1,950	0	1,950	624	27	2,601	31.7%
34	7,771	4	C	R	2,434	0	2,434	639	38	3,111	40.0%
35	7,700	3	B	L	2,287	0	2,287	624	44	2,955	38.4%
36	7,771	4	A	R	2,434	0	2,434	639	38	3,111	40.0%
37	7,700	3	C	L	2,287	0	2,287	624	44	2,955	38.4%
38	7,771	4	B	R	2,434	0	2,434	639	38	3,111	40.0%
39	7,730	3	A	L	2,287	0	2,287	624	44	2,955	38.2%
40	8,527	1	B	R	1,950	0	1,950	624	27	2,601	30.5%
41	13,003	4	A	R	2,434	0	2,434	639	38	3,111	23.9%
42	8,706	2	C	L	2,094	0	2,094	667	66	2,827	32.5%
43	7,443	1	A	R	1,950	0	1,950	624	27	2,601	34.9%
44	8,140	3	C	L	2,287	0	2,287	624	44	2,955	36.3%
45	7,777	4	B	R	2,434	0	2,434	639	38	3,111	40.0%
46	7,733	2	C	L	2,094	0	2,094	667	66	2,827	36.6%
47	7,960	3	B	R	2,287	0	2,287	624	44	2,955	37.6%
48	7,213	2	A	L	2,094	0	2,094	667	66	2,827	39.2%
49	7,210	1	C	R	1,950	0	1,950	624	27	2,601	36.1%
50	7,210	2	B	L	2,094	0	2,094	667	66	2,827	39.2%
51	7,210	1	A	R	1,950	0	1,950	624	27	2,601	36.1%
52	7,210	2	B	L	2,094	0	2,094	667	66	2,827	39.2%
53	7,210	1	C	R	1,950	0	1,950	624	27	2,601	36.1%
54	7,460	3	A	L	2,287	0	2,287	624	44	2,955	39.6%
55	7,234	2	C	R	2,094	0	2,094	667	66	2,827	39.1%
56	7,205	1	C	L	1,950	0	1,950	624	27	2,601	36.1%
57	7,700	2	A	L	2,094	0	2,094	667	66	2,827	36.7%
58	7,700	3	B	R	2,287	0	2,287	624	44	2,955	38.4%
59	7,700	1	A	L	1,950	0	1,950	624	27	2,601	33.8%
60	7,205	2	C	R	2,094	0	2,094	667	66	2,827	39.2%
61	7,315	6	A	L	1,386	1,719	3,105	636	32	2,054	28.1%
62	7,200	5	C	R	1,121	1,493	2,594	624	98	1,843	25.6%
63	7,315	7	B	R	1,754	1,669	3,423	659	110	2,523	34.5%
64	7,205	6	C	L	1,386	1,719	3,105	636	32	2,054	28.5%
65	7,700	5	B	L	1,121	1,493	2,594	624	98	1,843	23.9%
66	7,700	8	C	R	2,091	2,031	4,122	648	142	2,881	37.4%
67	7,205	6	B	L	1,386	1,719	3,105	636	32	2,054	28.5%
68	7,529	5	A	R	1,121	1,493	2,594	624	98	1,843	24.5%
69	7,386	7	C	R	1,754	1,669	3,423	659	110	2,523	34.2%
70	7,213	8	A	L	2,091	2,031	4,122	648	142	2,881	39.9%
71	7,220	5	A	R	1,121	1,493	2,594	624	98	1,843	25.5%
72	7,227	7	B	L	1,754	1,669	3,423	659	110	2,523	34.9%
73	7,234	8	C	R	2,091	2,031	4,122	648	142	2,881	39.8%
74	7,435	6	B	L	1,386	1,719	3,105	636	32	2,054	27.6%
75	7,349	6	A	R	1,386	1,719	3,105	636	32	2,054	27.9%

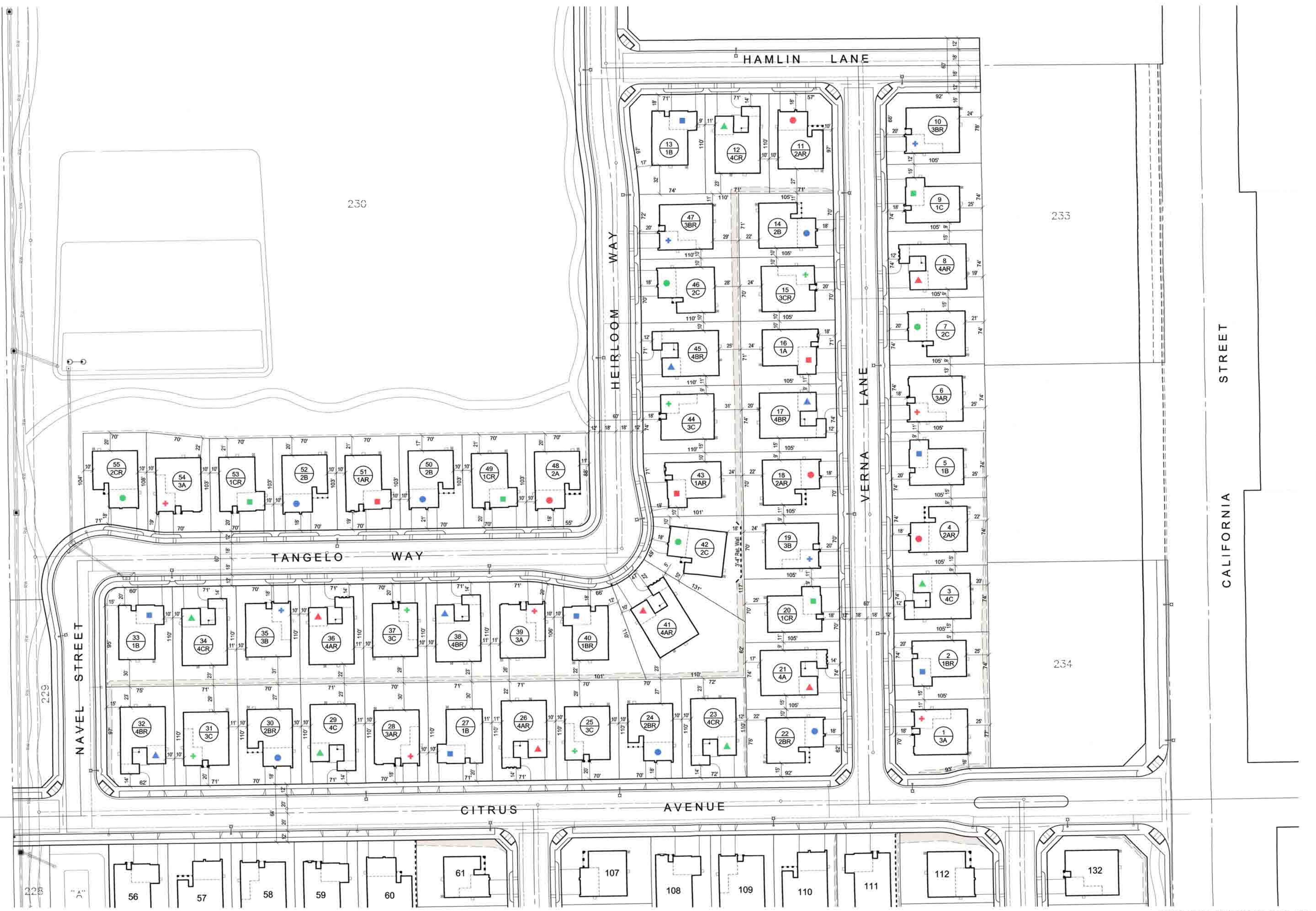
LOT SUMMARY TABLE

LOT No.	AREA SF	PLAN No.	ELEV. No.	GARAGE HANDING	1st FLOOR SF	2nd FLOOR SF	TOTAL SF HABITABLE	GARAGE SF	PORCH SF	TOTAL SF COVERAGE	% LOT COVERAGE
76	7,200	5	B	L	1,121	1,493	2,594	624	98	1,843	25.6%
77	7,200	7	C	R	1,754	1,669	3,423	659	110	2,523	35.0%
78	7,200	8	A	L	2,091	2,031	4,122	648	142	2,881	40.0%
79	7,200	5	B	R	1,121	1,493	2,594	624	98	1,843	25.6%
80	7,350	7	A	L	1,754	1,669	3,423	659	110	2,523	34.3%
81	7,350	6	C	R	1,386	1,719	3,105	636	32	2,054	27.9%
82	7,200	8	B	L	2,091	2,031	4,122	648	142	2,881	40.0%
83	7,200	5	C	R	1,121	1,493	2,594	624	98	1,843	25.6%
84	7,200	6	B	L	1,386	1,719	3,105	636	32	2,054	28.5%
85	7,200	8	C	R	2,091	2,031	4,122	648	142	2,881	40.0%
86	7,349	7	B	L	1,754	1,669	3,423	659	110	2,523	34.3%
87	7,349	7	A	R	1,754	1,669	3,423	659	110	2,523	34.3%
88	7,200	8	B	L	2,091	2,031	4,122	648	142	2,881	40.0%
89	7,200	6	C	R	1,386	1,719	3,105	636	32	2,054	28.5%
90	7,200	5	A	L	1,121	1,493	2,594	624	98	1,843	25.6%
91	7,200	8	C	R	2,091	2,031	4,122	648	142	2,881	40.0%
92	7,350	6	A	L	1,386	1,719	3,105	636	32	2,054	27.9%
93	8,329	7	C	R	1,754	1,669	3,423	659	110	2,523	30.3%
94	7,210	5	A	L	1,121	1,493	2,594	624	98	1,843	25.6%
95	7,210	7	B	R	1,754	1,669	3,423	659	110	2,523	35.0%
96	7,210	8	A	L	2,091	2,031	4,122	648	142	2,881	40.0%
97	7,210	5	C	R	1,121	1,493	2,594	624	98	1,843	25.6%
98	7,640	6	B	L	1,386	1,719	3,105	636	32	2,054	26.9%
99	7,640	6	C	R	1,386	1,719	3,105	636	32	2,054	26.9%
100	7,210	7	A	L	1,754	1,669	3,423	659	110	2,523	35.0%
101	7,210	8	C	R	2,091	2,031	4,122	648	142	2,881	40.0%
102	7,210	5	A	L	1,121	1,493	2,594	624	98	1,843	25.6%
103	7,210	8	C	R	2,091	2,031	4,122	648	142	2,881	40.0%
104	8,365	7	B	L	1,754	1,669	3,423	659	110	2,523	30.2%
105	7,315	6	B	L	1,386	1,719	3,105	636	32	2,054	28.1%
106	7,200	8	A	L	2,091	2,031	4,122	648	142	2,881	40.0%
107	7,315	7	C	R	1,754	1,669	3,423	659	110	2,523	34.5%
108	7,260	1	A	L	1,950	0	1,950	624	27	2,601	35.8%
109	7,440	3	B	R	2,287	0	2,287	624	44	2,955	38.4%
110	7,700	2	A	L	2,094	0	2,094	667	66	2,827	36.7%
111	7,700	1	C	R	1,950	0	1,950	624	27	2,601	33.8%
112	7,700	7	A	L	1,754	1,669	3,423	659	110	2,523	32.8%
113	7,210	5	C	R	1,121	1,493	2,594	624	98	1,843	25.6%
114	7,210	6	B	L	1,386	1,719	3,105	636	32	2,054	28.5%
115	7,210	8	A	R	2,091	2,031	4,122	648	142	2,881	40.0%
116	7,210	7	C	L	1,754	1,669	3,423	659	110	2,523	35.0%
117	7,210	5	B	R	1,121	1,493	2,594	624	98	1,843	25.6%
118	7,210	6	A	L	1,386	1,719	3,105	636	32	2,054	28.5%
119	7,210	8	B	R	2,091	2,031	4,122	648	142	2,881	40.0%
120	7,210	5	A	L	1,						



PLOTTING LEGEND

VALENCIA	HAMLIN	PLAN	SF	A - MEDITERRANEAN REVIVAL	B - MONTEREY	C - PRANSKY	D - ITALIANATE
		PLAN 1	1,950 SF	■	■	■	■
		PLAN 2	2,094 SF	■	■	■	■
		PLAN 3	2,287 SF	■	■	■	■
		PLAN 4	2,434 SF	■	■	■	■
		PLAN 5	2,614 SF	■	■	■	■
		PLAN 6	3,105 SF	■	■	■	■
		PLAN 7	3,423 SF	■	■	■	■
		PLAN 8	4,122 SF	■	■	■	■



SEE SHEET 4

PROJECT NUMBER: P18-106



19 October 2018

REV.	DESCRIPTION	DATE	BY

PREPARED BY

OTTE-BERKELEY GROUPE, INC.
 575 E. CARREON DRIVE
 COLTON, CALIFORNIA 92324-3000
 TEL: (909) 370-0911 FAX: (909) 370-1211

CLIENT:
LENNAR HOMES
 980 Montecito Drive Corona, CA 92879

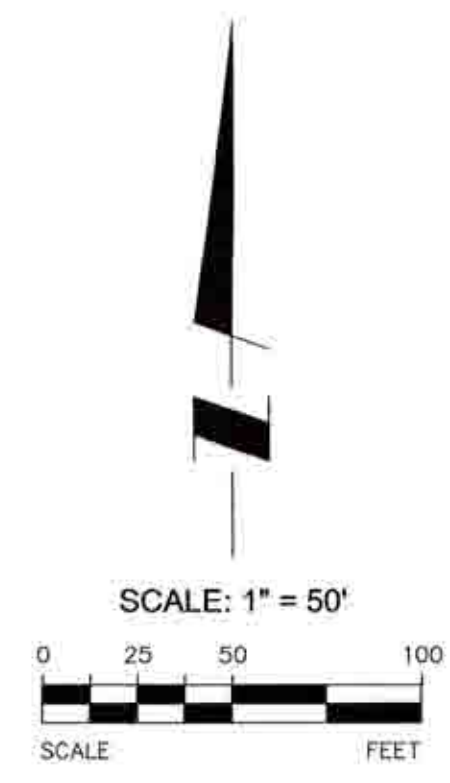
DESIGNED BY: **J.F. BERKELEY**
 DRAWN BY: **J.F. BERKELEY**
 CHECKED BY: **R.R. OTTE**

SCALE
 1" = 50'

SHEET
3
 OF
5

JOB No.:
18003

SEE SHEET 3



PLOTTING LEGEND

VALENCIA	HAMLIN	PLAN	SF	A. MEDITERRANEAN REVIVAL	B. MONTEREY	C. CRAFTSMAN	D. PRAIRIE	E. ITALIANATE
PLAN 1	1,950 SF	PLAN 1	1,950 SF	Red Square	Blue Square	Green Square	Yellow Square	Pink Square
PLAN 2	2,094 SF	PLAN 2	2,094 SF	Red Triangle	Blue Triangle	Green Triangle	Yellow Triangle	Pink Triangle
PLAN 3	2,287 SF	PLAN 3	2,287 SF	Red Circle	Blue Circle	Green Circle	Yellow Circle	Pink Circle
PLAN 4	2,434 SF	PLAN 4	2,434 SF	Red Diamond	Blue Diamond	Green Diamond	Yellow Diamond	Pink Diamond
PLAN 5	2,614 SF	PLAN 5	2,614 SF	Red Star	Blue Star	Green Star	Yellow Star	Pink Star
PLAN 6	3,105 SF	PLAN 6	3,105 SF	Red Hexagon	Blue Hexagon	Green Hexagon	Yellow Hexagon	Pink Hexagon
PLAN 7	3,423 SF	PLAN 7	3,423 SF	Red Octagon	Blue Octagon	Green Octagon	Yellow Octagon	Pink Octagon
PLAN 8	4,122 SF	PLAN 8	4,122 SF	Red Square	Blue Square	Green Square	Yellow Square	Pink Square



SEE SHEET 5

PROJECT NUMBER: P18-106



12 October 2018

REV.	DESCRIPTION	DATE	BY

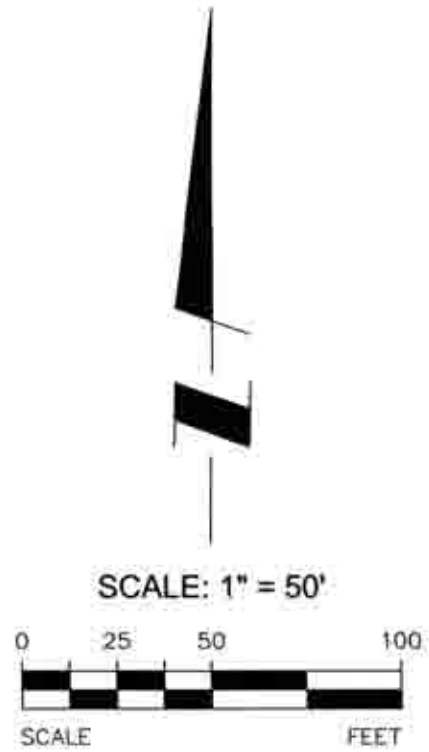
PREPARED BY

OTTE-BERKELEY GROUPE, INC.
 575 E. CARREON DRIVE
 COLTON, CALIFORNIA 92324-3000
 TEL: (909) 370-0911 FAX: (909) 370-1211

PLOT PLAN
LOTS 56 - 143 & 149 - 163
 TRACT No. 18990
 CLIENT:
LENNAR HOMES
 980 Montecito Drive, Corona, CA 92879
 DESIGNED BY: **J.F. BERKELEY** DRAWN BY: **J.F. BERKELEY** CHECKED BY: **R.R. OTTE**

SCALE
 1" = 50'
 SHEET
 4
 OF
 5
 JOB No.:
 18003

SEE SHEET 4



PLOTTING LEGEND

		A - MEDITERRANEAN REVIVAL				
		B - MONTEREY		C - PRADISE		
		D - CRAFTSMAN		E - TUDOR		
VALENCIA	PLAN 1	1,950 SF	■	■	■	■
	PLAN 2	2,094 SF	■	■	■	■
	PLAN 3	2,287 SF	■	■	■	■
	PLAN 4	2,434 SF	■	■	■	■
	PLAN 5	2,614 SF	■	■	■	■
	PLAN 6	3,105 SF	■	■	■	■
	PLAN 7	3,423 SF	■	■	■	■
	PLAN 8	4,122 SF	■	■	■	■

PROJECT NUMBER: P18-106



19 October 2018

REV.	DESCRIPTION	DATE	BY

PREPARED BY
OTTE-BERKELEY GROUPE, INC.
575 E. CARRON DRIVE
COLTON, CALIFORNIA 92324-3000
TEL: (909) 370-0911 FAX: (909) 370-1211

PLOT PLAN
LOTS 144 - 148 & 164 - 224
TRACT No. 18990
CLIENT: **LENNAR HOMES**
980 Montecito Drive Corona, CA 92879
DESIGNED BY: **J.F. BERKELEY** DRAWN BY: **J.F. BERKELEY** CHECKED BY: **R.R. OTTE**

SCALE
1" = 50'
SHEET
5
OF
5
JOB No.:
18003

TRACT NO. 18990

BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY, LUDWIG ENGINEERING ASSOCIATES, INC. JUNE, 2018

OWNER'S STATEMENT:

WE HEREBY STATE WE ARE THE ONLY PARTIES HAVING ANY RECORD TITLE INTEREST IN THE LAND SUBDIVIDED AS SHOWN ON THIS MAP WITHIN THE HEAVY BORDER LINE AND WE HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THIS TRACT MAP. WE HEREBY DEDICATE TO THE CITY OF LOMA LINDA FOR PUBLIC USE: CALIFORNIA STREET, CITRUS AVENUE, MISSION ROAD, ORANGE AVENUE, PARK AVENUE, STREETS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, AND Q. WE HEREBY RETAIN NUMBERED LOTS 54, 55, 162, 228, 229, 230 AND LETTERED LOTS "A" AND "B" FOR LANDSCAPING, RECREATIONAL, PUBLIC UTILITIES, AND DRAINAGE PURPOSES FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS TRACT. WE HEREBY DEDICATE TO THE CITY OF LOMA LINDA LOTS 231 AND 232 IN COMMON, AND LOTS 233 AND 234 IN COMMON, FOR FUTURE DEVELOPMENT.

LENNAR HOMES OF CALIFORNIA, INC., A CALIFORNIA CORPORATION

BY: _____, _____ DATE
MANAGER

NOTARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)
ON _____ 201__ BEFORE ME, _____
PERSONALLY APPEARED _____
INSERT NAME AND TITLE OF OFFICER

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: _____

PRINTED NAME: _____, MY COMMISSION EXPIRES _____

MY COMMISSION NO. _____ MY PRINCIPAL PLACE OF BUSINESS IS IN _____

COUNTY.

NOTARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)
ON _____ 201__ BEFORE ME, _____
PERSONALLY APPEARED _____
INSERT NAME AND TITLE OF OFFICER

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/they EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/their SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE: _____

PRINTED NAME: _____, MY COMMISSION EXPIRES _____

MY COMMISSION NO. _____ MY PRINCIPAL PLACE OF BUSINESS IS IN _____

COUNTY.

SIGNATURE OMISSIONS:

PURSUANT TO SECTION 86436 OF THE SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING OWNERS OF EASEMENTS AND/OR OTHER INTERESTS HAVE BEEN OMITTED, AS THEIR INTEREST IS SUCH THAT IT CANNOT RIPEN INTO A FEE.

EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED: EITHER OR BOTH POLE LINES, CONDUITS AND INCIDENTAL PURPOSES, RECORDED IN BOOK 291 OF DEEDS, PAGE 201 IN FAVOR OF SUNSET TELEPHONE AND TELEGRAPH COMPANY; ROADS AND PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED NOVEMBER 19, 1986 AS INSTRUMENT NO. 86-345572 OF OFFICIAL RECORDS IN FAVOR OF CITY OF LOMA LINDA; SAID EASEMENT IS HEREBY VACATED.

ENGINEER'S STATEMENT:

I, GLEN L. LUDWIG, HEREBY STATE THAT I AM A REGISTERED CIVIL ENGINEER OF THE STATE OF CALIFORNIA AND THAT THIS MAP CONSISTING OF TEN (10) SHEETS IS A TRUE AND COMPLETE REPRESENTATION OF A SURVEY MADE BY ME OR UNDER MY SUPERVISION AT THE REQUEST OF DEVELOPMENT SOLUTIONS LOMA, LLC, IN NOVEMBER, 2017 AND I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP AND THAT ALL MONUMENTS SHOWN HEREON ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR WILL BE SET IN SUCH POSITIONS ON OR BEFORE ONE (1) YEAR FROM MAP RECORDATION OF THIS TRACT MAP IN COMPLIANCE WITH SECTIONS 66495 AND 66462 OF THE SUBDIVISION MAP ACT AND ARE OR WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE _____

GLEN L. LUDWIG, RCE 13191
EXPIRES 3/31/19



CITY ENGINEER'S STATEMENT:

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP, AND THAT THE SUBDIVISION AS SHOWN THEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THEREOF AND THAT ALL OF THE PROVISIONS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH.

T. JARB THAIPEJR, R.C.E. 47907 DATED _____

REGISTRATION EXPIRES: DECEMBER 31, 2019
CITY ENGINEER, CITY OF LOMA LINDA

CITY SURVEYOR'S STATEMENT:

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP, AND FOUND THAT IT CONFORMS WITH THE MAPPING PROVISIONS OF THE SUBDIVISION MAP ACT AND I AM SATISFIED SAID MAP IS TECHNICALLY CORRECT.

DAVID O. KNELL, P.L.S. 5301 DATED _____

CITY SURVEYOR, CITY OF LOMA LINDA

CITY CLERK'S STATEMENT:

I HEREBY STATE THAT THE CITY COUNCIL OF THE CITY OF LOMA LINDA BY MOTION DULY SECONDED AND PASSED, APPROVED THIS MAP ON THE _____ DAY OF _____, AND ACCEPTED:

DEDICATION OF CALIFORNIA STREET, CITRUS AVENUE, MISSION ROAD, ORANGE AVENUE, PARK AVENUE, STREET A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, AND Q.

BY: _____ DATED: _____

PAMELA BYRNES-O'CAMB
CITY CLERK, CITY OF LOMA LINDA

AUDITOR'S CERTIFICATE:

I HEREBY CERTIFY THAT ACCORDING TO THE RECORDS OF THIS OFFICE, AS OF THIS DATE, THERE ARE NO LIENS AGAINST THE REAL PROPERTY SHOWN UPON THIS MAP FOR UNPAID STATE, COUNTY, MUNICIPAL, OR LOCAL TAXES, SPECIAL ASSESSMENTS COLLECTED AS TAXES, EXCEPT TAXES OR SPECIAL ASSESSMENTS, NOT YET PAYABLE, ESTIMATED TO BE \$ _____.

DATED: _____

OSCAR VALDEZ
AUDITOR-CONTROLLER/TREASURER/TAX COLLECTOR
COUNTY OF SAN BERNARDINO, CALIFORNIA

BY: _____, DEPUTY

BOARD OF SUPERVISOR'S CERTIFICATE:

I HEREBY CERTIFY THAT A BOND IN THE SUM OF \$ _____ HAS BEEN EXECUTED AND FILED WITH THE BOARD OF SUPERVISORS OF THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, CONDITIONED UPON PAYMENT OF ALL TAXES, STATE, COUNTY, MUNICIPAL OR LOCAL, AND ALL SPECIAL ASSESSMENTS, COLLECTED AS TAXES WHICH AT THE TIME OF FILING OF THIS MAP WITH THE COUNTY RECORDER ARE A LIEN AGAINST SAID PROPERTY, BUT NOT YET PAYABLE AND THAT THE SUBDIVIDER HAS FILED WITH ME A CERTIFICATE BY THE PROPER OFFICER GIVING HIS/HER ESTIMATE OF THE AMOUNT OF SAID TAXES AND SPECIAL ASSESSMENTS, AND SAID BOND IS HEREBY ACCEPTED.

DATED: _____, 201__

LAURA H. WELCH
CLERK OF THE BOARD OF SUPERVISORS
OF THE COUNTY OF SAN BERNARDINO

BY: _____, DEPUTY

THIS MAP HAS BEEN FILED UNDER DOCUMENT NO. _____, THIS _____ DAY OF _____, 201__ AT _____ M, IN BOOK _____, OF TRACT MAPS AT PAGES _____, AT THE REQUEST OF CAL-88 VENTURE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY IN THE AMOUNT OF \$ _____.

BOB DUTTON
ASSESSOR-RECORDER
COUNTY OF SAN BERNARDINO

BY: _____
DEPUTY RECORDER

TRACT NO. 18990

BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY.
LUDWIG ENGINEERING ASSOCIATES, INC.
JUNE, 2018

ENGINEER'S NOTES:

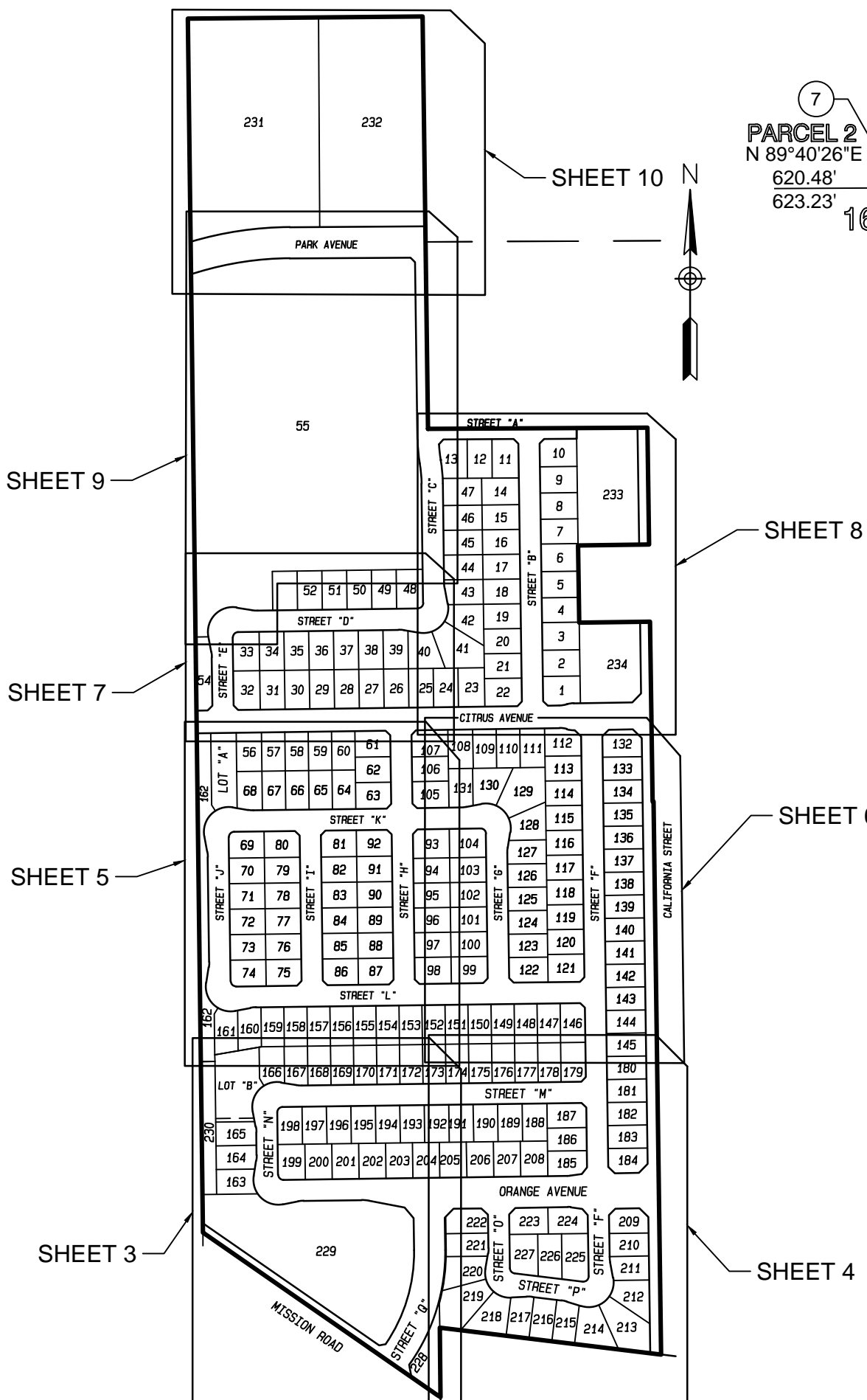
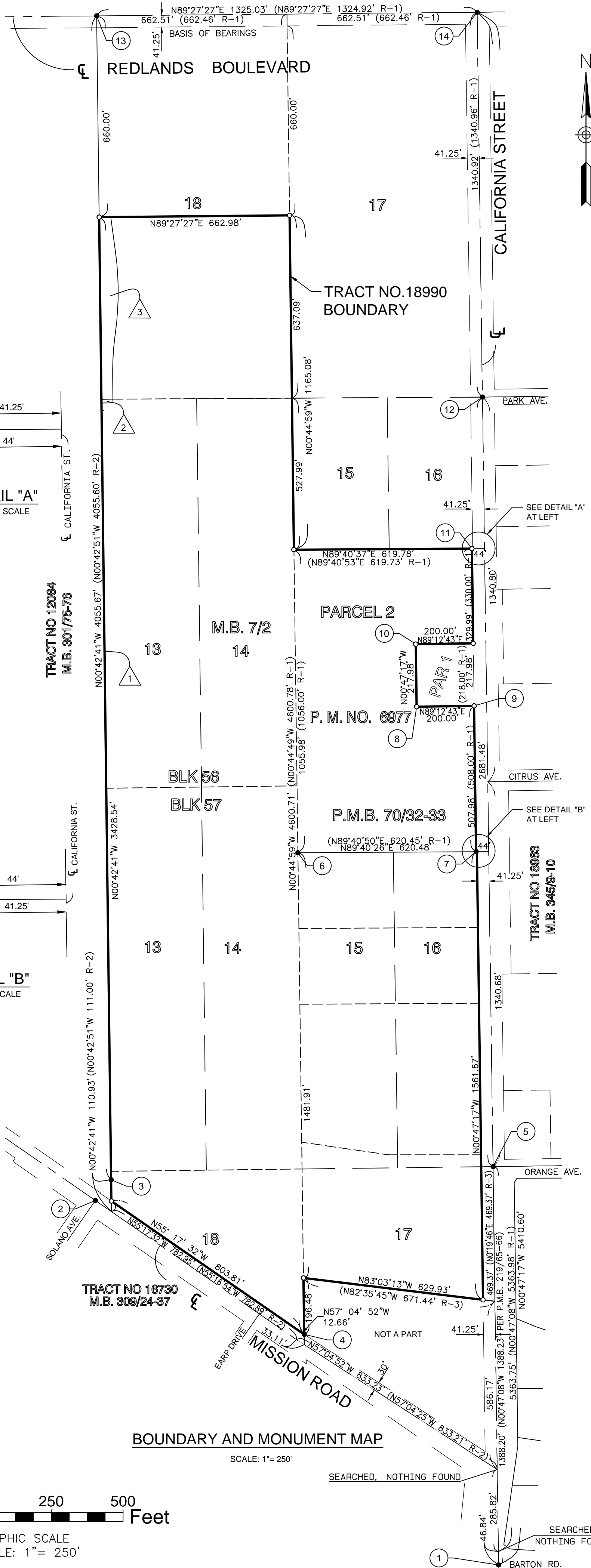
1. THE BASIS OF BEARINGS FOR THIS TRACT IS THE CENTERLINE OF REDLANDS BOULEVARD BEING N89°27'27"E PER PARCEL MAP NO. 6977, P.M.B. 70/32-33.
2. ● INDICATES MONUMENT FOUND AS NOTED.
3. ○ INDICATES SET 1" IP W/ PLASTIC PLUG, R.C.E. 13191, FLUSH. SET SPIKE AND WASHER, RCE 13191, ON CENTERLINE OF STREETS.
4. A 1" IP WITH PLASTIC PLUG, STAMPED R.C.E. 13191 WILL BE SET AT ALL REAR LOT CORNERS, UNLESS OTHERWISE NOTED.
5. A NAIL AND BRASS TAG STAMPED R.C.E. 13191 WILL BE SET IN THE CONCRETE CURB ON THE PROLONGATION OF THE SIDE LOT LINES IN LIEU OF THE FRONT LOT CORNERS.
6. IN THE EVENT THE ABOVE TYPE OF MONUMENTS CANNOT BE SET DUE TO UNFORESEEN CIRCUMSTANCES, A TAG MARKED R.C.E. 13191 WILL BE AFFIXED IN CONCRETE, STONE OR METAL AT THE TRUE POSITION CALLED FOR BY THIS MAP.
7. ALL FOUND MONUMENTS DISTURBED AND/OR DESTROYED AS A RESULT OF CONSTRUCTION WILL BE RESET WITH LIKE KIND TAGGED R.C.E. 13191, UNLESS OTHERWISE NOTED.
8. (R-1) INDICATES RECORD DATA PER PARCEL MAP NO. 6977, P.M.B. 70/32-33.
9. (R-2) INDICATES RECORD DATA PER RECORD OF SURVEY 06-148, R.S. 143/91-92.
10. (R-3) INDICATES RECORD DATA PER DOC# 2018-0234840 DATED 6/28/2018.
11. THIS TRACT CONTAINS 91.69 ACRES, 234 NUMBERED LOTS, LETTERED LOTS "A" AND "B" AND PUBLIC STREETS SHOWN HEREON.
12. IP INDICATES IRON PIPE.
13. PP INDICATES PLASTIC PLUG.
14. # INDICATES MONUMENT NOTE NUMBER.
15. (R) INDICATES RADIAL BEARING.
16. PRC INDICATES POINT OF REVERSE CURVE.

EASEMENT NOTES:

1. AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS AND INCIDENTAL PURPOSES, RECORDED IN BOOK 291 OF DEEDS, PAGE 201.
2. AN EASEMENT FOR ROADS AND PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 19, 1986 AS INSTRUMENT NO. 86-345572 OF OFFICIAL RECORDS.
3. AN EASEMENT FOR ROADS AND PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 19, 1986 AS INSTRUMENT NO. 86-345573 OF OFFICIAL RECORDS.

MONUMENT NOTES:

1. FD. 1" IP W/ PP, ILLEGIBLE, IN LIEU OF 1" IP TAGGED "PLS 3821" PER PARCEL MAP 17598, P.M.B. 219/65-66.
2. FD. 1" IP W/ PP, ILLEGIBLE, PER TRACT 16730 M.B.309/24-37, ACCEPTED AS C/L INT. OF SOLANO AVENUE & MISSION ROAD.
3. FD. 1 1/4" IP WITH NAIL, PER R-2.
4. FD. 1" IP TAGGED "LS 2499", DN. 0.80', PER R-1.
5. FD. 1" IP W/ PP ILLEGIBLE, IN LIEU OF 1" IP TAGGED "PLS 3821", PER P.M.B. 219/65-66, OFF S89°12'43"W 0.08'.
6. FD. 1" IP W/ PP TAGGED RCE 8591, DOWN 1.0', IN LIEU OF "LS 2851", ACCEPTED AS SW CORNER OF PARCEL 2, PER R-1.
7. FD. 1" IP OPEN, DOWN 0.8', ACCEPTED AS SE CORNER OF PARCEL 2 PER R-1.
8. FD. 1" IP W/ PP TAGGED RCE 8591 IN LIEU OF "LS 2851", DOWN 0.2', OFF S 18°48'41"W 0.45' PER R-1.
9. FD. 1" IP W/ PP TAGGED RCE 8591 IN LIEU OF "LS 2851", DOWN 0.5', OFF S 19°21'30"W 0.46' PER R-1.
10. FD. 1" IP OPEN, DOWN 0.9', OFF S 61°08'35"W 0.41', PER R-1.
11. FD. 1" IP WITH PP TAGGED "LS 2851" DOWN 0.8', PER R-1.
12. FD. 1" IP TAGGED "LS 3490", DOWN 0.30', OFF 0.38' WEST, HELD FOR LINE PER R-2.
13. FD. CHISELED "X" IN CONCRETE, PER R-1.
14. FD. LEAD & TACK, DOWN 0.20', PER R-1.



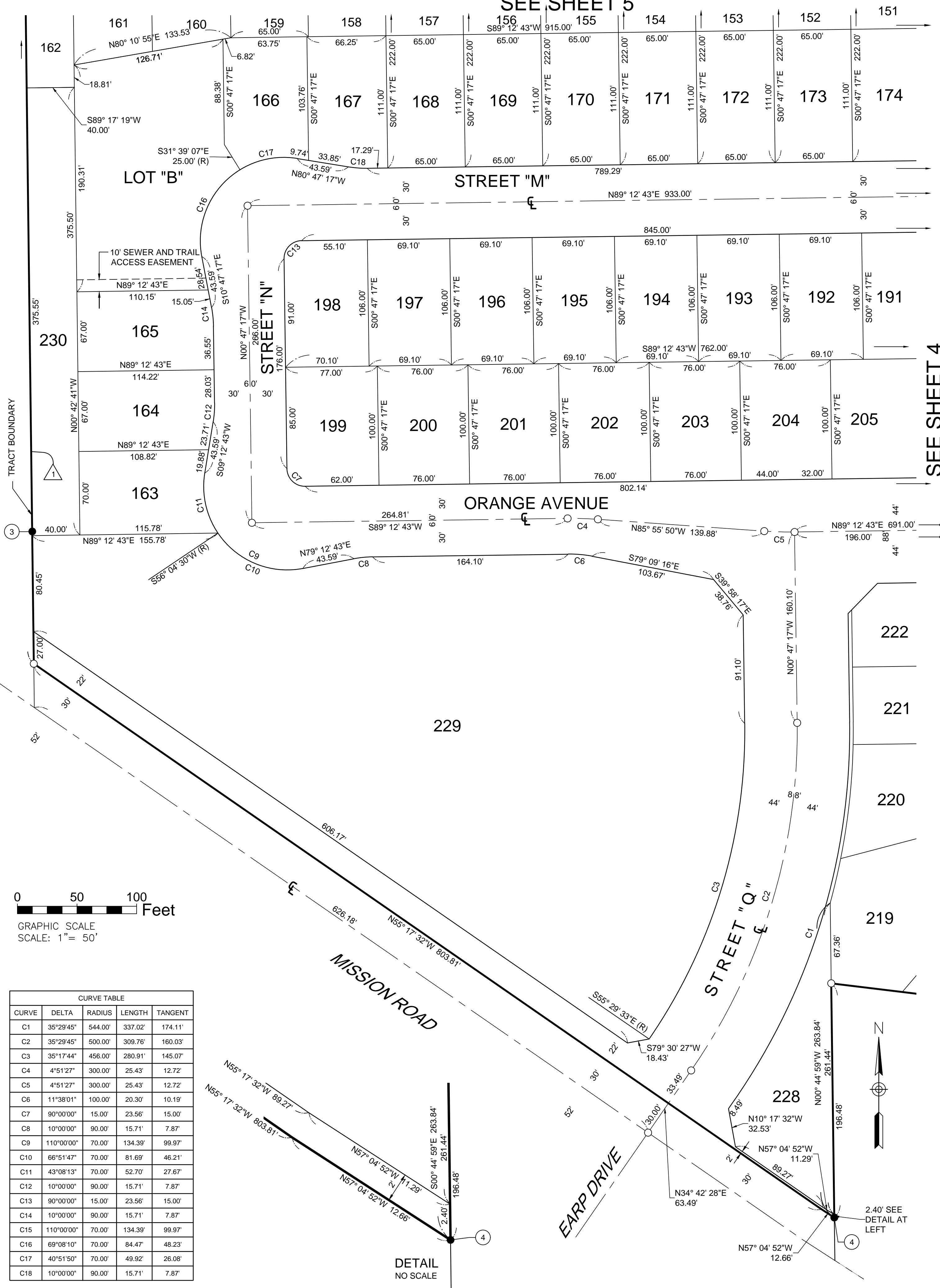
TRACT NO. 18990

BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY.

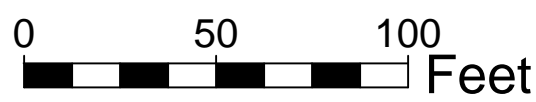
LUDWIG ENGINEERING ASSOCIATES, INC.

JUNE, 2018

SEE SHEET 5



SEE SHEET 4



GRAPHIC SCALE
SCALE: 1" = 50'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	35°29'45"	544.00'	337.02'	174.11'
C2	35°29'45"	500.00'	309.76'	160.03'
C3	35°17'44"	456.00'	280.91'	145.07'
C4	4°51'27"	300.00'	25.43'	12.72'
C5	4°51'27"	300.00'	25.43'	12.72'
C6	11°38'01"	100.00'	20.30'	10.19'
C7	90°00'00"	15.00'	23.56'	15.00'
C8	10°00'00"	90.00'	15.71'	7.87'
C9	110°00'00"	70.00'	134.39'	99.97'
C10	66°51'47"	70.00'	81.69'	46.21'
C11	43°08'13"	70.00'	52.70'	27.67'
C12	10°00'00"	90.00'	15.71'	7.87'
C13	90°00'00"	15.00'	23.56'	15.00'
C14	10°00'00"	90.00'	15.71'	7.87'
C15	110°00'00"	70.00'	134.39'	99.97'
C16	69°08'10"	70.00'	84.47'	48.23'
C17	40°51'50"	70.00'	49.92'	26.08'
C18	10°00'00"	90.00'	15.71'	7.87'

DETAIL
NO SCALE



219

222

221

220

219

228

229

2.40' SEE
DETAIL AT
LEFT

TRACT NO. 18990

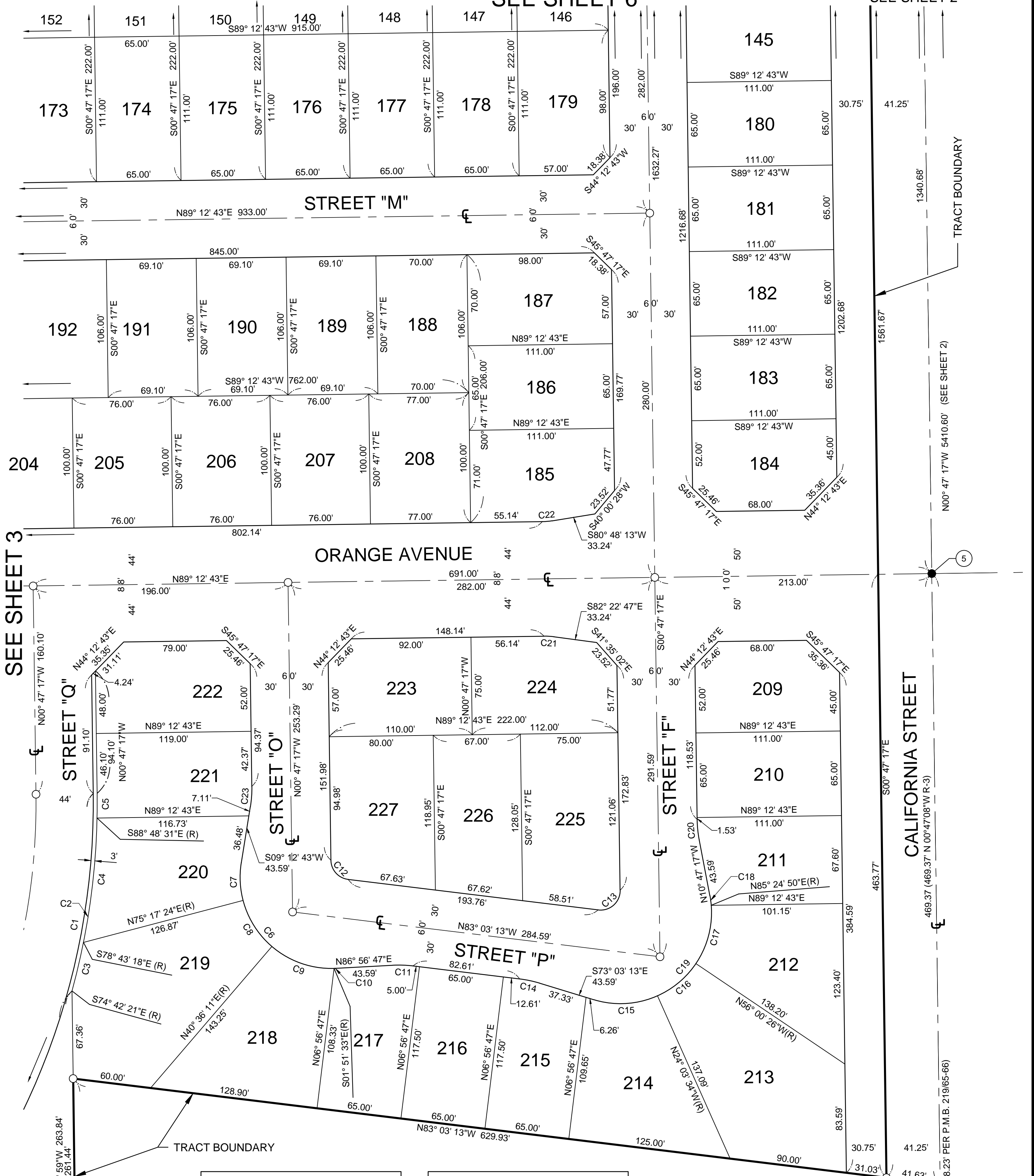
BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY.

LUDWIG ENGINEERING ASSOCIATES, INC.

SEE SHEET 6

JUNE, 2018

SEE SHEET 2



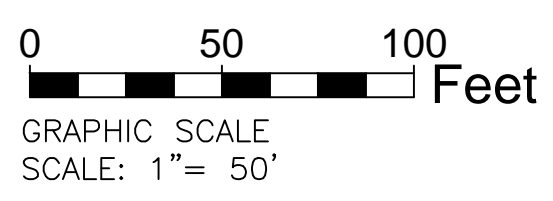
SEE SHEET 3

CALIFORNIA STREET

SEE SHEET 2

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	35°29'45"	544.00'	337.02'	174.11'
C2	16°04'56"	547.00'	153.54'	77.28'
C3	4°00'57"	547.00'	38.34'	19.18'
C4	10°05'12"	547.00'	96.30'	48.27'
C5	1°58'47"	547.00'	18.90'	9.45'
C6	102°15'56"	70.00'	124.94'	86.85'
C7	23°55'19"	70.00'	29.23'	14.83'
C8	34°41'13"	70.00'	42.38'	21.86'
C9	42°27'44"	70.00'	51.87'	27.20'
C10	1°11'40"	70.00'	1.46'	0.73'
C11	10°00'00"	90.00'	15.71'	7.87'
C12	82°15'56"	15.00'	21.54'	13.10'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C13	97°44'04"	15.00'	25.59'	17.17'
C14	10°00'00"	90.00'	15.71'	7.87'
C15	41°00'21"	70.00'	50.10'	26.18'
C16	31°56'52"	70.00'	39.03'	20.04'
C17	38°34'44"	70.00'	47.13'	24.50'
C18	6°12'07"	70.00'	7.58'	3.79'
C19	117°44'04"	70.00'	143.84'	115.89'
C20	10°00'00"	90.00'	15.71'	7.87'
C21	8°24'30"	52.00'	7.63'	3.82'
C22	8°24'30"	52.00'	7.63'	3.82'
C23	10°00'00"	90.00'	15.71'	7.87'



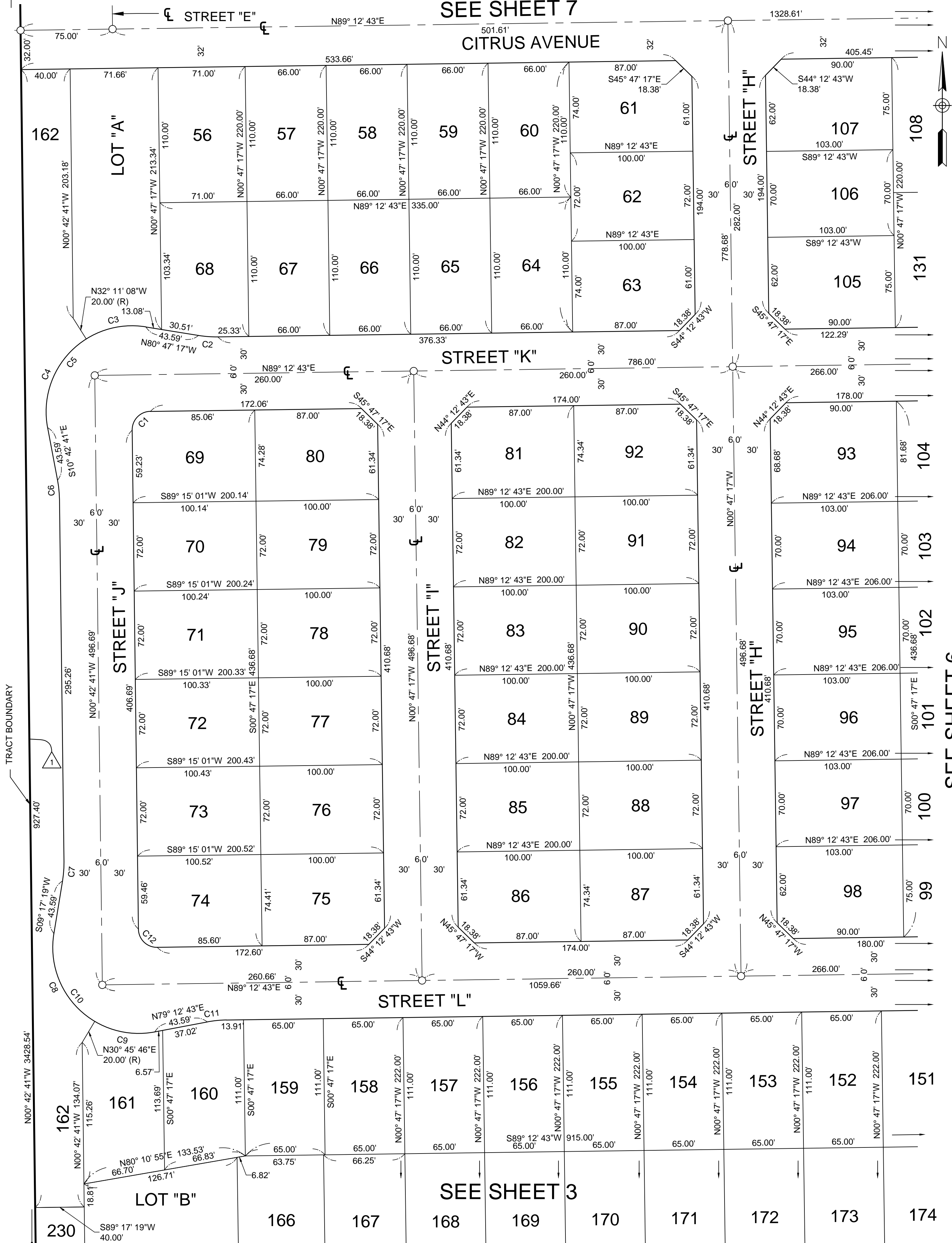
SEE SHEET 2

TRACT NO. 18990

BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY.
LUDWIG ENGINEERING ASSOCIATES, INC. JUNE, 2018

SEE SHEET 2

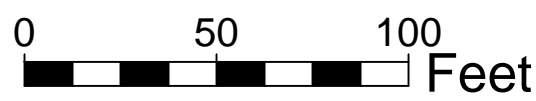
SEE SHEET 7



SEE SHEET 6

SEE SHEET 2

SEE SHEET 3



GRAPHIC SCALE
SCALE: 1" = 50'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	89°55'24"	15.00'	23.54'	14.98'
C2	10°00'00"	90.00'	15.71'	7.87'
C3	41°23'51"	70.00'	50.58'	26.45'
C4	68°31'33"	70.00'	83.72'	47.68'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C5	109°55'24"	70.00'	134.30'	99.83'
C6	10°00'00"	90.00'	15.71'	7.87'
C7	10°00'00"	90.00'	15.71'	7.87'
C8	68°31'33"	70.00'	83.72'	47.68'

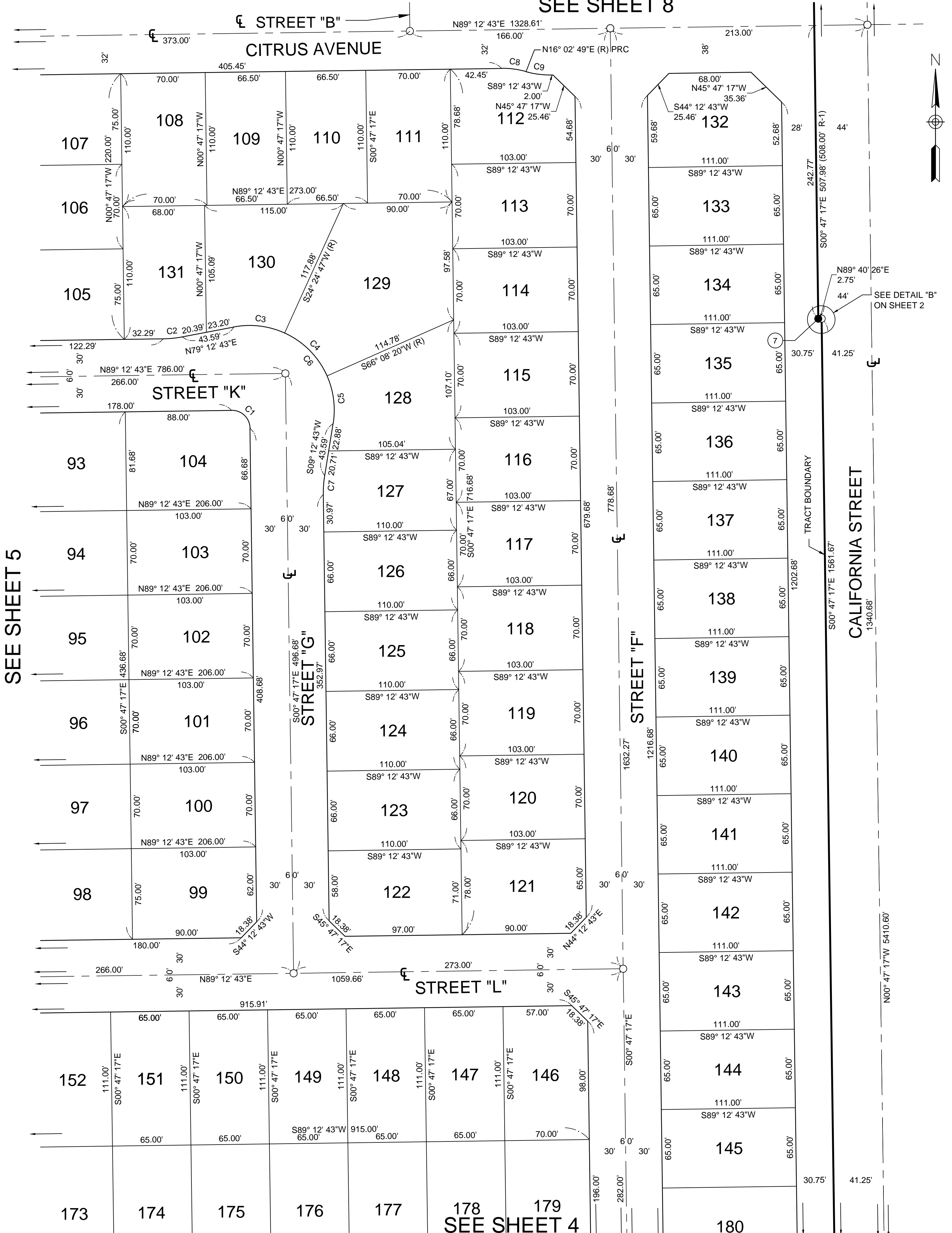
CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C9	41°33'03"	70.00'	50.76'	26.56'
C10	110°04'35"	70.00'	134.48'	100.11'
C11	10°00'00"	90.00'	15.71'	7.87'
C12	90°04'36"	15.00'	23.58'	15.02'

TRACT NO. 18990

BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY.
LUDWIG ENGINEERING ASSOCIATES, INC. JUNE, 2018

SEE SHEET 8

SEE SHEET 2

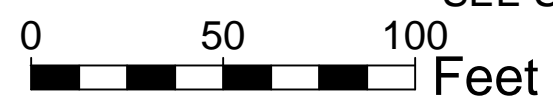


SEE SHEET 5

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	90°00'00"	15.00'	23.56'	15.00'
C2	10°00'00"	90.00'	15.71'	7.87'
C3	35°12'04"	70.00'	43.00'	22.21'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C4	41°43'33"	70.00'	50.98'	26.68'
C5	33°04'23"	70.00'	40.41'	20.78'
C6	110°00'00"	70.00'	134.39'	99.97'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C7	10°00'00"	90.00'	15.71'	7.87'
C8	16°50'06"	70.00'	20.57'	10.36'
C9	16°50'06"	70.00'	20.57'	10.36'



GRAPHIC SCALE
SCALE: 1" = 50'

SEE SHEET 2

178 SEE SHEET 4

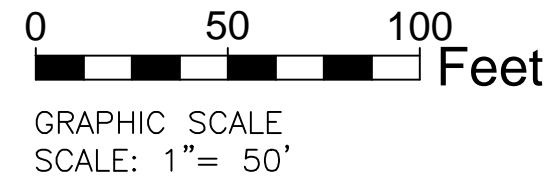
CALIFORNIA STREET



TRACT NO. 18990

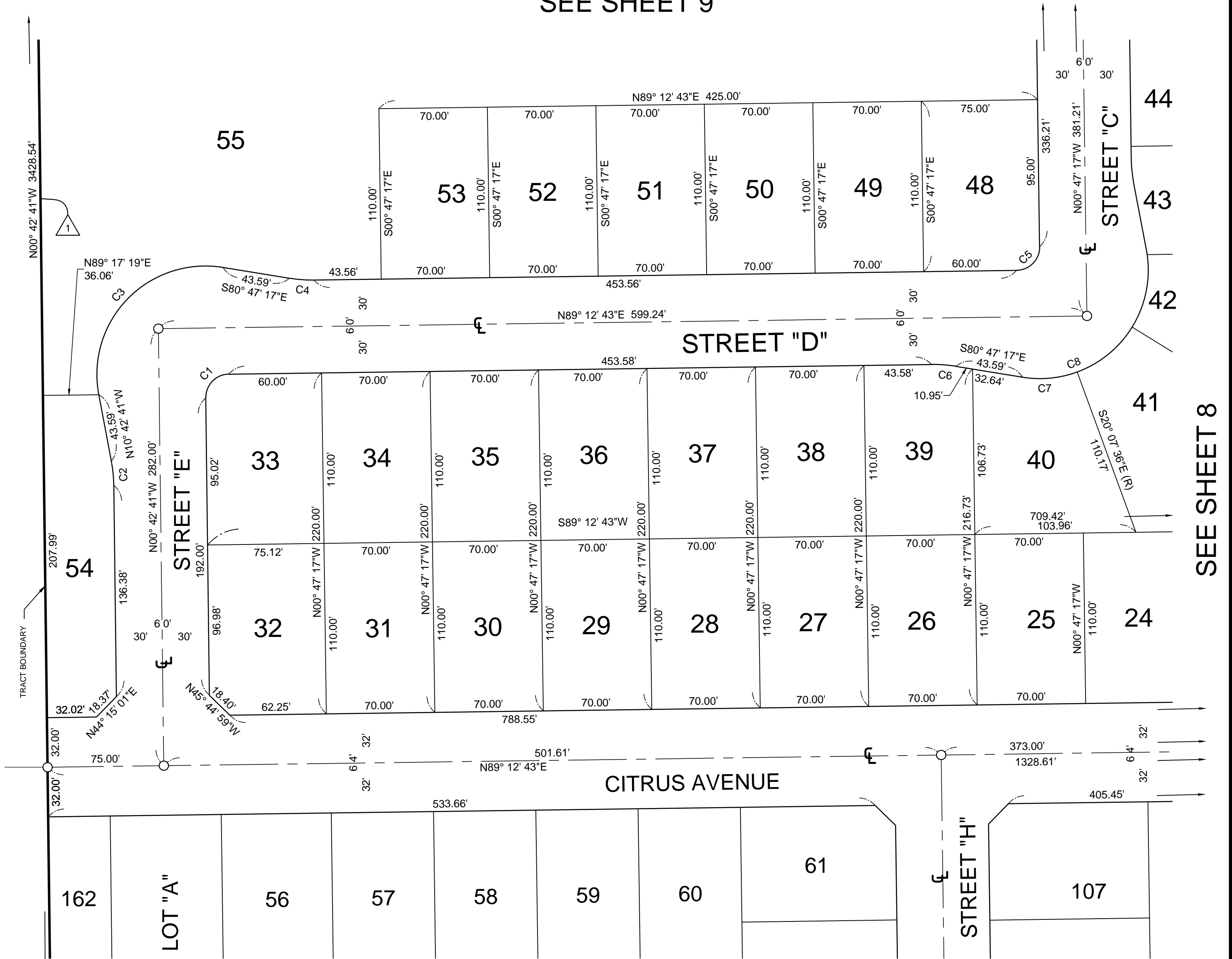
BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY, LUDWIG ENGINEERING ASSOCIATES, INC. JUNE, 2018

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	89°55'24"	15.00'	23.54'	14.98'
C2	10°00'00"	90.00'	15.71'	7.87'
C3	109°55'24"	70.00'	134.30'	99.83'
C4	10°00'00"	90.00'	15.71'	7.87'
C5	90°00'00"	15.00'	23.56'	15.00'
C6	10°00'00"	90.00'	15.71'	7.87'
C7	29°20'19"	70.00'	35.84'	18.32'
C8	110°00'00"	70.00'	134.39'	99.97'



SEE SHEET 2

SEE SHEET 9



SEE SHEET 8

SEE SHEET 2

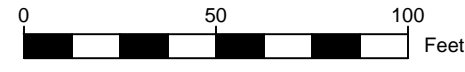
SEE SHEET 5

TRACT NO. 18990

BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY.
LUDWIG ENGINEERING ASSOCIATES, INC. JUNE, 2018

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	16°50'06"	70.00'	20.57'	10.36'
C2	16°50'06"	70.00'	20.57'	10.36'
C3	16°50'06"	70.00'	20.57'	10.36'
C4	16°50'06"	70.00'	20.57'	10.36'
C5	38°12'01"	70.00'	46.67'	24.24'
C6	39°50'53"	70.00'	48.69'	25.37'
C7	2°36'46"	70.00'	3.19'	1.60'
C8	10°00'00"	90.00'	15.71'	7.87'
C9	110°00'00"	70.00'	134.39'	99.97'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C10	8°57'59"	400.00'	62.60'	31.36'
C11	8°57'59"	400.00'	62.60'	31.36'
C12	8°57'59"	370.00'	57.90'	29.01'
C13	9°00'17"	430.00'	67.58'	33.86'
C14	8°57'59"	430.00'	67.29'	33.71'
C15	6°52'30"	370.00'	44.40'	22.22'
C16	1°57'24"	430.00'	14.68'	7.34'
C17	7°00'35"	430.00'	52.61'	26.34'



GRAPHIC SCALE
SCALE: 1" = 50'

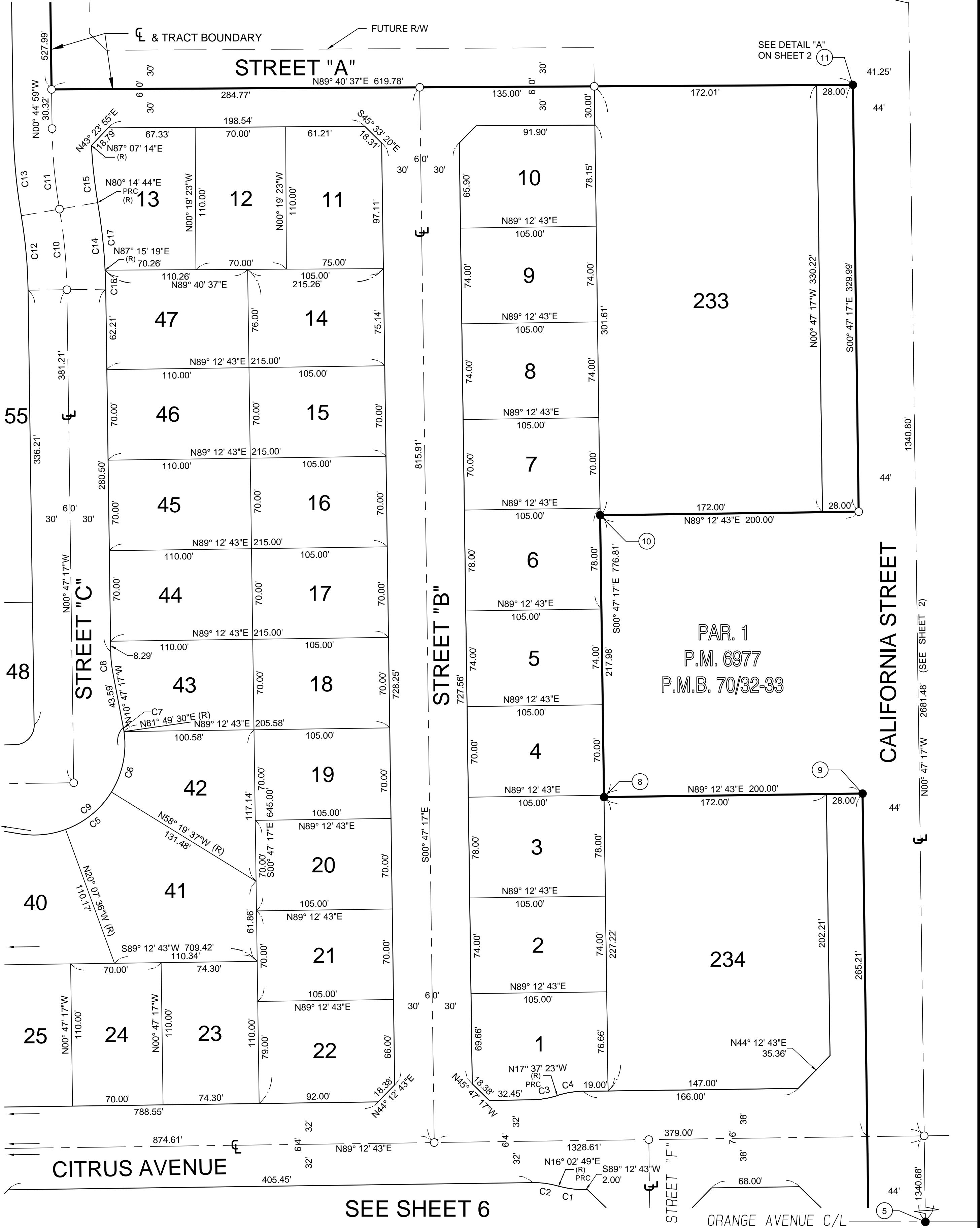


PARK AVENUE C/L

SEE SHEET 9

SEE SHEET 7

SEE DETAIL "A" ON SHEET 2



SEE SHEET 6

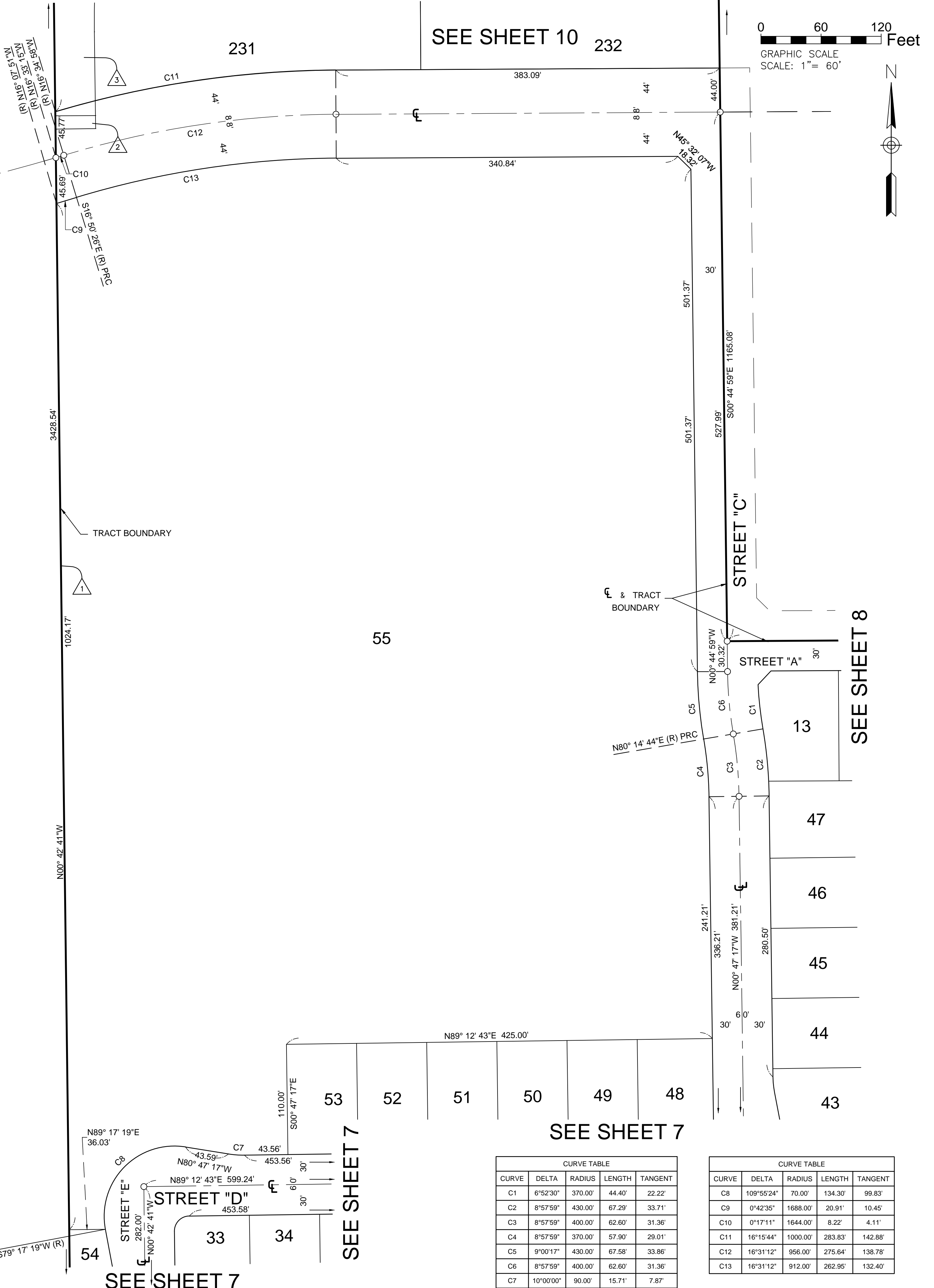
PAR. 1
P.M. 6977
P.M.B. 70/32-33

ORANGE AVENUE C/L

TRACT NO. 18990

BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY.
LUDWIG ENGINEERING ASSOCIATES, INC. JUNE, 2018

SEE SHEET 2



CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	6°52'30"	370.00'	44.40'	22.22'
C2	8°57'59"	430.00'	67.29'	33.71'
C3	8°57'59"	400.00'	62.60'	31.36'
C4	8°57'59"	370.00'	57.90'	29.01'
C5	9°00'17"	430.00'	67.58'	33.86'
C6	8°57'59"	400.00'	62.60'	31.36'
C7	10°00'00"	90.00'	15.71'	7.87'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C8	109°55'24"	70.00'	134.30'	99.83'
C9	0°42'35"	1688.00'	20.91'	10.45'
C10	0°17'11"	1644.00'	8.22'	4.11'
C11	16°15'44"	1000.00'	283.83'	142.88'
C12	16°31'12"	956.00'	275.64'	138.78'
C13	16°31'12"	912.00'	262.95'	132.40'

SEE SHEET 7

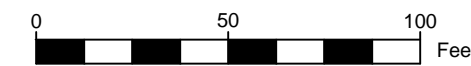
SEE SHEET 7

SEE SHEET 7

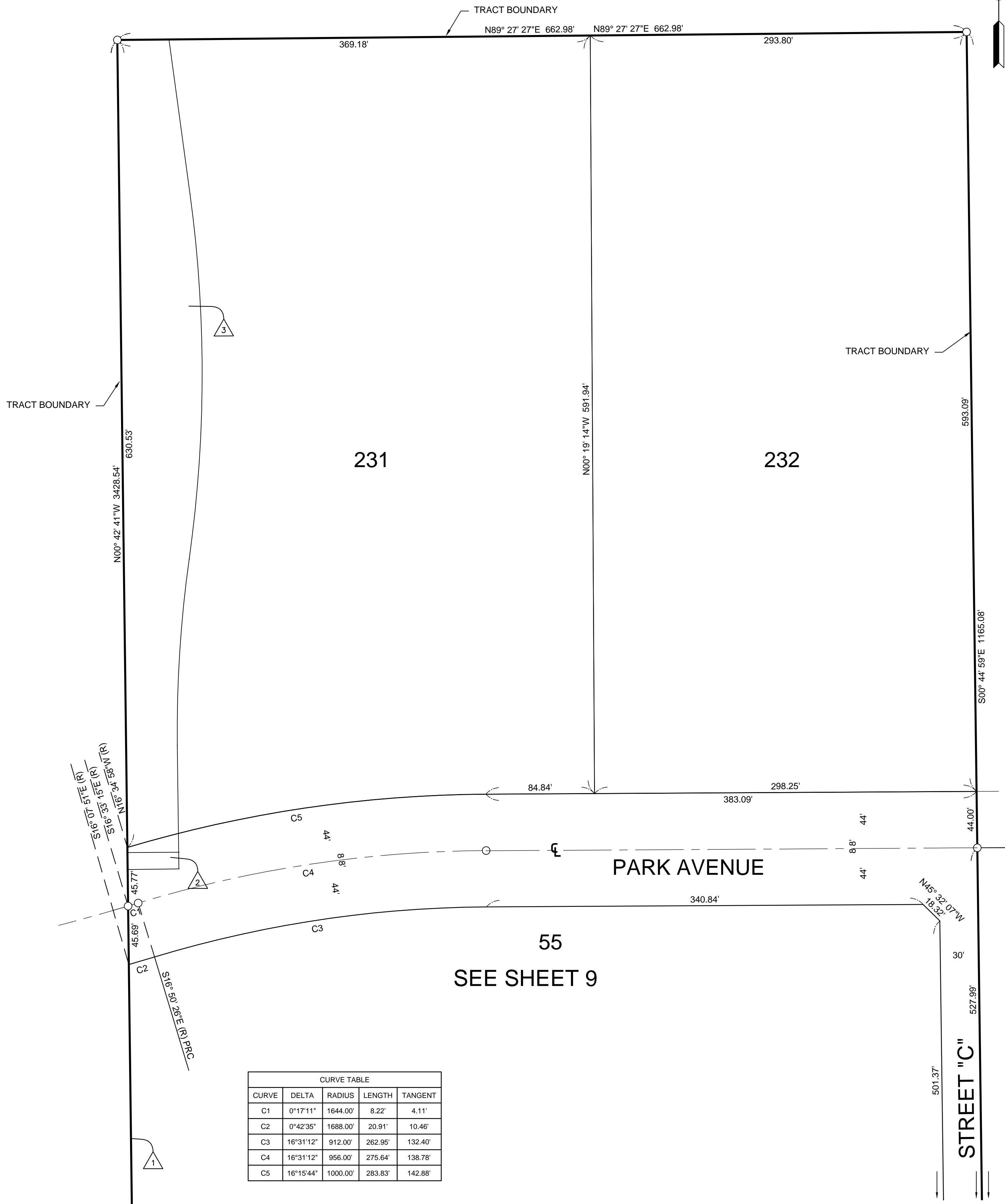
SEE SHEET 8

TRACT NO. 18990

BEING A SUBDIVISION OF PARCEL 2, P.M. 6977, P.M.B. 70 PAGES 32-33, AND PORTIONS OF LOTS 13, 14, AND 18, BLOCK 56, AND PORTIONS OF LOTS 13, 14, 15, 16, 17 AND 18, BLOCK 57, PER MAP RECORDED IN BOOK 7, PAGE 2, IN RANCHO SAN BERNARDINO, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND, RECORDS OF SAID COUNTY, LUDWIG ENGINEERING ASSOCIATES, INC. JUNE, 2018



GRAPHIC SCALE
SCALE: 1" = 50'



CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	0°17'11"	1644.00'	8.22'	4.11'
C2	0°42'35"	1688.00'	20.91'	10.46'
C3	16°31'12"	912.00'	262.95'	132.40'
C4	16°31'12"	956.00'	275.64'	138.78'
C5	16°15'44"	1000.00'	283.83'	142.88'

SEE SHEET 2

Please note, the additional and revised conditions for Precise Plan of Design No. P18-106 start on page 14.

CONDITIONS OF APPROVAL

TENTATIVE TRACT MAP NO. 15-088 (TTM 18990)
(APNS 0292-111-14, 22 & 50 and 0292-122-14, 15, 16, 17, 20 & 32)

AND

ZONE CHANGE/MAP AMENDMENT NO. 15-087 (CITRUS TRAILS MASTER PLAN)
(APNS 0292-111-12, 14, 17, 22, 46, 49 & 50 and 0292-122-14, 15, 16, 17, 20 & 32)

KEY: Each condition applies as marked []:

TM = Tract Map;

MP = Citrus Trails Master Plan (CTMP), including each individual implementing development project by Planning Area

COMMUNITY DEVELOPMENT DEPARTMENT

General

1. [TM] Within two years of this approval, the Tentative Tract Map shall be exercised or the permit/approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one year, the permit/approval shall become null and void.

PROJECT:

Tentative Tract Map No. 15-088 (TTM 18990)

EXPIRATION DATE:

August 1, 2019

2. [TM] The review authority may, upon application being filed 30 days prior to the expiration date and for good cause, grant a one-time extension not to exceed 12 months. The review authority shall ensure that the project complies with all current Development Code provisions.
3. [TM, MP] In the event that this approval is legally challenged, the City will promptly notify the applicant of any claim or action and will cooperate fully in the defense of the matter. Once notified, the applicant agrees to defend, indemnify, and hold harmless the City, their affiliate's officers, agents and employees from any claim, action or proceeding against the City of Loma Linda. The applicant further agrees to reimburse the City of any costs and attorneys' fees, which the City may be required by a court to pay as a result of such action, but such participation shall not relieve applicant of his or her obligation under this condition.
4. [TM, MP] Approval of TTM No. 15-088 and ZMA No. 15-087 is contingent upon the applicant signing and returning an "Agreement to Conditions Imposed" form as established by the Community Development Department.
5. [TM, MP] Construction shall be in substantial conformance with the plan(s) approved by the City Council. Minor modification to the TTM plan(s) shall be subject to approval by the Director through a minor administrative variation process. Any modification that exceeds 10% of the following allowable measurable design/site considerations shall require the refiling of the original application and a subsequent hearing by the appropriate hearing review authority if applicable. Minor modification to any plan(s) implementing the CTMP shall be subject to the provisions of Section II.H of the adopted *Citrus Trails Master Plan*.
6. [TM, MP] No vacant, relocated, altered, repaired or hereafter erected structure shall be occupied or no change of use of land or structure(s) shall be inaugurated, or no new business

commenced as authorized by this permit until a Certificate of Occupancy has been issued by the Building Division. A Temporary Certificate of Occupancy may be issued by the Building Division subject to the conditions imposed on the use, provided that a deposit is filed with the Community Development Department prior to the issuance of the Certificate, if necessary. The deposit or security shall guarantee the faithful performance and completion of all terms, conditions, and performance standards imposed on the intended use by this permit.

7. **[TM]** The subdivision shall conform to all provisions of Title 16 of the Loma Linda Municipal Code (LLMC).
8. **[TM, MP]** This subdivision, permit or approval is subject to all the applicable provisions of the Loma Linda Municipal Code, Title 17 in effect at the time of approval, and includes development standards and requirements relating to: dust and dirt control during construction and grading activities; emission control of fumes, vapors, gases and other forms of air pollution; glare control; exterior lighting design and control; noise control; odor control; screening; signs, off-street parking and off-street loading; and, vibration control. Screening and sign regulations compliance are important considerations to the developer because they will delay the issuance of a Certificate of Occupancy until compliance is met. Any exterior structural equipment, or utility transformers, boxes, ducts or meter cabinets shall be architecturally screened by wall or structural element, blending with the building design and include landscaping when on the ground.
9. **[TM, MP]** Signs are not approved as a part of this permit. Prior to establishing any new signs, the applicant shall submit an application, and receive approval, for a sign permit from the Planning Division (pursuant to LLMC, Chapter 17.18) and building permit for construction of the signs from the Building Division, as applicable.
10. **[TM, MP]** Prior to issuance of Certificate of Occupancy, the applicant shall submit a photometric plan and final lighting plan to City staff showing the exact locations of light poles and the proposed orientation and shielding of the fixtures to prevent glare onto the adjacent properties.
11. **[TM, MP]** The applicant shall implement SCAQMD Rule 403 and standard construction practices during all operations capable of generating fugitive dust, which will include but not be limited to the use of best available control measures and reasonably available control measures such as:
 - a. Water active grading areas and staging areas at least twice daily as needed;
 - b. Ensure spray bars on all processing equipment are in good operating condition;
 - c. Apply water or soil stabilizers to form curst on inactive construction areas and unpaved work areas;
 - d. Suspend grading activities when wind gusts exceed 25 mph;
 - e. Sweep public paved roads if visible soil material is carried off-site;
 - f. Enforce on-site speed limits on unpaved surface to 15 mph; and,
 - g. Discontinue construction activities during Stage 1 smog episodes.
12. **[TM, MP]** The applicant shall work with the City's franchised solid waste hauler to follow a debris management plan to divert the material from landfills by the use of separate recycling bins (e.g., wood, concrete, steel, aggregate, glass) during demolition and construction to minimize waste and promote recycle and reuse of the materials.

13. **[TM, MP]** To reduce emissions, all equipment used in grading and construction must be tuned and maintained to the manufacturer's specification to maximize efficient burning of vehicle fuel.
14. **[TM, MP]** The developer/operator shall ensure that existing power sources are utilized where feasible via temporary power poles to avoid on-site power generation during construction.
15. **[TM, MP]** The project proponent shall ensure that construction personnel are informed of ride sharing and transit opportunities.
16. **[TM, MP]** The developer/operator shall maintain and effectively utilize and schedule on-site equipment in order to minimize exhaust emissions from truck idling.
17. **[TM, MP]** The developer/operator shall comply with all existing and future CARB and SCAQMD regulations related to diesel-fueled trucks, which may include among others: (1) meeting more stringent emission standards; (2) retrofitting existing engines with particulate traps; (3) use of low sulfur fuel; and (4) use of alternative fuels or equipment.
18. **[TM, MP]** All Development Impact fees shall be paid to the City of Loma Linda prior to the issuance of any building and/or construction permits, or with Community Development approval, prior to the issuance of a Certificate of Occupancy or in accordance with a phased installment schedule as approved by the Community Development Director.
19. **[TM, MP]** Prior to issuance of any Building and/or Construction Permits, the applicant shall submit to the Community Development Department proof of payment or waiver from both the City of San Bernardino for sewer capacity fees and Redlands Unified School District for school impact fees.
20. **[TM, MP]** The applicant and/or project proponent shall pay all required development impact fees to cover 100 percent of the pro rata share of the estimated cost of public infrastructure, facilities, and services.
21. **[TM, MP]** The developer shall provide infrastructure for the Loma Linda Connected Community Program, which includes providing a technologically enabled development that includes coaxial, cable and fiber optic lines to all outlets in each unit of the development. Plans for the location of the infrastructure shall be provided with the precise plan of design, which includes providing a technologically enabled development that includes coaxial, cable, and fiber optic lines to all outlets in each unit of the development. Plans for the location of the infrastructure shall be provided with the precise grading plans and reviewed and approved by the City of Loma Linda prior to issuing grading permits.

Landscaping

22. **[TM, MP]** The applicant shall submit three sets of any final landscape plan(s) prepared by a state licensed Landscape Architect, subject to the approval of the Community Development Department, and Public Works Department for landscaping in the public right-of-way. Landscape plans for any Landscape Maintenance District shall be on separate plans.
23. **[TM, MP]** Final landscape and irrigation plans shall be in substantial conformance with the approved conceptual landscape plan (as identified in and in compliance with the Citrus Trails Master Plan) and these conditions of approval. Any and all fencing shall be illustrated on the final landscape plan(s).

24. **[TM, MP]** Landscape plans shall depict the utility laterals, concrete improvements, and tree locations. Any modifications to the landscape plans shall be reviewed and approved by the Public Works and Community Development Departments prior to issuance of permits.
25. **[TM, MP]** The applicant, property owner, and/or business operator shall maintain the property and landscaping in a clean and orderly manner and all dead and dying plants shall be replaced with similar or equivalent type and size of vegetation.
26. **[[TM, MP]** The final landscaping plan shall, to the greatest extent possible, match the preliminary landscape plan and/or Landscape Design Guidelines (as identified in and in compliance with the Citrus Trails Master Plan) for areas along the public right of ways.

Noise

27. **[TM, MP]** During construction of the site, the project shall comply with Section 9.20 (Prohibited Noises) of the Loma Linda Municipal Code.

FIRE DEPARTMENT

28. **[TM, MP]** All construction and site development shall meet the requirements of the editions of the California Building Code (CBC)/Uniform Building Code (UBC) and the California Fire Code (CFC)/Uniform Fire Code (UFC) as adopted and amended by the City of Loma Linda and legally in effect at the time of issuance of any building permit.
29. **[TM, MP]** The site address shall be as assigned by the Fire Marshal in a separate document, following approval of the project, and upon submittal of a working copy of the final approved site plan.
30. **[TM, MP]** The developer shall submit a Utility Improvement Plan showing the location of fire hydrants for review and approval by the Fire Department.
31. **[TM, MP]** All final plans shall meet the Fire Departments requirements regarding emergency access to the site and the site circulation shall meet the performance requirements of all emergency vehicles. This requirement shall apply to each implementing development project and/or phase, regardless of the intended future or final condition at full build out, which may not be contemporaneous with any implementing development project and/or phase.
32. **[TM, MP]** All weather surface roads constructed to support 75,000 pounds (lbs) (asphalt) shall be installed prior to combustible building materials arriving at the job site.
33. **[TM, MP]** Fire hydrants shall be installed and functional prior to combustible materials arriving at the job site.
34. **[TM, MP]** All job site gates shall be easy to operate, and shall incorporate Knox padlocks as part of the gate locking system.

PUBLIC WORKS DEPARTMENT

35. **[TM]** The applicant/developer shall record a Final Map with the San Bernardino County Recorder pursuant to the provisions of the State Subdivision Map Act prior to issuance of any permits.
36. **[TM, MP]** The precise grading plan with hydrology study, hydraulic calculations, and soils report for the project shall be approved by the City of Loma Linda prior to issuance of any building permits.

37. **[TM, MP]** The applicant/developer shall submit final grade certifications, by the grading engineer, to the Public Works Department prior to issuance of any Certificate of Occupancy.
38. **[TM]** The applicant/developer shall install or bond for all off-site improvements prior to recording the final map.
39. **[TM, MP]** Street light locations shall be approved by the City of Loma Linda. Streetlights shall be installed and energized prior to release for occupancy for any houses.
40. **[TM, MP]** Prior to issuance of grading permits, the applicant shall submit a photometric plan and final lighting plan to City staff showing the exact locations of light poles and the proposed orientation and shielding of all light fixtures to prevent glare onto existing and potential future development surrounding the Project Site.
41. **[TM, MP]** Any streets damaged as a result of new services shall be repaired as required by the Public Works Department prior to occupancy.
42. **[TM]** "Record Revisions" shall be made to all plans to reflect the changes to the improvements as constructed.
43. **[TM, MP]** The applicant/developer shall design public improvements including sidewalk, drive approaches and handicap ramps in accordance with all requirements of the State of California Accessibility Standards, Title 24 California Administrative Code.
44. **[TM, MP]** The applicant shall dedicate the ultimate right-of-way street width to the City.
45. **[TM, MP]** Public utility easements shall be dedicated to cover all utilities either by map or separate document.
46. **[TM, MP]** Prior to issuance of grading permits, the applicant shall submit to the City Engineer a Notice of Intent (NOI) to comply with obtaining coverage under the National Pollutant Discharge Elimination System (NPDES) General Construction Storm Water Permit from the State Water Resources Control Board. Evidence that this has been obtained (i.e., a copy of the Waste Dischargers Identification Number) shall be submitted to the City Engineer for coverage under the NPDES General Construction Permit.
47. **[TM, MP]** All lots shall drain to streets or other approved device. All additional drainage due to development shall be mitigated on-site, no cross lot drainage will be allowed unless suitable easements are provided. A Water Quality Management Plan is required to address on-site drainage construction and operation.
48. **[TM, MP]** The applicant/developer shall provide adequate City of Loma Linda Drainage Easements (minimum fifteen [15] feet wide) over the natural drainage courses and/or drainage facilities. The applicant/developer shall design easements to contain the 100-year frequency storm flow plus bulking and freeboard per approved City criteria.
49. **[TM, MP]** The applicant/developer shall provide engineered plans for all drainage improvements, to the Public Works Department for approval prior to any construction activity.
50. **[TM, MP]** Sewage system shall be provided by City of Loma Linda.
51. **[TM, MP]** City of Loma Linda shall be the water purveyor.
52. **[TM, MP]** The applicant/developer shall provide all utility services. All utilities are to be underground.

53. **[TM, MP]** All fire hydrants and their distribution mains shall be made part of the Public System.
54. **[TM, MP]** A non-potable water system shall be designed and installed by the applicant/developer to service all common areas.
55. **[TM, MP]** The developer/owner shall pay for the relocation of any power poles or other existing public utilities as necessary.
56. **[TM, MP]** Water mains, fire hydrants, services and meters shall be sized and installed to City of Loma Linda standards and as shown on the approved utility plans for the development. These utilities shall be public and constructed within public right-of-way or public utility easements. Submit plans for review and approval.
57. **[TM, MP]** Improvement plans shall include all connections and locations to the City mains for on-site irrigation, including all meter and backflow prevention devices.
58. **[TM, MP]** The applicant shall provide a storm drain system prior to issuance of Certificate of Occupancy.
59. **[TM, MP]** No commencement of public street work shall be permitted, except rough grading, until dedication for that street has been recorded. The applicant/developer shall obtain a permit prior to any construction within the City's right-of-way.
60. **[TM, MP]** Any abandoned wells on the property or similar structures shall be destroyed in a manner approved by the Public Works Department in accordance with the State of California Department of Health Services or other appropriate oversight agency.
61. **[TM, MP]** All underground structures, except those desired to be retained, shall be broken in, backfilled, and inspected before covering.
62. **[TM, MP]** Should future/subsequent project construction require soil excavation or filling in certain areas, soil sampling may be required. If soil is contaminated, it must be properly disposed. Land Disposal Restrictions (LDRs) may be applicable to such soils. Soil sampling shall also be conducted on any imported soil.
63. **[TM, MP]** The applicant/developer shall comply with the prevailing City standards and requirements at the time of construction.
64. **[TM, MP]** The Project Proponent shall comply with City adopted policies regarding the reduction of construction and demolition (C&D) materials. The applicant/developer shall provide, to the maximum extent practicable, for the recycling and reuse of existing materials during construction and within the design of buildings. Further, this shall include incorporation of measures to reduce or recycle green materials (i.e., citrus trees) removed during the brush clearing stages.

Mitigation Measures

65. **[TM, MP]** *Agriculture*: Prior to issuance of the first Building Permit tied to implementation of the Citrus Trails Master Plan and/or Tract Map No. 18990, the Project Proponent is required to replace, protect or provide a conservation easement to compensate for the loss of 106.9 acres of Prime Farmland. A total of 106.9 acres of prime agricultural land or conservation easement shall be acquired and made available to an existing farmland trust or comparable organization, or a farmland trust or comparable organization shall verify that it has received sufficient funds to acquire prime agricultural land or a conservation easement over such lands. Proof of such

acquisition or conservation easement, in a format and through a source acceptable to the City, shall be provided to the City of Loma Linda Community Development. [CTMP EIR MM 4.1-1]

In order to accommodate potential phasing of development implementation and varied land ownerships of the Planning Areas within the Citrus Trails Master Plan, the provision of conservation easements as required to compensate for the loss of Prime Farmland may be coordinated either as a single 106.9 acre conservation easement or as four individual easements, pro-rated per Planning Area acreage (reflecting the base acreage of the PA plus adjacent roadway and trail easement areas), as follows:

- 1) 91.7 acres in association with PA 3, 4, 6, 8, and 11 – 18;
 - 2) 6.7 acres in association with PA 5;
 - 3) 7.5 acres in association with PA 7;
 - 4) 1.0 acres in association with PA 10; and
 - 5) No conservation easements are required in association with PAs 1 and 2 because these areas are not identified as Prime Farmland.
66. **[TM, MP]** Air Quality: The Project Applicant/Developer for each development implementing phase that includes on-site or off-site roadway improvements shall provide sidewalks within the Citrus Trails Master Plan Project area and along the off-site roadway improvements and provided in the Project Plan's standards and guidelines. [CTMP EIR MM 4.2-1]
 67. **[TM, MP]** Air Quality: The Project Applicant/Developer/Contractor for each development implementing phase shall require and ensure that all building structures meet or exceed 2016 Title 24, Part 6 Standards and meet Green Building Code Standards. [CTMP EIR MM 4.2-2]
 68. **[TM, MP]** Air Quality: The Project Applicant/Developer/Contractor for each development implementing phase shall require and install faucets, toilets and showers in the all structures that utilize low-flow fixtures that would reduce indoor water demand by 20% per CalGreen Standards. [CTMP EIR MM 4.2-3]
 69. **[TM, MP]** Air Quality: The Project Applicant/Developer/Contractor for each development implementing phase shall require and install water-efficient irrigation systems for all common open space and landscaped trail areas, private open space and landscape areas within multi-family and commercial developments and (to the extent feasible) single-family developments per City requirements. [CTMP EIR MM 4.2-4]
 70. **[TM, MP]** Air Quality: The Project Applicant/Developer/Contractor for each development implementing phase shall require and install, to the extent feasible, ENERGY STAR compliant appliances in both commercial uses and residential dwelling units on-site. [CTMP EIR MM 4.2-5]
 71. **[TM, MP]** Air Quality: The Project Applicant/Developer/Contractor shall employ a construction waste/debris recycling program to minimize the volume of landfilled construction waste. Commercial, multi-family residential and senior-housing residential developments shall require and utilize, to the extent practical, recycling programs that reduces waste to landfills by a minimum of 50 percent (50%) (up to 75% by 2020 per AB 341). [CTMP EIR MM 4.2-6]
 72. **[TM, MP]** Air Quality: The Project Applicant/Developer/Contractor for each development implementing phase shall require and utilize high-efficiency lighting (such as high pressure

sodium or LED lighting), to the extent practical, for on-site buildings and landscape facilities. [CTMP EIR MM 4.2-7]

73. **[TM, MP]** Air Quality: The Project Applicant/Developer/Contractor shall require and install gas hearths wherever hearths are required or incorporated in Project buildings and development on-site. [CTMP EIR MM 4.2-8]
74. **[TM, MP]** Biological Resources: Nesting Birds - It is recommended that all project-related construction activities be scheduled outside of the avian nesting season (February 15–August 15). If construction must occur during the nesting season, a nesting bird survey of the proposed construction area and a minimum 150-foot radius extending around that area will be conducted within 3 days prior to the beginning of construction activities. A copy of the nesting bird survey shall be submitted to the Community Development Director prior to the start of any clearance and construction activities. If nesting birds are found within the nesting bird survey area, then construction activities, including vegetation clearing and encroachment by heavy equipment, would not occur until it is verified by a qualified biologist that young birds have fledged the nest(s) and nesting is completed. This measure shall apply for each development construction phase for the Citrus Trails Master Plan and Tract Map No. 18990 Project. [CTMP EIR MM 4.3-1]
75. **[TM, MP]** Biological Resources: Burrowing Owls. A take-avoidance survey should be conducted no more than 14 days prior to the initiation of ground disturbance and a final survey should be conducted within 24 hours prior to ground disturbance to determine if burrowing owl (*Athene cunicularia*) occupies the development construction area. A copy of the nesting bird survey shall be submitted to the Community Development Director prior to the start of any clearance and construction activities. If surveys determine that burrowing owls occupy the site, a burrowing owl mitigation plan shall be prepared and implemented, subject to approval by the California Department of Fish and Wildlife (CDFW) before any ground disturbance commences. This measure shall apply for each development construction phase for the Citrus Trails Master Plan and Tract Map No. 18990 Project. [CTMP EIR MM 4.3-2]
76. **[TM, MP]** Biological Resources: Tree Protection and Tree Plan - At the design phase for each implementing phase of the either the Citrus Trails Master Plan or Tract Map No. 18990, a tree survey (excluding citrus trees) shall be conducted within the implementing phase footprint, to identify trees that will be removed or potentially affected by implementation development and demonstrate which trees would be avoided and retained. Detail design of each implementing phase shall include, as feasible, avoidance of removal or encroachment of protected trees (coast live oak trees and other significant existing trees identified as “Replacement Trees” in *Exhibit 4.3.-2, Existing Trees Map*, as presented in the EIR). A copy of the Tree Survey and a Tree Protection and Replacement Plan, prepared by a qualified biologist, arborist or certified landscape architect, shall be submitted to the Community Development Director and/or Public Works Director at the time grading or building plans are submitted for approval and permits. During development construction activities, protected trees shall not be removed unless approved under the grading or building permitting process. Coast live oak trees removed for the development shall be replaced at a minimum ratio of 2 to 1. Other significant existing trees removed for the development shall be replaced with the same type of tree or other appropriate tree species at a minimum ratio of 1 to 1 provided the total trunk area of the replacement trees shall cumulatively equal or exceed the trunk areas of the removed significant existing trees. The location and type and other provisions to ensure their health for any required replacement trees shall be included in the Tree Protection and Replacement Plan submitted at the time

grading/building permit approval. The landscape plan for each implementing phase of the project shall incorporate the required replacement trees and call them out specifically. The landscape plans shall be reviewed and approved by the City to ensure compliance. Replacement trees shall be planted prior to issuance of Certificates of Occupancy for each implementing phase. [CTMP EIR MM 4.3-3]

77. **[TM, MP]** *Cultural Resources*: Prior to beginning any vegetation clearance (including citrus trees), site preparation, grading or building demolition, an Archaeological Monitoring Program shall be developed and implemented to address all ground disturbance and earthmoving activities. The Archaeological Monitoring Program shall be submitted to the Community Development Director and Public Works Director for approval. Preparation and implementation of this Monitoring Program shall be conducted by trained professionals with backgrounds in both historic and prehistoric archaeological resources. The Monitoring Program shall include provisions for the coordination of on-site monitoring with local Native American groups who request to participate, including requests for government-to-government consultation. The Monitoring Program shall include procedures for regularly documenting and reporting the monitoring activity. Any resources recovered shall be documented in a technical report and supplemented with all necessary data to understand and interpret the findings. The Archaeological Monitoring Report shall include procedures for the final disposition of all artifacts and other cultural materials discovered in the Project area after appropriate analyses are carried out and the technical reports completed. Disposition plans should be made in consultation between the City of Loma Linda, San Manuel Band of Mission Indians (SMBMI) and other consulting tribe(s), as appropriate. All artifacts shall be prepared for curation with the City, Historical Society, or County Museum (or equivalent acceptable repository). [CTMP EIR MM 4.4-1]
78. **[TM, MP]** *Cultural Resources*: Prior to issuance of a demolition permit and/or prior to beginning any demolition of structures, an archaeological monitoring program shall be developed and implemented to address demolition of the existing structures at 10684 and 10852 California Street and the converted garage at 26300 Mission Road. Preparation and implementation of this Monitoring Program shall be conducted by trained professional with backgrounds in historic archaeology and architectural history. The Monitoring Program shall be submitted to the Community Development Director and Public Works Director for approval. Procedures under this monitoring shall include photo-documentation and recording of architectural elements that have not yet been identified, including interior alterations or conditions. Updated site forms shall be prepared for each site. [CTMP EIR MM 4.4-2]
79. **[TM, MP]** *Cultural Resources*: The Nathaniel Hinckley residence (26300 Mission Road) shall be preserved either in place, or if it cannot be preserved in place, relocated. In either case, prior to any issuance of any relocation permit and/or relocation or general disturbance in the immediate area, the residence should be recorded via an Historic American Building Survey (HABS) document. The HABS documentation should include, but not be limited to: digital photography to document the residence, interior and exterior; architectural drawings detailing the residence plans and profiles; preparation of a HABS report with all supporting documentation; and monitoring, as needed, for relocation activities. [CTMP EIR MM 4.4-3]
80. **[TM, MP]** *Cultural Resources*: As part of normal field procedures, if suspected human remains are encountered during site activity, all work in the area shall cease and the San Bernardino County Coroner's Office shall be contacted immediately. [CTMP EIR MM 4.4-4]

81. **[TM, MP]** *Cultural Resources*: At the request of the San Manuel Band of Mission Indians (SMBMI), all monitoring of vegetation clearance, ground disturbance and grading for each development implementation phase and off-site improvements shall be conducted by a full-time archaeological monitor/archaeologist meeting the Secretary of Interior (SOI) qualifications and a Native American/Tribal monitor representing SMBMI. It is intended that:
- 1) Archaeological and Tribal Monitors will work as a team during any type of ground-disturbance activity including removal of citrus trees and irrigation system equipment as well as during demolition, grading, excavation, trenching, compaction, fence installations, and plantings. Unless specifically waived by the Lead Monitor, one team of monitors will be utilized for each piece of active heavy equipment or location of hand excavation unless activities are within 50 meters of each other. This is to ensure that simultaneously occurring activities will have adequate monitoring.
 - 2) Native American Monitor(s)/Tribal Participant(s) shall be approved in advance by SMBMI.
 - 3) The Applicant/Developer for each implementing phase shall outreach and contact SMBMI and any other Consulting Tribe (as appropriate) to facilitate and communicate with them to develop a mutually coordinated Tribal Monitoring Agreement or Guidelines. The Tribal Monitoring Agreement or Guidelines shall be included in the Archaeological Monitoring Program submitted to the City for review and approval (as per EIR mitigation measure **MM 4.4-1 or Condition No. 72**). [CTMP EIR MM 4.4-5]
82. **[TM, MP]** *Cultural Resources*: In the event of the discovery of human remains and/or funerary objects, at the request of the San Manuel Band of Mission Indians (SMBMI) and consistent with State protocol, the Developer/Contractor shall:
- a. Cease all work within the immediate area of the discovery of the remains.
 - b. Create a barrier (temporary fence or flagging) within a 100-ft radius of the discovery; establish an Environmentally Sensitive Area (ESA); and post no-entry signs at the perimeter of the ESA until assessment is carried out by the Coroner.
 - c. The City of Loma Linda and the applicant/developer will immediately contact the Coroner, SMBMI, and other Consulting Tribes (as applicable).
 - d. Should the human remains be determined by the Coroner to be of Native American origin, the Coroner will contact the Native American Heritage Commission (NAHC) within 24 hours. The Most Likely Descendant (MLD) identified by the NAHC will be notified (under California Public Resources Code § 5097.98) and make the decisions about the treatment of the human remains or funerary objects within 24 hours of notification by either the developer or the NAHC. The MLD will consult with the applicant/developer/landowner regarding the final appropriate disposition of the human remains or funerary objects.
 - e. The discovery area and the human remains and accompanying materials will be treated with appropriate dignity and respect.
 - f. The MLD may wish to rebury the human remains and/or associated funerary objects, as close to the place of their discovery as possible in an area that will not be subject to future disturbances. The place(s) of reburial will not be disclosed by any party and is

exempt from the California Public Records Act (California Government Code § 6254[r]). [CTMP EIR MM 4.4-6]

83. **[TM, MP]** Cultural Resources: In the event of the discovery of archaeological Cultural Resources or Tribal Cultural Resources on the ground surface or in subsurface contexts during the development/construction of any implementation phase of the Project, consistent with the request of San Manuel Band of Mission Indians (SMBMI) and as required for the Archaeological Monitoring Report (as per EIR mitigation measure **MM 4.4-1**), the Developer/Contractor shall:
- a. Cease all work within the immediate area of the discovery.
 - b. Create a barrier (temporary fence or flagging) within a 50-ft radius of the discovery; establish an Environmentally Sensitive Area (ESA), and post no-entry signs until the discovery can be assessed by a Secretary of the Interior (SOI) qualified archaeologist. As determined appropriate by the Lead Archaeological/Tribal Monitors, SMBMI and any other Consulting Tribe (as appropriate) may be notified.
 - c. The ESA barrier will remain in place and entry controlled until assessment by a SOI-qualified archaeologist is completed, a Treatment Plan developed and carried out, and any Data Recovery is completed. [CTMP EIR MM 4.4-7]
84. **[TM, MP]** Cultural Resources: The Applicant/Developer for each implementing phase shall outreach and contact the San Manuel Band of Mission Indians (SMBMI) and any other Consulting Tribe (as appropriate) to facilitate and communicate with them to develop a mutually coordinated Treatment Plan for how to handle/address any Tribal Cultural Resources encountered during ground disturbance or grading. The Treatment Plan shall be included in the Archaeological Monitoring Program submitted to the City for review and approval (per EIR mitigation measure **MM 4.4-1**). The Treatment Plan should include a Research Design so that the resource can be evaluated under both the National Historic Preservation Act (NHPA) and the California Environmental Quality Act (CEQA) criteria. If the resource meets any of the NHPA and/or CEQA criteria, and cannot be avoided or preserved in-place, a Data Recovery Plan will be developed, reviewed, and adopted in consultation with all parties. The Data Recovery Plan should include all methods, sampling procedures, and be designed using current “best archaeological practices” to exhaust the research potential of the resources. The Data Recovery Plan for qualified Tribal Cultural Resources should be implemented with the participation and monitoring of SMBMI and any other Consulting Tribe (as applicable). [CTMP EIR MM 4.4-8]
85. **[TM, MP]** Cultural Resources: On behalf of the Applicant/Developer/Contractor, and to ensure that work is completed and reported as required, the Archaeological/Tribal Lead Monitors shall ensure the timely delivery to the City of all monitoring and/or follow-up documentation products of the Cultural Resources portion of the Project, or any implementing phase of the Project or related off-site improvement project. Furthermore, the City shall designate that reports of all Cultural Resources work be filed at the appropriate California Archaeological Information Center at the conclusion of the Project, or any implementing phase of the Project or related off-site improvement project. [CTMP EIR MM 4.4-9]
86. **[TM, MP]** Noise: For any development implementing phase of the Citrus Trails Master Plan or Tract Map No. 18990, construction hours shall be limited to between the hours of 7:00 AM and

8:00 PM, Monday through Friday; and avoid heavy construction on weekends and national holidays. [CTMP EIR MM 4.5-1]

87. **[TM, MP]** Noise: During all Project site excavation and grading on-site, construction contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers, consistent with manufacturer standards. The contractor shall place all stationary construction equipment so that emitted noise is directed away from the noise sensitive receptors nearest the project site. Use of all construction equipment along the northern project boundary shall be limited to what is only absolutely necessary. [CTMP EIR MM 4.5-2]
88. **[TM, MP]** Noise: For any development implementing phase of the Citrus Trails Master Plan or Tract Map No. 18990, the Developer/Contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise/vibration sources and sensitive receptors nearest the project site during all project construction. [CTMP EIR MM 4.5-3]
89. **[TM, MP]** Noise: During any development implementing phase of the Citrus Trails Master Plan or Tract Map No. 18990, the Applicant/Developer shall mandate that the construction contractor prohibit the use of music or sound amplification on the project site during construction. [CTMP EIR MM 4.5-4]
90. **[TM, MP]** Noise: During any development implementing phase of the Citrus Trails Master Plan or Tract Map No. 18990, the Applicant/Developer shall require that the construction contractor limit haul truck deliveries to the same hours specified for construction equipment. [CTMP EIR MM 4.5-5]
91. **[TM, MP]** Noise: Final site planning and building designs for any development implementing phase of the Citrus Trails Master Plan or Tract Map No. 18990 shall include the following provisions: 1) For residential land uses, proposed along California Street, Mission Road or Redlands Boulevard, private yards or patio spaces associated with proposed residential uses (with emphasis for those upper-story residential units within mixed-use Planning Areas 1, 5 and 7), should be setback and/or shielded to ensure noise levels do not exceed 65 dBA CNEL and setbacks and/or upgraded building construction should be utilized to ensure that residential interior noise levels do not exceed 45 dBA CNEL; and 2) For commercial land uses proposed along Redlands and California Street upgraded construction measures that ensure that interior noise levels at commercial and office land uses do not exceed 55 dBA CNEL should be implemented. [CTMP EIR MM 4.5-6]
92. **[TM, MP]** Transportation/Traffic: Consistent with Measure V, as mitigation for the potential traffic impacts (including on- and off-site required improvements), the Project shall contribute on a fair share basis, through an adopted traffic impact fee program, in the implementation of the recommended intersection lane improvements or freeway improvements, or in dollar equivalent in lieu mitigation contributions, or in the implementation of additional capacity on parallel routes to offset potential impacts to Congestion Management Program intersections and freeway segments. [CTMP EIR MM 4.8-1]
93. **[MP]** Transportation/Traffic: The Applicant/Developer shall construct Redlands Boulevard from the west project boundary to the east project boundary at its ultimate half-section width including landscaping and parkway improvements in conjunction with development, as necessary. [CTMP EIR MM 4.8-2]

94. **[TM, MP]** Transportation/Traffic: The Applicant/Developer shall construct California Street from the north Project boundary to the south Project boundary at its ultimate half-section width including landscaping, future bus stop pad and parkway improvements in conjunction with development, as necessary. [CTMP EIR MM 4.8-3] Alternatively and subject to approval of the City Engineer, the California Street may be staged and tied accordingly to reflect development phases of each fronting Planning Area per the Master Plan.
95. **[TM, MP]** Transportation/Traffic: The Applicant/Developer shall construct a left-turn lane north and south of Park Avenue (150 feet in length each) as well as north and south of Orange Avenue (150 feet in length each) with a painted two-way left-turn median south of the Park Avenue northbound left-turn lane and north of the Orange Avenue southbound left-turn lane in conjunction with the other Project improvements. [CTMP EIR MM 4.8-4] Alternatively and subject to approval of the City Engineer, the turning land improvements at Park Avenue and California Street may not be required as a condition specific to Tract Map No. 18990, if Park Avenue is extended westerly to Bryn Mawr Road to provide adequate interim access until such time that Planning Areas 5 and 7 of the Master Plan are developed at that intersection.
96. **[TM, MP]** Transportation/Traffic: The Applicant/Developer shall install a traffic signal at the California Street and Park Avenue intersection, when warranted. The traffic signal should include an interconnect of the traffic signals to function in a coordinated system. [CTMP EIR MM 4.8-5] Alternatively and subject to approval of the City Engineer, the signal at Park Avenue and California Street may not be required as a condition specific to Tract Map No. 18990, if Park Avenue is extended westerly to Bryn Mawr Road to provide adequate interim access until such time that Planning Areas 5 and 7 of the Master Plan are developed at that intersection.
97. **[TM, MP]** Transportation/Traffic: The Applicant/Developer shall install a traffic signal at the California Street and Orange Avenue intersection, when warranted. The traffic signal should include an interconnect of the traffic signals to function in a coordinated system. [CTMP EIR MM 4.8-6]
98. **[TM, MP]** Transportation/Traffic: The Applicant/Developer shall construct roadway segments from California Street and Orange Avenue to Earp Drive and Mission Road to reroute traffic volumes from the existing southeastern portion of Mission Road and terminate the existing Mission Road roadway segment east of Earp Drive. [CTMP EIR MM 4.8-7]
99. **[TM, MP]** Transportation/Traffic: The Applicant/Developer shall construct and maintain primary and secondary access roadways in conjunction with development prior to the opening of the development implementation phase which it services. [CTMP EIR MM 4.8-8]
100. **[TM, MP]** Transportation/Traffic: The Applicant/Developer shall ensure that on-site traffic signing and striping is implemented in conjunction with detailed construction plans for the Project. [CTMP EIR MM 4.8-9]
101. **[TM, MP]** Transportation/Traffic: Sight distance at the Project accesses should be reviewed with respect to California Department of Transportation/City of Loma Linda standards in conjunction with the preparation of final grading, landscaping, and street improvement plans for the Project or any individual development implementation phase, and including Tract Map No. 18990. [CTMP EIR MM 4.8-10]

**ADDITIONAL CONDITIONS OF APPROVAL
FOR THE PRECISE PLAN OF DESIGN (PPD) PERMIT NO. P18-106**

For the following planning areas and parcels:
Planning Areas: 2-6, 2-8, 2-12, 2-13, 2-14, 2-15, 2-16, 2-17, 2-18
Parcel Numbers: 0292-111-22, -50; 0292-122-14, -15, -16, -17, -20, -32

COMMUNITY DEVELOPMENT DEPARTMENT

General

1. **[PPD]** Within two years of this approval, the PPD shall be exercised or the permit/approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one year, the permit/approval shall become null and void.

PROJECT:

~~Tentative Tract Map No. 15-088 (TTM 18990)~~

Precise Plan of Design (PPD) No. P18-106

EXPIRATION DATE:

August 1, 2019

December 11, 2020

2. Upon approval of the Final Map, submit the Map for recordation with the County and provide the City with a hard copy and a digital copy for the record.
3. Submit the conceptual park plan, paseo designs, and monumentation plan, to the Park and Beautification Committee for final review and approval.
4. All original Conditions of Approval and Mitigations continue to apply for the subject area and the PPD permit.

FIRE DEPARTMENT

5. Fire sprinklers will be required in all areas of the building, including the garages, covered patios, and porch areas.
6. During construction, all hydrants shall be installed and tested; a paved access road shall be installed prior to any combustibles on job site. A 20 foot drive lane shall be maintained at all times in and out of the project and at any construction activity.
7. During construction, knox padlocks shall be installed on all drive gates for fire department access. The gates shall be hinged to allow easy operation. Signage shall be displayed indicating fire department access.
8. During construction, no smoking signs shall be posted at all access points into the homes and at top of the stairs.
9. During construction, structures under construction shall be provided with not less than one approved portable fire extinguisher in accordance with §906 of the CFC and sized for not less than ordinary hazard(2A10BC) as follows: 1 at each stairway on all floor levels where combustible material have accumulated, in every storage or construction shed and additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids. Also any construction that creates sparks or involving open flame tools such as soldering torches.
10. Combustible waste materials shall be removed from buildings at the end of each work shift.

11. The underground and each hydrant shall be flushed and witnessed by LL fire prevention. Individual residence waterlines shall be flushed and witnessed by LL fire prevention prior to connection to the fire sprinkler riser.
12. A flow test shall be required after the water underground has been installed and flushed and prior to fire sprinkler plans submittal.
13. Fire sprinkler plans shall be submitted after flow tests are completed using the flow test results minus 10% for the hydraulic calculations. Maximum sprinkler spacing shall be 16' X16'. Additional sprinkler heads shall be installed in rooms with potential obstructions such as ceiling fans or lighting that are not flush mount. A fire sprinkler head shall be required in a separated bathroom area where the total bathroom area (including the water closet) is 55 sq.ft. or greater, closets greater than 25sqft, above FAU's in closets or in the attic, and over water heaters. Fire sprinkler pipe size – minimum 1" throughout.
14. Solar photo-voltaic systems: If home is prewired for solar panels and the conductors are going to be run through the attic space, a j-box shall be installed under the panels and an appropriately sized flex conduit shall be run straight down into the attic space from the j-box to the top of the ceiling joists - then run and secured properly in the attic space to an AC disconnect and then to the double breaker in the main service panel. The conduit shall be properly labeled every 10 feet, all j-boxes, AC disconnects DC disconnects breaker panel shall be properly labeled. All solar equipment shall be mounted on the exterior wall adjacent to the main electrical panel. Solar plans shall be a separate submittal for each home.

PUBLIC WORKS DEPARTMENT

15. Conditions and requirements will be attached to the Final Map

Applicant/Owner Signature

Date

Applicant/Owner Signature

Date

END OF CONDITIONS



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA: December 11, 2018
TO: City Council
SUBJECT: Demands Register

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION

It is recommended that the City Council approve the attached list of demands for payment.

vchlist
11/20/2018 2:47:22PM

Voucher List
CITY OF LOMA LINDA
11-27-2018

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
423425	11/15/2018	000454 ICMA RETIREMENT CORP	2018111500423425		ICMA CONTRIBUTIONS-10/28-11/10/201	21,445.42
					Total :	21,445.42
627202	11/8/2018	000367 GFOA	REGISTRATION FORM		23RD ANNUAL GAAP UPDATE-12/05/20	180.00
					Total :	180.00
627203	11/8/2018	000432 HOLIDAY INN EXPRESS	TOT REFUND		REFUND OVERPAYMENT OF TOT	981.80
					Total :	981.80
627204	11/8/2018	005945 LOMA LINDA INN	TOT REFUND		REFUND OVERPAYMENT OF TOT	344.00
					Total :	344.00
627205	11/13/2018	001280 CARRY HOWARD	REIMBURSEMENT		PERSONAL USE OF VEHICLE-MILEAGE	48.06
					Total :	48.06
627206	11/13/2018	000917 ZAHADA K SINGH	REQUEST		FLEX MEDICAL REIMBURSEMENT-2018	67.18
					Total :	67.18
627207	11/13/2018	000265 DIANA DE ANDA	REQUEST		FLEX MEDICAL REIMBURSEMENT-2018	41.94
					Total :	41.94
627208	11/13/2018	000442 HUB CONSTRUCT SPECIALTIES, INC	72025-1	P-0000015022	STAKE HOOK, SNAP CONNECTOR & GI	106.11
					Total :	106.11
627209	11/13/2018	004380 KELLY PAPER	9451920	P-0000015034	BUSINESS LICENSE RENEWAL PAPER	35.47
					Total :	35.47
627210	11/13/2018	000143 CSMFO	300000591		CSMFO MEMBERSHIP RENEWAL-DE AI	110.00
					Total :	110.00
627211	11/13/2018	003628 U.S. BANK CORPORATE PYMNT SYS	4246044555650021		CAL CARD PURCHASES	9,046.45
					Total :	9,046.45
627212	11/15/2018	005812 LYANNE MENDOZA	REIMBURSEMENT		TUITION REIMBURSEMENT-MENDOZA,	1,764.80
					Total :	1,764.80
627213	11/15/2018	000693 BARBARA N. NICHOLSON	REIMBURSEMENT		NOTARY BOND FILING FEE & NOTARY	153.00

Voucher List
CITY OF LOMA LINDA

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627213	11/15/2018	000693 000693 BARBARA N. NICHOLSON	(Continued)			Total : 153.00
627214	11/15/2018	005812 LYANNE MENDOZA	TRAVEL REIMBURSEMENT		MILEAGE REIMBURSEMENT-TRAVEL T	113.36
						Total : 113.36
627215	11/15/2018	003294 US POSTAL SERVICE, NEOPOST POSTAGE-O REQUEST			POSTAGE FOT MTR ACCT#47718562	1,000.00
						Total : 1,000.00
627216	11/15/2018	001261 THE GAS COMPANY	STMTS-3		GAS SERVICE	160.53
						Total : 160.53
627217	11/15/2018	001261 THE GAS COMPANY	STMT		GAS SERVICE	32.59
						Total : 32.59
627218	11/15/2018	001245 SO CALIF EDISON	STMTS-5		ELECTRICITY SERVICE	1,012.74
						Total : 1,012.74
627219	11/15/2018	001245 SO CALIF EDISON	STMT		ELECTRICITY SERVICE	3,992.86
						Total : 3,992.86
627220	11/15/2018	001245 SO CALIF EDISON	STMTS-2		ELECTRICITY SERVICE	38,942.61
						Total : 38,942.61
627221	11/15/2018	005502 FRONTIER COMMUNICATIONS	STMTS-2		PHONE SERVICE	192.98
						Total : 192.98
627222	11/20/2018	005949 JITENDRA K. & INDIRA J. SHELAT	CASE # DL18-355		REFUNDING FOR DOUBLE PAYMENT F	227.42
						Total : 227.42
627223	11/20/2018	001730 AFLAC	122402		AFLAC INSURANCE PREMIUM-NOV 20	2,075.25
						Total : 2,075.25
627224	11/20/2018	001851 UNUM INSURANCE	0091890-001 0		LIFE INSURANCE PREMIUM-DEC 2018	630.06
						Total : 630.06
627225	11/20/2018	001851 UNUM INSURANCE	0091889-001 4		LIFE & DISABILITY INSURANCE	4,683.12
						Total : 4,683.12

Voucher List
CITY OF LOMA LINDA

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627226	11/20/2018	005270 SUPERIOR AUTOMOTIVE WAREHOUSE	021457	P-0000015079	THROTTLE POSITION SENSOR	40.40
					Total :	40.40
627227	11/20/2018	000840 CITY OF SAN BERNARDINO	92661-90878	P-0000014987	WATER PURCHASES	36.30
					Total :	36.30
627228	11/20/2018	000840 CITY OF SAN BERNARDINO	92661-76164	P-0000014987	WATER PURCHASES	551.15
					Total :	551.15
627229	11/20/2018	004999 ROGERS, ANDERSON, MALODY &, SCOTT, LL 59067		P-0000015408	YEAR-END AUDIT FOR FY 2018	12,000.00
					Total :	12,000.00
627230	11/20/2018	000213 TIME WARNER	0030597110218	P-0000015179	TV CABLE SERVICE VARIOUYS LOCATI	27.19
					Total :	27.19
627231	11/20/2018	000213 TIME WARNER	00201150110718	P-0000015179	TV CABLE SERVICE VARIOUYS LOCATI	83.47
					Total :	83.47
627232	11/20/2018	000266 ROBBINS & HOLDAWAY, A PROFESSIONAL CC 3624536252			PROFESSIONAL/LEGAL SERVICES & P	9,021.95
					Total :	9,021.95
627233	11/20/2018	001280 CARRY HOWARD	REQUEST		DEPENDENT CARE REIMBURSEMENT-	25.88
					Total :	25.88
627234	11/20/2018	000265 DIANA DE ANDA	REQUEST		FLEX MEDICAL REIMBURSEMENT-2018	129.69
					Total :	129.69
627235	11/20/2018	001862 U.S. POSTAL SERVICE	REQUEST		PRESORT POSTAGE PERMIT 1277	2,000.00
					Total :	2,000.00
627236	11/27/2018	005915 ALL CITIES ENGINEERING INC	1	P-0000015288	CONTRACT TO CONSTRUCT SIDEWAL	151,430.00
					Total :	151,430.00
627237	11/27/2018	004554 ALTERNATIVE HOSE, INC	5830644	P-0000014974	HOSE BARB FITTINGS FOR AIR COMPI	10.82
					Total :	10.82
627238	11/27/2018	000053 ANIMAL EMERGENCY CLINIC, INC	108055	P-0000014975	ANIMAL CONTROL SERVICES	90.00

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627238	11/27/2018	000053	000053 ANIMAL EMERGENCY CLINIC, INC	(Continued)		Total : 90.00
627239	11/27/2018	005390	CALIFORNIA HIGHWAY ADOPTION CO	1018139	P-0000015128	LITTER REMOVAL AT MT. VIEW AVE OF Total : 325.00
627240	11/27/2018	005933	CALIFORNIA SURFACING	3801	P-0000015370	RESURFACE & RESTRIPE TENNIS CT A Total : 15,600.00
627241	11/27/2018	005791	CENTURYLINK	74915315	P-0000015176	CITY INTERNET AND VOIP Total : 296.82
627242	11/27/2018	004397	CHEMPAK	106177	P-0000014984	SANITARY SUPPLIES Total : 871.64
627243	11/27/2018	005284	CITY EMPLOYEES ASSOCIATES	NOVEMBER 2018 NOVEMBER 2018-PAEA		DUES COLLECTED FOR NOV 2018-PW 504.00 DUES COLLECTED FOR NOVEMBER 20 209.00 Total : 713.00
627244	11/27/2018	000841	CITY OF SAN BERNARDINO	2019-21000004	P-0000015321	ANIMAL CONTROL & SHELTER SERVIC 20,758.74 Total : 20,758.74
627245	11/27/2018	002309	CONSOLIDATED ELECTRIC DIST-SB	6903-407837		ELECTRICAL SUPPLIES 16.21
				6903-407880	P-0000014992	ELECTRICAL SUPPLIES 349.92
				6903-407992	P-0000014992	ELECTRICAL SUPPLIES 151.19
				6903-408439	P-0000014992	OUTDOOR OUTLET COVERS 49.58
				6903-408601	P-0000014992	ELECTRICAL SUPPLIES 48.52 Total : 615.42
627246	11/27/2018	005762	CORE & MAIN	J776617	P-0000015322	4G METER PURCHASES FOR COMMEF 42,851.22 Total : 42,851.22
627247	11/27/2018	000236	COSTCO WHOLESALE	478 5 353 18	P-0000014993	KITCHEN & CLEANING SUPPLIES 333.69 Total : 333.69
627248	11/27/2018	001173	COUNTY OF SAN BERNARDINO, DEPT OF INF 22786		P-0000014994	PAGER MONITORING SERVICES 13.71 Total : 13.71

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627249	11/27/2018	002238 DAVID CARTER, DIB'S SAFE & LOCK SERVICE	0000174375	P-0000014999	SAFE AND LOCK SERVICE	20.93
Total :						20.93
627250	11/27/2018	005947 DEPARTMENT OF OCCUPATIONAL MED, LLU#	E202198520		EMPLOYER SENT TO APPOINTMENT W	140.06
Total :						140.06
627251	11/27/2018	005593 DINOSAUR TIRE & ROAD SRVS INC	128518	P-0000015000	TIRE SERVICE	69.95
			128799	P-0000015000	TIRE	224.79
			128800	P-0000015000	TIRES	520.32
			128980	P-0000015000	DRIVE TIRES	173.75
Total :						988.81
627252	11/27/2018	000336 FEDEX	6-364-33270	P-0000015007	OVERNIGHT MAIL SERVICE	36.68
Total :						36.68
627253	11/27/2018	003197 FIRE APPARATUS SOLUTIONS	13487	P-0000015008	LABOR-REMOVED GROWLER & REPLA	860.11
			13488	P-0000015008	LADDER TESTING AND APPARATUS SE	602.57
			13489	P-0000015008	LADDER TESTING AND APPARATUS SE	1,880.65
			13490	P-0000015008	LADDER TESTING AND APPARATUS SE	854.70
			13491	P-0000015008	LADDER TESTING AND APPARATUS SE	2,666.88
			13492	P-0000015008	LADDER TESTING AND APPARATUS SE	1,360.24
Total :						8,225.15
627254	11/27/2018	005256 FLYERS ENERGY, LLC	18-777105A	P-0000015009	FUEL	5,332.81
			18-777105C	P-0000015009	FUEL	-5,652.88
			18-797667	P-0000015009	FUEL	5,489.84
			18-799251	P-0000015009	FUEL	1,516.69
			18-800179	P-0000015009	FUEL	1,602.08
Total :						8,288.54
627255	11/27/2018	005502 FRONTIER COMMUNICATIONS	909-799-8064-0201035		PHONE SERVICE	39.47
Total :						39.47
627256	11/27/2018	005255 GOPHER PATROL	321038	P-0000015210	GOPHER PATROL SRVS AT CITY PARKS	295.00
			321148	P-0000015210	GOPHER PATROL SRVS AT CITY PARKS	245.00
			321150	P-0000015210	GOPHER PATROL SRVS AT CITY PARKS	120.00
Total :						660.00

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627257	11/27/2018	005646 GROSSBERG & HOEHN	11581	P-0000015401	GENERAL HR LEGAL SERVICES	175.50
Total :						175.50
627258	11/27/2018	002484 HAAKER EQUIPMENT CO	C46567		WIRE NOZZLE	68.99
Total :						68.99
627259	11/27/2018	005244 HHS CONSTRUCTION, INC.	10/29/2018 60509	P-0000015390 P-0000015386	TRAFFIC SIGNAL COORDINATION - TE SPLICING FIBER FROM PULLBOX INTC	7,600.00 3,000.00
Total :						10,600.00
627260	11/27/2018	002117 HILLTOP GEOTECHNICAL INC	16629	P-0000015333	MATERIAL TESTING FOR WATERLINE &	624.00
Total :						624.00
627261	11/27/2018	005458 HIRSCH PIPE & SUPPLY	6199850 6203369 6203388 6203549 6204722	P-0000015018 P-0000015018 P-0000015018 P-0000015018 P-0000015018	PLUMBING FIXTURES, SUPPLIES AND PLUMBING FIXTURES, SUPPLIES AND PLUMBING FIXTURES, SUPPLIES AND PLUMBING FIXTURES, SUPPLIES AND PLUMBING FIXTURES, SUPPLIES AND	55.99 210.86 44.66 13.79 6.34
Total :						331.64
627262	11/27/2018	000440 HOSPITALITY CAR WASH	181031-CLLPS 181031-CLLPW	P-0000015021 P-0000015021	CITY CAR WASH CITY CAR WASH	88.00 390.00
Total :						478.00
627263	11/27/2018	003400 INFOSEND, INC	144119	P-0000015222	Printing & Mailing of Utility Bills FY	1,255.06
Total :						1,255.06
627264	11/27/2018	003864 INLAND TEMPORARY HOMES	LLIN-17-2-05Z/0866	P-0000015405	CDBG FUNDING ITH	3,702.00
Total :						3,702.00
627265	11/27/2018	000480 INLAND WATER WORKS SUPPLY	S1017756-001 S1017857.001	P-0000015397 P-0000015406	CLOW860SY8G - Clow 860 HYD 8H Safe PARTS FOR SAMPLE STATION	2,872.89 2,394.21
Total :						5,267.10
627266	11/27/2018	005792 INNOVATIVE SIGNS AND DESIGNS	1939	P-0000015026	FULL REFLECTIVE DECALS FOR DOOF	638.75
Total :						638.75
627267	11/27/2018	005144 JAMES D. HUSS JR., WEST SWPPP SERVICE	18045	P-0000015118	WEED ABATEMENT SERVICES FOR FY	270.00

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627267	11/27/2018	005144 JAMES D. HUSS JR., WEST SWPPP SERVICE	(Continued)			
			18046	P-0000015118	WEED ABATEMENT SERVICES FOR FY	270.00
			18047	P-0000015118	WEED ABATEMENT SERVICES FOR FY	570.00
			18048	P-0000015118	WEED ABATEMENT SERVICES FOR FY	235.00
			18049	P-0000015118	WEED ABATEMENT SERVICES FOR FY	35.00
					Total :	1,380.00
627268	11/27/2018	005484 JOHN R. TRUJILLO	1		CLAIM FOR REIMBURSEMENT FOR US	97.01
					Total :	97.01
627269	11/27/2018	002023 JOSEPH E BONADIMAN & ASSOCIATE	4575 A	P-0000015304	SURVEY MONUMENT PRESERVATION	1,125.00
					Total :	1,125.00
627270	11/27/2018	000566 LOMA LINDA ANIMAL HOSPITAL	1	P-0000015041	ANIMAL EMERGENCY SERVICES	202.30
					Total :	202.30
627271	11/27/2018	000570 LOMA LINDA FIREFIGHTERS ASSN	NOVEMBER 2018		DUES & T-DONATION FOR NOVEMBER	1,139.00
					Total :	1,139.00
627272	11/27/2018	002045 LOMA LINDA HEATING & AIR, CONDITIONING,	22645	P-0000015042	HVAC SERVICE AND MAINTENANCE	179.75
			22767	P-0000015042	HVAC SERVICE AND MAINTENANCE	746.25
					Total :	926.00
627273	11/27/2018	001733 LOWE'S COMPANIES, INC.	18771	P-0000015044	5 GALLON KEROSENE	20.46
			27106	P-0000015044	WATER	29.65
			27326	P-0000015044	SIMPLE GREEN AND SPRAY BOTTLE	60.15
			27353	P-0000015044	ELECTRICAL SUPPLIES	111.69
			27491	P-0000015044	ELECTRICAL SUPPLIES	68.46
			27499	P-0000015044	WEED KILLER, ALL THREAD FOR NOZZ	43.80
			27554	P-0000015044	HEX BOLT & NUT, RESPIRATOR, HAMM	60.65
			27822	P-0000015044	WARNER GLASS SCRAPER, SPRAYWA	6.52
			67702	P-0000015044	GAS CAN SPOUT	7.56
			79444764	P-0000015044	CREDIT ON GAS CAN SPOUT	-7.56
					Total :	401.38
627274	11/27/2018	004872 MAIL FINANCE INC, A NEOPOST USA COMPAN	N7416581	P-0000015235	FY 18-19 Lease N18021483 IN600AF Aut	520.21

Voucher List
CITY OF LOMA LINDA

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627274	11/27/2018	004872	004872 MAIL FINANCE INC, A NEOPOST USA CO (Continued)			Total : 520.21
627275	11/27/2018	001566	MALLORY SAFETY & SUPPLY, LLC	4538768 4538909	P-0000015046 EAR SOFT PLUGS & GLOVES P-0000015046 SAFETY GLASSES	198.71 101.85 Total : 300.56
627276	11/27/2018	005918	MATTHEW RYAN	REQUEST	REIMBURSEMENT FOR STATE PARAMI	200.00 Total : 200.00
627277	11/27/2018	001935	NARCISCO VALDOVINOS, GOLDEN WEST LAI 000728	P-0000015383	TRIM & CLEAN OUT SHRUBS & TREES	485.00 Total : 485.00
627278	11/27/2018	001613	OFFICE DEPOT, INC	226253937001 226254791001 226254793001 226511179001 226512628001 229011292001	P-0000015052 FOLDERS P-0000015052 OFFICE SUPPLIES P-0000015052 OFFICE SUPPLIES P-0000015052 OFFICE SUPPLIES P-0000015052 OFFICE SUPPLIES P-0000015052 GLUE STICK 3PK	70.03 7.79 12.52 741.32 62.94 3.44 Total : 898.04
627279	11/27/2018	004401	ORKIN PEST CONTROL	175803142 176435297 176897722 176897727 176898119 176898586	P-0000015119 PEST CONTROL SERVICE STATION 252 P-0000015286 PEST CONTROL SERVICES AT 25964 M P-0000015208 PEST CONTROL SRVS AT CITY PROPE P-0000015208 PEST CONTROL SRVS AT CITY PROPE P-0000015208 PEST CONTROL SRVS AT CITY PROPE P-0000015208 PEST CONTROL SRVS AT CITY PROPE	105.00 125.00 66.48 124.27 49.90 47.25 Total : 517.90
627280	11/27/2018	000766	PRUDENTIAL OVERALL SUPPLY	22697056	P-0000015062 SHOP RAGS CLEANING SERVICE	46.68 Total : 46.68
627281	11/27/2018	005772	QUINN COMPANY	PCA00085524 PCA00085759 PCA00085760 PCA00087151	P-0000015064 ELEMENTS, FILTERS, HOSE COOLANT P-0000015064 RELAY & CONTROL P-0000015064 PUMP, GASKET LIFT & GASKET COVER P-0000015064 SPRING	255.05 391.96 158.32 59.44 Total : 864.77
627282	11/27/2018	005943	RITE AID PHARMACY	NIX: 58160-0898-52	EMPLOYEE FLU SHOT CLINIC-DE AND/	79.98

Voucher List
CITY OF LOMA LINDA

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627282	11/27/2018	005943 005943 RITE AID PHARMACY	(Continued)			Total : 79.98
627283	11/27/2018	000814 RIVERSIDE CONSTRUCTION CO INC	180905	P-0000014796	CONTRACT CALIF/REDLANDS STREET	564,490.08
			3155	P-0000014796	METER RENTAL-OCT 2018 RIVERSIDE	525.00
					Total :	565,015.08
627284	11/27/2018	001701 ROBERT L. SMITH, BYRD INDUSTRIAL ELECT	1027-18 910-18A	P-0000015067 P-0000015407	WELL & BOOSTER SERVICE REPAIR & Service Order 910-18 -Display not	773.88 4,673.92
					Total :	5,447.80
627285	11/27/2018	004562 ROGER E. FOX. M.D., FOX OCCUPATIONAL MI	91378-99732		FLU VACCINE & TB TEST	585.00
					Total :	585.00
627286	11/27/2018	001379 SAN BERNARDINO COUNTY, DENNIS DRAEGI	108358	P-0000015071	ASSESSOR PARCEL INFORMATION	8.00
					Total :	8.00
627287	11/27/2018	003881 SB CO PROFESSIONAL FIREFIGHTER	NOVEMBER 2018		DUES COLLECTED FOR NOVEMBER 20	3,617.90
					Total :	3,617.90
627288	11/27/2018	004455 SIEMENS INDUSTRY, INC	5620015549	P-0000015409	TRAFFIC SIGNAL REPAIR ON ANDERSO	950.00
					Total :	950.00
627289	11/27/2018	000451 SITEONE LANDSCAPE SUPPLY, LLC	87793281-001 87818146-001	P-0000015073 P-0000015073	LANDSCAPE MATERIALS LANDSCAPE MATERIALS	295.50 56.64
					Total :	352.14
627290	11/27/2018	005849 ST FRANCIS ELECTRIC	18108712 18108713	P-0000015168 P-0000015169	ANNUAL TRAFFIC SIGNAL MAINT 2018- MISC TRAFFIC SIGNAL REPAIRS 2018-	1,662.50 3,109.18
					Total :	4,771.68
627291	11/27/2018	001356 STAPLES BUSINESS ADVANTAGE	3394495369 3394495371 3394495372 3395613310 3395613312	P-0000015075 P-0000015075 P-0000015075 P-0000015075 P-0000015075	OFFICE SUPPLIES OFFICE SUPPLIES CREDIT OFFICE SUPPLIES PLANNER	58.07 2.14 -2.14 134.73 19.38
					Total :	212.18

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627292	11/27/2018	005561 STATEWIDE TRAFFIC SAFETY, & SIGNS	13003569	P-0000015399	TRAFFIC CONES AND BARRICADES	1,301.66
			13003625	P-0000015400	SIGNS	1,010.78
			13003693	P-0000015077	CUSTOM SIGNS	304.50
			Total :			
627293	11/27/2018	001799 STRADLING, YOCCA, CARLSON, & RAUTH	348261-0058		LEGAL SERVICES	350.40
Total :						350.40
627294	11/27/2018	005270 SUPERIOR AUTOMOTIVE WAREHOUSE	023574	P-0000015079	POWER WINDOW SWITCH	74.66
			023648	P-0000015079	LAMP	29.91
			024067		OIL FILTER AND OIL	17.79
				P-0000015079		
			024106	P-0000015079	SWITCH TURN SIGNAL	118.22
			024120	P-0000015079	AUTO PARTS	106.87
			024199	P-0000015079	DUCT TAPE AND WINDSHIELD WASH	54.42
			024557	P-0000015079	NAPA OIL FILTER	56.65
Total :						458.52
627295	11/27/2018	001261 THE GAS COMPANY	194 068 6736 6		GAS SERVICE	38.56
Total :						38.56
627296	11/27/2018	001841 TRANSWORLD SYSTEMS INC	179E7	P-0000015391	Collection transmittals 240 @ \$12.50	3,125.00
Total :						3,125.00
627297	11/27/2018	004030 US TRONICS	M-122670C18	P-0000015180	EMERGENCY SATELLITE PHONE SERV	167.85
Total :						167.85
627298	11/27/2018	005500 WEST COAST ARBORISTS INC	142065	P-0000015369	TREE TRIMMING STREET WIDE	16,817.10
Total :						16,817.10
627299	11/27/2018	001917 WILBUR E & JUNE PURVIS, WILBUR'S	39478	P-0000015091	LAWNMOWER REPAIR AND MAINTENA	80.00
			39584	P-0000015091	LAWNMOWER REPAIR AND MAINTENA	245.56
			39753	P-0000015091	LAWNMOWER REPAIR AND MAINTENA	17.24
			Total :			
627300	11/27/2018	001919 WILLDAN	002-20090	P-0000015092	BUILDING INSPECTION/PLAN CHECK E	12,439.82
			002-20092	P-0000015092	BUILDING INSPECTION/PLAN CHECK E	3,360.00

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627300	11/27/2018	001919	001919 WILLDAN		(Continued)	Total : 15,799.82
627301	11/27/2018	004538	WORK BOOT WAREHOUSE	5-56712	P-0000015095 RESCUE BOOT	275.00 Total : 275.00
627302	11/27/2018	005944	YIMING XING	993764488	ACCOUNT CLOSED PREPAY REFUNDE	37.18 Total : 37.18
1001198889	11/7/2018	000771	P.E.R.S.	1001198889	RETIREMENT CONTRIBUTIONS-10/01-1	875.20 Total : 875.20
1001198898	11/10/2018	000773	P.E.R.S.	1001198898	HEALTH INSURANCE PREMIUM-NOV 2018	57,676.94 Total : 57,676.94
1001198899	11/10/2018	000773	P.E.R.S.	1001198899	HEALTH INSURANCE PREMIUM-HOLD/	1,288.36 Total : 1,288.36
1001200621	11/8/2018	000771	P.E.R.S.	1001200621/22/23/24	RETIREMENT CONTRIBUTIONS-10/14-1	53,223.88 Total : 53,223.88
106 Vouchers for bank code : bofa						Bank total : 1,129,991.68
106 Vouchers in this report						Total vouchers : 1,129,991.68

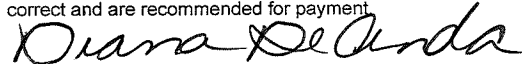
PAYROLL: \$298,741.70 11/15/2018

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
---------	------	--------	---------	------	---------------------	--------

CLAIMS VOUCHER APPROVAL

I have reviewed the above listing of payments on check nos.
423425; 627202 through 627302; 1001198889, 1001198898, 1001198899 & 1001200621 for a total
disbursement of \$ 1,129,991.68, and to the best of
my knowledge, based on the information provided, they are
correct and are recommended for payment.


DIANA DE ANDA, Finance Director

Recommend that City Council approve for payment.

T. Jarb Thaipejr, City Manager

Approved by the City Council at their meeting held on
12-11-2018 and the City Treasurer is hereby directed
to pay except as noted.

Rhodes Rigsby, Mayor

vchlist
12/03/2018 11:34:56AM

Voucher List
CITY OF LOMA LINDA
11-30-2018 Month-End

Page: 1

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
40511	11/29/2018	000454 ICMA RETIREMENT CORP	2018112900040511		ICMA RETIREMENT-11/11-11/24/2018	12,393.82
					Total :	12,393.82
627303	11/27/2018	000857 S.B. CO OFC AUDITOR/CONTR	OCT-2018		PARKING CITATIONS COLLECTED FOR	312.50
					Total :	312.50
627304	11/27/2018	005673 CR&R	STMT		REFUSE PAYMENTS COLLECTED FOR	87,717.89
					Total :	87,717.89
627305	11/27/2018	000876 SAN BERNARDINO MUNICIPAL WATER	STMT		SEWER SERVICE COLLECTIONS FOR .	238,097.09
					Total :	238,097.09
627306	11/27/2018	004579 LCA BANK CORPORATION	4144938	P-0000015135	PW ENG PRINTER - LANIER LW426 ANI	617.41
					Total :	617.41
627307	11/27/2018	001245 SO CALIF EDISON	STMTS-2		ELECTRICITY SERVICE	35,227.17
					Total :	35,227.17
627308	11/27/2018	001245 SO CALIF EDISON	STMT		ELECTRICITY SERVICE	904.58
					Total :	904.58
627309	11/27/2018	001245 SO CALIF EDISON	STMTS-2		ELECTRICITY SERVICE	2,261.84
					Total :	2,261.84
627310	11/27/2018	005502 FRONTIER COMMUNICATIONS	STMT		PHONE SERVICE	39.47
					Total :	39.47
627311	11/29/2018	001232 LOCAL AGENCY INVESTMENT FUND	CONF#1590939		DEPOSIT INTO CITY ACCOUNT #98-36-	2,000,000.00
					Total :	2,000,000.00
627312	11/29/2018	001623 LARRY MODGLING, LARRY'S WELD-ALL WELI	135891		SPACER PLATE FOR 8 MG RESERVOIR	415.00
					Total :	415.00
627313	11/29/2018	005502 FRONTIER COMMUNICATIONS	STMT		PHONE SERVICE	122.45
					Total :	122.45
627314	11/29/2018	004787 SORIANO, SALVADOR M.	REQUEST		DONATION FOR DJ SERVICE FOR THE	100.00

Page: 1

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627314	11/29/2018	004787 SORIANO, SALVADOR M.	(Continued)			Total : 100.00
627315	11/29/2018	004093 MARTHA YBARRA	REQUEST		FLEX MEDICAL REIMBURSEMENT-2018	93.04
						Total : 93.04
1001207760	11/26/2018	000771 P.E.R.S.	1001207760/61/62/62		RETIREMENT CONTRIBUTIONS-10/28-	53,391.40
						Total : 53,391.40
15 Vouchers for bank code : bofa						Bank total : 2,431,693.66
15 Vouchers in this report						Total vouchers : 2,431,693.66

CLAIMS VOUCHER APPROVAL

I have reviewed the above listing of payments on check nos. 40511; 627303 through 627315 & 1001207760 for a total disbursement of \$ 2,431,693.66, and to the best of my knowledge, based on the information provided, they are correct and are recommended for payment.


DIANA DE ANDA, Finance Director

Recommend that City Council approve for payment.

T. Jarb Thaipejr, City Manager

Approved by the City Council at their meeting held on 12-11-2018 and the City Treasurer is hereby directed to pay except as noted.

Rhodes Rigsby, Mayor

Voucher List
CITY OF LOMA LINDA
12-11-2018

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627316	12/4/2018	000840 CITY OF SAN BERNARDINO	133-132	P-0000014987	WATER PURCHASES	785.75
					Total :	785.75
627317	12/4/2018	000917 ZAHADA K SINGH	REQUEST		FLEX MEDICAL REIMBURSEMENT-2018	23.75
					Total :	23.75
627318	12/4/2018	004197 C.A.P.F.	DECEMBER 2018 BILLIN		LONG TERM DISABILITY-DECEMBER 2018	661.50
					Total :	661.50
627319	12/4/2018	000690 NEW YORK LIFE INSURANCE CO	006924297		LIFE INSURANCE PREMIUM	56.34
					Total :	56.34
627320	12/4/2018	005954 NEOFUNDS	7900 0444 7718 5627		POSTAGE ADVANCE FOR RATE CHANG	999.10
					Total :	999.10
627321	12/4/2018	003294 US POSTAL SERVICE, NEOPOST POSTAGE-O REQUEST			POSTAGE ACCOUNT #47718562	1,000.00
					Total :	1,000.00
627322	12/4/2018	000865 SN BERNARDINO CO SHERIFF DEPT	18000	P-0000015149	SHERIFF ANNUAL CONTRACT	421,931.00
					Total :	421,931.00
627323	12/11/2018	004229 A & I REPROGRAPHICS	CN00030661	P-0000014970	WATER & SEWER NOTICE RATE INCRE	1,439.54
					Total :	1,439.54
627324	12/11/2018	001984 ALLSTAR FIRE EQUIP. CO. INC.	211725	P-0000015421	YELLOW NOMEX BRUSH COATS	1,371.14
					Total :	1,371.14
627325	12/11/2018	001400 BOOT BARN 4 SAN BERNARDINO	IVC0157612	P-0000014978	UNIFORM BOOTS & UNIFORM PANTS	48.59
					Total :	48.59
627326	12/11/2018	005174 BRENT BILLINGSLEY, AUTOMATED WATER TF 626		P-0000014979	CHLORINE TABLETS FOR WELLS	3,425.74
					Total :	3,425.74
627327	12/11/2018	000110 BURTRONICS BUSINESS SYSTEM	AR51167	P-0000015274	PRINTING OVERAGES	435.62
					Total :	435.62
627328	12/11/2018	005791 CENTURYLINK	75273214	P-0000015176	CITY INTERNET AND VOIP	4,803.33

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627328	12/11/2018	005791 005791 CENTURYLINK	(Continued)			Total : 4,803.33
627329	12/11/2018	004397 CHEMPAK	106197	P-0000014984	FOAM CLEANER	57.97
						Total : 57.97
627330	12/11/2018	000203 CLINICAL LABORATORY OF	965286	P-0000014990	TEST WATER AT WELL SITE	7,882.00
						Total : 7,882.00
627331	12/11/2018	000139 CMRTA	1007		2019 MEMBERSHIP RENEWAL	100.00
						Total : 100.00
627332	12/11/2018	002309 CONSOLIDATED ELECTRIC DIST-SB	6903-405516	P-0000014992	LED STREET LIGHT	1,144.18
						Total : 1,144.18
627333	12/11/2018	005762 CORE & MAIN	J712243	P-0000015322	4G METER PURCHASES FOR COMMEF	71,103.26
			J830942	P-0000015322	4G METER PURCHASES FOR COMMEF	64,700.45
						Total : 135,803.71
627334	12/11/2018	000236 COSTCO WHOLESALE	478631470	P-0000014993	SANITARY SUPPLIES	198.30
						Total : 198.30
627335	12/11/2018	000954 CWEA-TCP	REQUEST		CWEA MEMBERSHIP & CERTIFICATION	275.00
						Total : 275.00
627336	12/11/2018	002238 DAVID CARTER, DIB'S SAFE & LOCK SERVICE	0000174114	P-0000014999	PADLOCK	119.49
			0000174759	P-0000014999	DUPLICATE KEY, STORAGE RING, KEY	587.96
						Total : 707.45
627337	12/11/2018	005309 DIRECTV	35484482595	P-0000015183	SATELLITE TV SERVICES FOR EOC	39.54
						Total : 39.54
627338	12/11/2018	005868 ECORP CONSULTING INC.	85599	P-0000014898	CULTURAL RESOURCE MONITORING F	1,195.00
						Total : 1,195.00
627339	12/11/2018	000336 FEDEX	6-378-74914	P-0000015007	COURIER SERVICE	43.66
						Total : 43.66
627340	12/11/2018	003197 FIRE APPARATUS SOLUTIONS	13562	P-0000015008	LADDER TESTING AND APPARATUS SE	100.27

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627340	12/11/2018	003197	003197 FIRE APPARATUS SOLUTIONS		(Continued)	Total : 100.27
627341	12/11/2018	005256	FLYERS ENERGY, LLC	18-807872	P-0000015009 FUEL	1,851.22 Total : 1,851.22
627342	12/11/2018	002098	FRANK PEREZ, JR	REQUEST	REIMBURSEMENT FOR FUEL FOR PC	852.12 Total : 852.12
627343	12/11/2018	005942	FRESNO CITY COLLEGE	14058710	REGISTRATION-PEREZ	23.00 Total : 23.00
627344	12/11/2018	005952	FRESNO POLICE DEPARTMENT	5338	PC832 CLASS 10/29-31/18 RANGE FEE	54.00 Total : 54.00
627345	12/11/2018	005216	GENUINE AUTO PARTS	231650 231788 231918	P-0000015011 TRUCK LIGHT P-0000015011 COUPLING, TAPE & SHOP TOWELS P-0000015011 COUPLING	133.59 59.78 5.23 Total : 198.60
627346	12/11/2018	005255	GOPHER PATROL	320799 321152 322347	P-0000015210 GOPHER PATROL SRVS AT CITY PARK P-0000015210 GOPHER PATROL SRVS AT CITY PARK P-0000015276 GOPHER CONTROL SRVS AT COTTON	290.00 275.00 180.00 Total : 745.00
627347	12/11/2018	000402	HACH COMPANY	11230299	P-0000015155 SEWER FLOW METER MONITORING SI	1,000.00 Total : 1,000.00
627348	12/11/2018	005458	HIRSCH PIPE & SUPPLY	6218710	P-0000015018 PLUMBING FIXTURES, SUPPLIES AND	70.28 Total : 70.28
627349	12/11/2018	004896	INTERFACE SECURITY SYSTEMS LLC, (FORM 19245564		P-0000015027 PROVIDING SECURITY MONITORING S	352.68 Total : 352.68
627350	12/11/2018	005144	JAMES D. HUSS JR., WEST SWPPP SERVICE	18051 18052 18053 18054 18055	P-0000015118 WEED ABATEMENT SERVICES FOR FY P-0000015118 WEED ABATEMENT SERVICES FOR FY P-0000015118 WEED ABATEMENT SERVICES FOR FY P-0000015118 WEED ABATEMENT SERVICES FOR FY P-0000015118 WEED ABATEMENT SERVICES FOR FY	2,955.00 1,010.00 170.00 1,320.00 1,740.00

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627350	12/11/2018	005144 JAMES D. HUSS JR., WEST SWPPP SERVICE	(Continued) 18056	P-0000015118	WEED ABATEMENT SERVICES FOR FY	140.00
					Total :	7,335.00
627351	12/11/2018	000503 JON'S FLAGS & POLES	F80052	P-0000015414	FLAGS FOR CITY HALL AND CORP YAR	645.98
					Total :	645.98
627352	12/11/2018	000495 LARRY JACINTO CONST INC	3182		LARRY JACINTO-WATER USAGE-NOV 2	427.00
					Total :	427.00
627353	12/11/2018	002045 LOMA LINDA HEATING & AIR, CONDITIONING,	22750	P-0000015376	HVAC ANNUAL MAINT FOR 6 WELL PUM	76.79
					Total :	76.79
627354	12/11/2018	001733 LOWE'S COMPANIES, INC.	19148	P-0000015044	CHRISTMAS TREE BULBS	187.96
			27301	P-0000015044	SCREWHEADS, RATCHET NUT DRIVER	38.87
			27475	P-0000015044	DOOR PAINT	64.49
			27791	P-0000015044	FLAT PLUG CORD	10.21
			67252	P-0000015044	TURKEY FRYER	70.63
			67296	P-0000015044	POINSETTIA	85.73
					Total :	457.89
627355	12/11/2018	005674 NATIONAL CONSTRUCTION RENTALS,	5214080		6FT TEMPORARY PANELS	38.88
					Total :	38.88
627356	12/11/2018	005951 NICOLAE GHEORGHE	XP18247		VOID CITATIONS #166125699 & 1661257	80.00
					Total :	80.00
627357	12/11/2018	001613 OFFICE DEPOT, INC	229463212001	P-0000015052	OFFICE SUPPLIES	541.31
			232677156001	P-0000015052	OFFICE SUPPLIES	63.17
					Total :	604.48
627358	12/11/2018	004401 ORKIN PEST CONTROL	176899262	P-0000015119	PEST CONTROL SERVICE STATION 252	105.00
			176899549	P-0000015286	PEST CONTROL SERVICES AT 25964 M	125.00
					Total :	230.00
627359	12/11/2018	005232 P & P UNIFORMS	417425/4	P-0000015053	UNIFORM PANT & BOOT	347.98
			417427/4	P-0000015053	UNIFORMS	242.39

Voucher List
CITY OF LOMA LINDA

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
627359	12/11/2018	005232	005232 P & P UNIFORMS		(Continued)	Total : 590.37	
627360	12/11/2018	005663	PACE PROFESSIONAL ACCESS CCTV, & ELEC 89694	P-0000015346	CITY PARKS VIDEO SECURITY SYSTEM	30,092.11	
					Total :	30,092.11	
627361	12/11/2018	000726	PARKHOUSE TIRE INC	2010594983	P-0000015056	TIRES	1,349.32
					Total :	1,349.32	
627362	12/11/2018	001592	PHOENIX GROUP INFORMATION SYST	1020181143	P-0000015059	ADMINISTRATIVE CITATIONS SERVICE	97.91
				102018143	P-0000015059	PARKING CITATION DELIQUENT NOTIC	752.09
					Total :	850.00	
627363	12/11/2018	005772	QUINN COMPANY	WOG00003534	P-0000015353	GENERATOR LOAD BANK SERVICES	500.00
				WOG00003535	P-0000015353	GENERATOR LOAD BANK SERVICES	500.00
				WOG00003536	P-0000015353	GENERATOR LOAD BANK SERVICES	758.18
					Total :	1,758.18	
627364	12/11/2018	005581	RIKKI MARIE LESLIE, GRAND BAZAAR WORK 21175		P-0000015354	UNIFORM ORDER FOR E AGUILAR/D D	426.97
					Total :	426.97	
627365	12/11/2018	000814	RIVERSIDE CONSTRUCTION CO INC	181001	P-0000014796	CONTRACT CALIF/REDLANDS STREET	23,655.00
					Total :	23,655.00	
627366	12/11/2018	001701	ROBERT L. SMITH, BYRD INDUSTRIAL ELECT	1102-18	P-0000015067	WELL & BOOSTER SERVICE REPAIR &	425.88
				1131-18	P-0000015067	WELL & BOOSTER SERVICE REPAIR &	545.88
					Total :	971.76	
627367	12/11/2018	004562	ROGER E. FOX. M.D., FOX OCCUPATIONAL MI	91378-100709		BRADFIELD-TB TEST & FLU VACCINE	45.00
					Total :	45.00	
627368	12/11/2018	005950	SAN BERNARDINO COUNTY, COMMUNITY DE	2001206708		GRANT FUNDS FOR LOMA LINDA LIBR/	669.02
					Total :	669.02	
627369	12/11/2018	003163	SBCTA	4	P-0000014879	REDLANDS PASSENGER RAIL PROJEC	30,312.76
				GA DUES 19-12	P-0000015416	SBCTA MEMBERSHIP DUES	7,525.00
					Total :	37,837.76	
627370	12/11/2018	003698	SCOTT ZEHM, 2 KOI GUYS	INVOICE	P-0000015138	CITY FOUNTAIN ANNUAL MAINT	125.00

Voucher List
CITY OF LOMA LINDA

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627370	12/11/2018	003698	003698 SCOTT ZEHM, 2 KOI GUYS		(Continued)	Total : 125.00
627371	12/11/2018	000865	SN BERNARDINO CO SHERIFF DEPT	18021	P-0000015122	PCO DISPATCH SERVICES FOR FY18/1 Total : 4,042.75
627372	12/11/2018	005849	ST FRANCIS ELECTRIC	18108714 18108715	P-0000015411 P-0000015411	TRAFFIC SIGNAL SERVICES FOR CALII TRAFFIC SIGNAL SERVICES FOR CALII Total : 3,671.10
627373	12/11/2018	001356	STAPLES BUSINESS ADVANTAGE	3394495370 3396167513 3396167515 3396777503 3396777504 3397134070	P-0000015075 P-0000015075 P-0000015075 P-0000015075 P-0000015075 P-0000015075	COFFEE MATE PACKETS CREDIT-RETURNED ITEM PAPER OFFICE SUPPLIES OFFICE SUPPLIES RETURNED ITEM CREDIT Total : 359.20
627374	12/11/2018	003754	STB LANDSCAPE ARCHITECTS INC	18611	P-0000015368	ANDERSON ST. DESIGN STREETSCAP Total : 4,875.00
627375	12/11/2018	001937	SUNRISE FORD	42592507	P-0000015240	VEHICLE PURCHASE FOR FLEET DEP1 Total : 35,030.64
627376	12/11/2018	002127	T. JARB THAIPEJR	1		2019 CITY MANAGERS CONFERENCE Total : 650.00
627377	12/11/2018	002594	THOMAS INGALLS	REIMBURSEMENT		TUITION REIMBURSEMENT FOR SURV Total : 755.00
627378	12/11/2018	004936	TRAFFIC MANAGEMENT INC	463175	P-0000015085	CUSTOM SIGN & STRAIGHT LEG SADD Total : 598.34
627379	12/11/2018	005019	TUCKFIELD & ASSOCIATES	0509	P-0000014908	PREPARE WATER/SEWER RATE STUDY Total : 1,822.20
627380	12/11/2018	001414	UNION PACIFIC RAILROAD COMPANY	296872051	P-0000015410	Annual Lease for berm and sound barrier 2,600.00

Bank code : bofa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
627380	12/11/2018	001414	001414 UNION PACIFIC RAILROAD COMPANY (Continued)			Total : 2,600.00
627381	12/11/2018	001977	VULCAN MATERIALS		ASPHALT MATERIAL	78.25
			72025989	P-0000015088		
			72031135	P-0000015088	ASPHALT	375.64
					Total :	453.89
627382	12/11/2018	004353	WITTMAN ENTERPRISES, LLC		EMS BILLING	2,169.06
			1810069	P-0000015123		
					Total :	2,169.06
67	Vouchers for bank code : bofa					Bank total : 754,969.07
67	Vouchers in this report					Total vouchers : 754,969.07

PAYROLL: \$301,486.18 11/29/2018

CLAIMS VOUCHER APPROVAL

I have reviewed the above listing of payments on check nos. 627316 through 627382 for a total disbursement of \$ 754,969.07, and to the best of my knowledge, based on the information provided, they are correct and are recommended for payment.


DIANA DE ANDA, Finance Director

Recommend that City Council approve for payment.

T. Jarb Thaipejr, City Manager

Approved by the City Council at their meeting held on 12/11/2018 and the City Treasurer is hereby directed to pay except as noted.

Rhodes Rigsby, Mayor



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA: December 11, 2018
TO: City Council
SUBJECT: Minutes of November 13, 2018

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION

It is recommended that the City Council approve the minutes of November 13, 2018.

City of Loma Linda
City Council Minutes
Regular Meeting of November 13, 2018

A regular meeting of the City Council was called to order by Mayor Rigsby at 6:07 p.m., Tuesday, November 13, 2018, in the City Council Chamber, 25541 Barton Road, Loma Linda, California.

Councilmen Present: Mayor Rhodes Rigsby
Mayor pro tempore Phill Dupper
Ovidiu Popescu
Ron Dailey
John Lenart

Councilman Absent: None

Others Present: City Manager T. Jarb Thaipejr
City Attorney Richard E. Holdaway

The City Council immediately recessed into closed session and reconvened at 7:10 p.m.

CC-2018-080 Closed Session - Personnel Matter (Government Code Section 54957(b)(1))

City Attorney Holdaway announced that the City Council had been meeting in closed session on the item as listed on the agenda. The discussion was not concluded and the City Council would reconvene again after open session items were completed. Any report would be announced at the conclusion of that Closed Session.

The Pledge of Allegiance and invocation were led by Councilman Dailey and no items were added or deleted.

Public Comment

Dick Wiley spoke in reference to the coyotes mentioned at the last City Council meeting and the loss of their natural habitat forcing them into inhabited areas.

Bill Arnold updated the City Council on the Chamber of Commerce activities: Victor Miller would be taking over as President for next year; the Christmas Tree Lighting scheduled for December 4; and he responded to questions.

Dennis Green addressed the City Council regarding off-roading in the South Hills. He indicated that it was destroying the habitat; dumping, no signage or barriers at access points to the south; as well as no policing or maintenance.

CC-2018-081 Consent Calendar

City Manager Thaipejr responded to questions regarding the I-10 Freeway and Mt. View Avenue off-ramps widening project indicating this was an interim solution due to the lack of funding to redesign the entire intersection. The lane widening on the agenda tonight is anticipated to be complete in April 2019. He also indicated that Southern California Edison has been working on Mt. View Avenue and the City has discussed with the project manager asking that the lane closures not start before 9 a.m. due to the traffic volume.

Motion by Dupper, seconded by Popescu and carried unanimously to approve the following:

The demands registers:

- dated October 23, 2018 with commercial demands totaling \$1,297,363.07, and payroll demands dated October 18, 2018 totaling \$302,672.32;
- dated October 31, 2018 with commercial demands totaling \$935,560.58;
- dated October 31, 2019 with commercial demands totaling \$43,560.93;
- dated November 13, 2018 with commercial demands totaling \$1,269,790.81, and payroll demands dated November 1, 2018 totaling \$309,807.86.

The minutes of October 9, 2018 as presented.

The September 2018 Treasurer's Report for filing.

A two-year lease extension for the Loma Linda Branch of the San Bernardino County Library.

Awarded contract for Replacement of Existing Water Meters at Various Locations (CIP 18-650) to Tryco General Engineering in the amount of \$91,980.00, with a contingency allocation of \$9,200.00

Awarded contract for I-10 Freeway and Mountain View Avenue East and West bound off-ramps widening – Caltrans Permit No. 08-17-N-MC 1320 (CIP 17-175) to Tryco General Engineering in the amount of \$972,230.00; to Hilltop Geotechnical for materials testing in the amount of \$10,275.00; to Valued Engineering for construction survey in the amount of \$13,900.00; with a contingency allocation of \$97,2003.00

Accepted as complete and authorized recordation of Notice of Completion for California Street and Redlands Blvd. street widening project, Riverside Construction Company, Inc.(CIP 14-167).

Authorized application and expenditure of FY 2018 Emergency Management Performance Grant (EMPG) Funds.

Accepted increased Community Development Block Grant (CDBG) Revenue Funds of \$20,405 and authorized appropriation to expenditure account for Pavement Rehabilitation at Starr Street, Hillcrest Street and Richardson Street Project.

Approved appropriation request of \$25,000 from General Fund Fund Balance to Street Maintenance Accounts

CC-2018-082 – Water and sewer rate study draft report

City Manager Thaipejr indicated the rate study was done every five years to assure the City is current with its rates. He introduced Calyton Tuckfield of Tuckfield & Associates who presented the draft Water and Wastewater Rate Study.

Mr. Tuckfield reviewed:

- Key Assumptions - customer growth, annual inflation factors, interest earnings, the effective date of the proposed rate increases was March 1, 2019, the annually thereafter
- Reserve Policy Goals - operating fund balance, capital replacement fund reserve, expansion reserve and emergency reserve and Current City Reserves as of June 30, 2018

- Water and Wastewater Financial Plans
 - Water and Wastewater Combined Reserves
 - Capital Improvement Plans
- Proposition 218 and Rate Design Process –
 - Revenues must not exceed cost of service
 - Revenues can only be used for purpose for which fee is imposed
 - Amount of fee must not exceed the proportional cost of service attributable to that parcel
 - City's current rate structure no longer meets Proposition 2018
 - Re-define rate tiers
 - Single-Family Residential
 - Tier 1 = Indoor Water use
 - = $4 \text{ pph} * 55 \text{ gpcd} * 365 \text{ days/yr} \div 748 \text{ gal/HCF} \div 6 \text{ bills/yr} = 18 \text{ HCF}$
 - Tier 2 = Outdoor Water Use
 - = SFR Summer Peak use = 50 HCF
 - Tier 3 = Use Over Tier 2
 - All Other Classes
 - Uniform rate structure, but recognize class peaking
 - Classes includes Multifamily, Commercial, Irrigation
 - Each class will have its own uniform rate
- Water Rate Structure and Rate Design - follows the American Water Works Association (AWWA) for development of Fixed and Variable charges and cost allocation
- Wastewater Rate Structure and Rate Design - follows Industry Trade methods for fixed and variable charges and cost allocation
- Example Bills and Bill Comparisons – Loma Linda rates would continue to be one of the lowest when compared to surrounding cities and water agencies
- Next Steps –
 - Request acceptance of study and direct City Staff to send Proposition 218 Notices
 - Proposition 218 Notices sent to owners by December 1
 - Notice initiates 45-day minimum notice prior to public hearing
 - Public Hearing scheduled for January 2019
 - Water rates become effective March 1, 2019

He continued, indicating the study proposed a 4.5% rate increase per year to meet operating expenses and expansion needs over the next five years. Combined with the change to the current rate structure, this amounted to an average 9% increase per household of approximately \$9.00/bi-monthly for the first year, and 4.5% each year thereafter.

Discussion ensued and Mr. Tuckfield, City Manager Thaipejr and Finance Director DeAnda responded to questions.

By common consent directed staff to proceed with the process as outlined in the report.

Reports of Councilman

Councilman Popescu commented on the traffic at Mission School, with the widening of California Street recently completed, perhaps delineators would prevent left turns from the school parking lot. He also asked about Traffic Advisory Committee appointments; City Clerk indicated the item would be agendaized for December 11 meeting.

Councilman Dupper commented on Commercial truck parking.

Mayor Rigsby commented on recent Confire Board activities and action by San Bernardino County Fire; he also recently emceed a conference at Linda Valley Villa

Reports of Officers

Assistant City Manager Bolowich updated the City Council regarding Loma Linda University Health's Healthy Lifestyle Walkway as part of their wayfinding sign program. LLUH Representative Kurtis Sharp responded to questions.

The City Council recessed to complete the Housing Authority and Successor Agency agendas, then into Closed Session; City Attorney indicated an announcement would be made upon completion.

The City Council reconvened at 10:00 p.m.; City Attorney Holdaway announced that the City Council had met with Staff and gave direction. There was no final action to report.

The meeting adjourned at 10:01 p.m. in honor and memory of Robert Christman, Loma Linda City Councilman 1988- 2008– Mayor 1992-1996 & 2006-2008. He passed away October 12, 2018.

Approved at the meeting of _____, 2018.

City Clerk



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA: December 11, 2018
TO: City Council
FROM: Diana De Anda, Finance Director/City Treasurer
VIA: T. Jarb Thaipejr, City Manager
SUBJECT: October 2018 Treasurer's Report

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that the City Council receive the report for filing.

CITY OF LOMA LINDA
COMPOSITION OF CASH
OCTOBER 2018

DEMAND DEPOSIT ACCOUNTS

CITY - BANK OF AMERICA - MAIN CHECKING ACCOUNT	\$	2,525,679.71
Outstanding Checks as of month-end		<u>(110,381.66)</u>
CITY - MAIN CHECKING ACCOUNT AVAILABLE BALANCE	\$	2,415,298.05
BANK OF AMERICA - PAYROLL	\$	90,867.12
HOUSING AUTHORITY - BANK OF AMERICA - CHECKING ACCOUNT		266,590.33
Outstanding Checks as of month-end		<u>(53.07)</u>
HOUSING AUTHORITY - CHECKING ACCOUNT AVAILABLE BALANCE	\$	266,537.26
SUCCESSOR AGENCY - BANK OF AMERICA - CHECKING ACCOUNT		90,026.90
Outstanding Checks as of month-end		<u>-</u>
SUCCESSOR AGENCY - CHECKING ACCOUNT AVAILABLE BALANCE	\$	90,026.90
DEMAND DEPOSIT ACCOUNTS - TOTAL	\$	<u>2,862,729.33</u>

INVESTMENTS

	YIELD		
LOCAL AGENCY INVESTMENT FUND (LAIF)			
CITY	2.144%	\$	38,448,782.13
CITY - Former RDA Bond Proceeds	2.144%		3,054,488.87
CITY -Total			41,503,271.00
SUCCESSOR RDA	2.144%		1,420,592.71
HOUSING AUTHORITY	2.144%		993,487.70
INVESTMENTS TOTALS		\$	<u>43,917,351.41</u>

OTHER CASH

IMPREST ACCOUNT	\$	500.00	
CASH ON HAND		<u>1,350.00</u>	
OTHER CASH TOTAL	\$	<u>1,850.00</u>	

CASH AND INVESTMENTS - GRAND TOTAL **46,781,930.74**

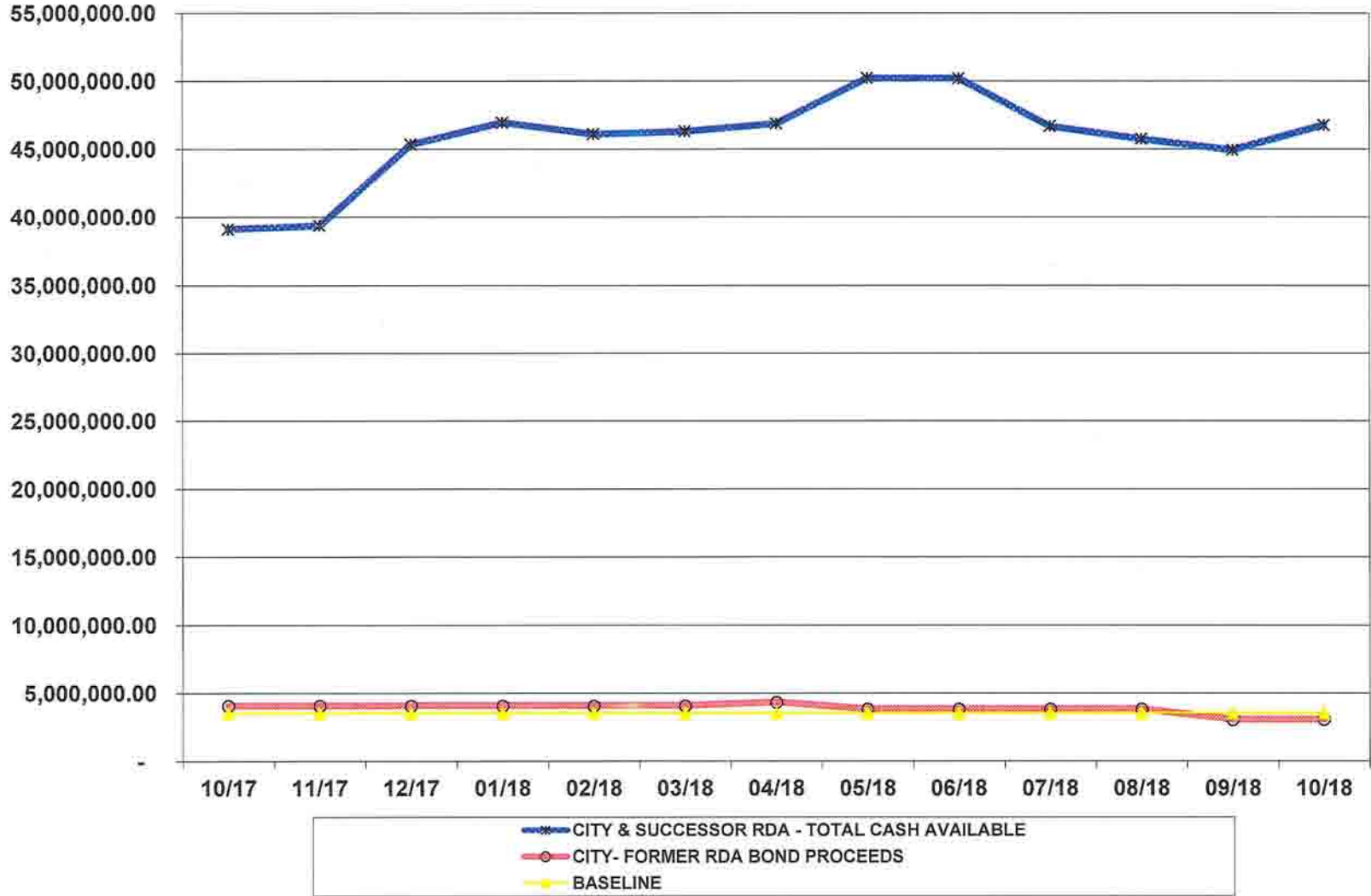
PREVIOUS MONTH 44,953,729.19

CHANGE +/-) \$ 1,828,201.55

All investments are in accordance with the City Investment Policy, and as such, sufficient funds are available to meet the cash flow requirements of Loma Linda, including the next thirty days' obligations. City and Agency funds are pooled.


Treasurer

CITY OF LOMA LINDA
MONTHLY TREASURER'S REPORT 10/17-10/18





City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilmember
Phillip Dupper, Councilmember
Ronald Dailey, Councilmember

COUNCIL AGENDA: December 11, 2018
TO: City Council
VIA: T. Jarb Thaipr, City Manager
FROM: Jeff Bender, Fire Chief *JB*
SUBJECT: September Fire Department Activity Report

Approved/Continued/Denied
By City Council
Date _____

Operations Division:

The Fire Department's Operations Division responded to 359 incidents in September 2018. Of the 359 incidents, 52 calls were given in Mutual/Automatic Aid. The alarm types are broken down as follows:

Fire & Rescue	Month		YTD	
Medical Aid (MA)	222	61.8%	2076	56.4%
Traffic Collision (TC)	15	4.2%	160	4.3%
MA + TC	237	66.0%	2236	60.7%
Hazardous Conditions	5	1.4%	26	0.7%
Hazardous Material	0	0.0%	0	0.0%
Public Assistance	23	6.4%	292	7.9%
Rescue	4	0.0%	29	0.8%
Structure Fire	2	1.1%	30	0.8%
Cooking	1	0.6%	7	0.2%
Vegetation Fire	2	0.3%	37	1.0%
Vehicle Fire	0	0.6%	12	0.3%
Refuse Fire	3	0.8%	25	0.7%
All Fires	8	2.2%	111	3.0%
Good Intent/Dispatched & Cancelled Enroute	67	18.7%	767	20.8%
Fire Alarm Activation*	15	4.2%	223	6.1%

*Note: Includes accidental activation, burnt food, system malfunction, malicious, etc.

Training Division Highlights:

- Monthly Emergency Medical Services (EMS) Training
 - EMS Lecture by Shawn Reynolds on LLUMC's Emergency Response Team
 - Preceptor Workshop
 - Tablet Command Training

Public Relations/Education:

- Fire Safety Presentation for Mission Elementary Kindergarten classes.
- Station tours for a local Boy Scout Troop
- Static Display for Life Stream Run/Walk at Drayson Center

SUBJECT: September 2018 Fire Department Activity Report Continued

Fire Prevention Division:

The Fire Departments Prevention Division monthly activity report is as follows:

Certificate Of Occupancy Inspection	
Commercial UL-300 Hood Inspections	1
Clean Agent FM 200 System Inspection	
Construction Site Inspection	21
Fire Alarm System Test & Inspection (# of trips)	8
Fire Building Final Inspection	3
Fire Flow Test (Hydrant Testing)	3
Fire Sprinkler Final – Commercial	2
Fire Sprinkler Final – Residential	
Fire Sprinkler Rough – Commercial	4
Fire Sprinkler Rough – Residential	4
Fire Underground – Inspection, test, flush	1
Five Year FS System Certification – Observe Flush	
Knox Box Placement/Inspection	4
New Tenant Inspection	
Over-Head Hydro – Commercial	
Over-Head Hydro – Residential	
Plan Check Review / Project Review (hours)	45
Smoke Alarm Check	
Solar PV Inspection	7
EOC Training or Activation (hours)	
Evacuation / Fire Drills, LLUMC, Schools	
Fire Code Research (hours)	35
Fire Extinguisher Training	
Meetings	17
Public Education (hours)	
Public Hearings / Council Meetings	
Training Classes (hours)	32
Annual Fire Inspections	8
Engine Co. Computer / RMS (Hours)	
Engine Company Follow-up Inspection (hours)	12
Field Investigation / Inquiries	6
Fire / Arson / Illegal Burn Investigation	
State Fire Marshal Permits Issued	1
State Fire Marshal Title 19 Inspections: RCF's	12
Weed Abatement Administrative Time (hours)	21
Weed Abatement, Parcels Inspected	275



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilmember
Phillip Dupper, Councilmember
Ronald Dailey, Councilmember

COUNCIL AGENDA: December 11, 2018
TO: City Council
VIA: T. Jarb Thaipejr, City Manager
FROM: Jeff Bender, Fire Chief *JB*
SUBJECT: October Fire Department Activity Report

Approved/Continued/Denied
By City Council
Date _____

Operations Division:

The Fire Department's Operations Division responded to 380 incidents in October 2018. Of the 380 incidents, 73 calls were given in Mutual/Automatic Aid. The alarm types are broken down as follows:

Fire & Rescue	Month		YTD	
Medical Aid (MA)	219	57.6%	2295	56.5%
Traffic Collision (TC)	14	3.7%	174	4.3%
MA + TC	233	61.3%	2469	60.8%
Hazardous Conditions	2	0.5%	28	0.7%
Hazardous Material	0	0.0%	0	0.0%
Public Assistance	24	6.3%	316	7.8%
Rescue	5	1.3%	34	0.8%
Structure Fire	2	0.5%	32	0.8%
Cooking	0	0.0%	7	0.2%
Vegetation Fire	2	0.5%	39	1.0%
Vehicle Fire	0	0.0%	12	0.3%
Refuse Fire	2	0.5%	27	0.7%
All Fires	6	1.6%	117	2.9%
Good Intent/Dispatched & Cancelled Enroute	85	22.4%	852	21.0%
Fire Alarm Activation*	25	6.6%	248	6.1%

*Note: Includes accidental activation, burnt food, system malfunction, malicious, etc.

Training Division Highlights:

- Monthly Emergency Medical Services (EMS) Training
 - Truck Company Set-up night drill
 - Advanced Cardiovascular Life Support (ACLS) recertification courses
 - Nerve Agent training, all crews

Public Relations/Education:

- Station tours for a local Boy Scout Troop, a Pre-School group and four Bryn Mawr Elementary Kindergarten classes.
- Fire Prevention Week booths were set up at Clark's and Loma Linda Market
- Fire Safety Presentation for the Boys & Girls Club at Bryn Mawr Elementary and Loma Linda Academy Kindergarten class.

SUBJECT: October 2018 Fire Department Activity Report Continued

Public Relations/Education Continued:

- Crews supported the annual Walk to Remember
- Attended First Responders Appreciation Day at Active Church

Fire Prevention Division:

The Fire Departments Prevention Division monthly activity report is as follows:

Certificate Of Occupancy Inspection	
Commercial UL-300 Hood Inspections	1
Clean Agent FM 200 System Inspection	
Construction Site Inspection	22
Fire Alarm System Test & Inspection (# of trips)	8
Fire Building Final Inspection	11
Fire Flow Test (Hydrant Testing)	2
Fire Sprinkler Final – Commercial	4
Fire Sprinkler Final – Residential	12
Fire Sprinkler Rough – Commercial	
Fire Sprinkler Rough – Residential	
Fire Underground – Inspection, test, flush	10
Five Year FS System Certification – Observe Flush	
Knox Box Placement/Inspection	
New Tenant Inspection	
Over-Head Hydro – Commercial	
Over-Head Hydro – Residential	
Plan Check Review / Project Review (hours)	39
Smoke Alarm Check	12
Solar PV Inspection	12
EOC Training or Activation (hours)	
Evacuation / Fire Drills, LLUMC, Schools	3
Fire Code Research (hours)	31
Fire Extinguisher Training	3
Meetings	23
Public Education (hours)	
Public Hearings / Council Meetings	
Training Classes (hours)	1
Annual Fire Inspections	10
Engine Co. Computer / RMS (Hours)	
Engine Company Follow-up Inspection (hours)	11
Field Investigation / Inquiries	3
Fire / Arson / Illegal Burn Investigation	
State Fire Marshal Permits Issued	3
State Fire Marshal Title 19 Inspections: RCF's	15
Weed Abatement Administrative Time (hours)	13
Weed Abatement, Parcels Inspected	



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

COUNCIL AGENDA: December 11, 2018

TO: City Council

FROM: Konrad Bolowich, Assistant City Manager

SUBJECT: Declare as surplus and authorize disposal of various technology devices and associated equipment

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that the City Council declare the items listed on Attachment A as surplus equipment and direct staff to dispose of such equipment in a cost effective and environmentally sensitive manner.

BACKGROUND

From time to time, technology systems reach obsolescence and are replaced. The items listed in Attachment - A are no longer serviceable or are obsolete, and have been replaced.

ANALYSIS

Items will be disposed of through the existing e-waste program where precious metals and recyclable components are recovered prior to entering the waste stream. Any associated data storage components will be magnetically erased and physically destroyed in a separate process.

ENVIRONMENTAL

There is no environmental impact.

FINANCIAL IMPACT

There is no fee for recycling electronic waste and destroying data on the hard drives pursuant to our current recycling contractor.

ATTACHMENT

- A. Equipment disposition form

31		35563807311207	Samsung Convoy 4
32		35563807304558	Samsung Convoy 4
33		35563807304342	Samsung Convoy 4
34		35563807345135	Samsung Convoy 4
35		35563807346458	Samsung Convoy 4
36		35563807346318	Samsung Convoy 4
37		35563807344125	Samsung Convoy 4
38		35563807346819	Samsung Convoy 4
39		35563807346387	Samsung Convoy 4
40		35563807346322	Samsung Convoy 4
41		35563807343592	Samsung Convoy 4
42		35563807346384	Samsung Convoy 4
43		35563807346394	Samsung Convoy 4
44			
45			
46			

Check One:
<input type="checkbox"/> Sold (Please attach supporting documentation.)
<input type="checkbox"/> Lost (Please include complete description of circumstances surrounding loss.)
<input type="checkbox"/> Donated to outside organization (Please attach supporting documentation.)
<input type="checkbox"/> Traded In (Please attach supporting documentation.)
<input type="checkbox"/> Reassigned for use as source of parts
<input type="checkbox"/> Stolen (Please attach police report or complete description of circumstances.)
<input type="checkbox"/> Destroyed (Please include complete description of circumstances.)
<input checked="" type="checkbox"/> Other, Please explain E-WASTE

Distribution: Original - Finance; Copy - Relinquishing Department

12/03

ASSET DISPOSITION FORM

(This form to be completed upon the disposition of capital assets, with the exception of exception of equip. for surplus)

Sold for: _____

\$0.00

by means of:

- Public Auction
- Sealed Bid
- Selling for Scrap
- Negotiated Sale

(X) box

Proceeds Returned to Fund: _____

Traded for: _____ (Other Asset)

Vendor Name: _____

Traded for: _____ (Other Dept. Asset)

Department: _____

Transferred: _____ (Asset)

Department: _____



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ronald Dailey, Councilman
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman

COUNCIL AGENDA: December 11, 2018

TO: City Council

FROM: T. Jarb Thaipejr, City Manager/Public Works Director 

SUBJECT: Approve the Notice of Completion to Resurface and Stripe Tennis and Pickle Ball Courts (CIP 18-736)

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that the City Council accept this project as substantially complete and authorize the City Clerk to file the Notice of Completion.

BACKGROUND

On October 9, 2018, City Council awarded the contract to California Surfacing of Claremont in an amount of \$15,600 with an approved contingency amount of \$1,600.

The Contractor performed in a responsive, professional and effective manner completing the work within the budget. The final project cost was \$15,600.

Attached is the Notice of Completion for the subject project. Upon City Council authorization, the City Clerk will submit the Notice of Completion for recordation. The one (1) year warranty provided by the contractor will commence from the date of recordation.

FINANCIAL IMPACT

Funding for this project was provided by 04-5320-8500, Park Capital Fund-Infrastructure.

I:\Public Works Admin\Staff Reports\Notice of Completion\Stripe Pickle Ball Ct 12-11-18.doc

RECORDING REQUESTED BY: AND WHEN RECORDED MAIL TO: CITY CLERK CITY OF LOMA LINDA 25541 BARTON ROAD LOMA LINDA CA 92354	
--	--

SPACE ABOVE THIS LINE FOR RECORDER'S USE
EXEMPT FROM FILING FEES, GOVERNMENT CODE SECTION 6103

NOTICE OF COMPLETION
NOTICE IS HEREBY GIVEN THAT:

1. The undersigned is OWNER or agent of the OWNER of the interest or estate stated below in the property hereinafter described:
2. The FULL NAME of the OWNER is City of Loma Linda
3. The FULL ADDRESS of the OWNER is 25541 Barton Road, Loma Linda, CA 92354
4. The NATURE OF THE INTEREST or ESTATE of the undersigned is: In fee.

(If other than fee, strike "in fee" and insert, for example "purchaser under contract of purchase" or "lessee.")

5. The FULL NAMES and FULL ADDRESSES of ALL PERSONS, if any, WHO HOLD SUCH INTEREST or ESTATE with the undersigned as JOINT TENANTS or as TENANTS IN COMMON are:

Names	Addresses
-------	-----------

6. The full names and full addresses of the predecessors in interest of the undersigned if the property was transferred subsequent to the commencement of the work of improvement herein referred to:

Names	Addresses
-------	-----------

7. A work of improvement on the property hereinafter described was COMPLETED November 20, 2018
8. The work of improvement completed is described as follows: Resurface and Stripe Tennis and Pickle Ball Courts at Elmer Digneo Park (CIP 18-736)
9. The NAME OF THE ORIGINAL CONTRACTOR, if any, for such work of improvement is California Surfacing, 4457 Oak Lane, Claremont, CA 91711-2130
10. The street address of said property is Elmer Digneo Pk, 10850 Parkland St., Loma Linda, CA 92354
11. The property on which said work of improvement was completed is in the City of Loma Linda
County of San Bernardino, State of California, and is described as follows:
Resurface and Stripe Tennis and Pickle Ball Courts at Elmer Digneo Park (CIP 18-736)

Signature of Owner or Agent Owner _____ Date: _____

Verification of INDIVIDUAL owner _____: I, the undersigned, declare under penalty of perjury under the laws of the State of California that I am the owner of the aforesaid interest or estate in the property described in the above notice; that I have read said notice, that I know and understand the contents thereof, and that the facts stated therein are true and correct.

Date and Place

(Signature of owner named in paragraph 2)

Verification for NON-INDIVIDUAL owner: I, the undersigned, declare under penalty of perjury under the laws of the State of California that I am the _____ of the aforesaid interest or "PRESIDENT, PARTNER, MANAGER, AGENT, ETC."

in the above notice; that I have read the said notice, that I know and understand the contents thereof, and that the facts stated therein are true and correct.

Date and Place

(Signature of person signing on behalf of owner)



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA: December 11, 2018
TO: City Council
FROM: Jeffrey Bender, Fire Chief *JB*
VIA: T. Jarb Thaipejr, City Manager
SUBJECT: Accept grant from Homeland Security Grant Program, Fiscal Year 2016 (HSGP 2016) in the amount of \$35,900 for the purchase of Ballistic Protect and Hemorrhage-control Kits

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that City Council accept a grant from Homeland Security Grant Program, Fiscal Year 2016 (HSGP FY2016) in the amount of \$35,900. It is also recommended that City Council declare the revenue and authorize the appropriation of funds to purchase fifteen (15) sets of Ballistic Protection and twenty (20) Hemorrhage-control Kits.

BACKGROUND

The Loma Linda Fire Department successfully solicited grant funding from the HSGP FY2016 in the amount of \$35,900 for 15 sets of ballistic protection and 20 trauma/hemorrhage-control kits. Colton Fire Department allocated their portion of the HSGP FY2016 grant to Loma Linda Fire Department to make this a regional grant purchase between the Colton and Loma Linda Fire Departments. The initial combined total of the project was \$33,116; however, upon receiving the final approved project allocation from San Bernardino County Fire, the amount was increased to \$35,870. The ballistic protection and hemorrhage-control kits will be issued to Firefighters and Fire Department Command Staff members for quick deployment in the event of an active shooter-type emergency.

ANALYSIS

Firefighters and Fire Department Command Staff members can be called upon to respond to an active shooter incident and currently lack enough ballistic protection to protect all firefighters and sufficient hemorrhage-control equipment to most safely and effectively respond to this type of mass casualty incident. Procuring this equipment will provide for each engine to be deployed with a minimum of three (3) ballistic protection sets and three (3) hemorrhage-control kits. Additional hemorrhage-control kits will be placed in Fire Department Command Staff vehicles.

FINANCIAL IMPACT

None. Accepting the grant revenue of \$35,900 and appropriating the revenue into 01-9334, as well as the expenditures, \$25,000 into 01-2110-1620 (Uniforms & Safety Equipment) and \$10,900 into 01-2110-1865 (EMS Supplies) respectively, will offset the expenditure for equipment.



Tim McHargue
Fire Chief
Fire Department
303 East "E" Street
Colton, CA 92324
(909) 370-5100

September 26, 2016

Tim McHargue
Fire Chief
Colton Fire Department
303 East "E" Street
Colton, CA 92324

Kathleen Gonzalez
San Bernardino County Fire
157 West 5th Street, 2nd Floor
San Bernardino, CA 92415

Ms. Gonzalez:

It is the intent of the Colton Fire Department to allocate their Fiscal Year 2016 Homeland Security Grant Program (FY 2016 HSGP) monies (\$18,235.00) to the Loma Linda Fire Department, and for it to be combined with Loma Linda Fire Department's FY 2016 HSGP monies (\$14,881.00). The combined monies (\$33,116.00) will be used for a combined project that includes the purchasing of ballistic protection (vest and helmets) and trauma kits for the firefighters of East Valley Fire (Loma Linda and Colton Fire Department's). If you have any questions or require any further clarification, please contact Shannon Kendall. He can be reached by phone at: 909-799-2860 or by email at: skendall@lomalinda-ca.gov.

Respectfully,

Tim McHargue
Fire Chief
Colton Fire Department



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA: December 11, 2018

TO: City Council

FROM: Jeff Bender, Fire Chief *JB*

VIA: T. Jarb Thaipejr, City Manager

SUBJECT: Flooring replacement for Fire Station 251, Emergency Operations Center and the breezeway to City Hall

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that the City Council award the bid to New Image Interior Flooring to replace the flooring throughout Fire Station 251, the EOC, and the breezeway to City Hall in the amount of \$28,875.00

BACKGROUND

The current flooring throughout Fire Station 251 and the EOC have been in place for many years and has needed to be replaced for some time now. In the FY 2018/19 budget we were finally able to budget for this capital replacement need. Department personnel are very conscious in monitoring footwear to keep contaminants, dirt and fire debris out of the fire station. This care and maintenance has been instrumental in us appreciating the long service life that we have. Even with the best care we have surpassed a reasonable life expectancy and currently have significant wear patterns and stains. The EOC is used regularly for community meetings and County-wide committees and in its current state reflects poorly on our City.

ANALYSIS

Over the last several years the flooring industry has produced a variety of affordable hard surfaces. Our flooring replacement proposal includes a combination of Vinyl Tile in common hallway spaces and carpet in offices and the EOC. A formal RFP process was followed for this project. Four vendors responded with proposals with New Image Interior being the lowest bidder at \$28,875. The other responding vendors were: Mar's Carpets \$31,704, Mac's Custom Flooring \$36,758, and Kenaston Flooring \$33,840. The City has previously used New Image Interior Flooring for a project in the Public Library so we do have some history with them as a vendor performs as anticipated per the bid.

FINANCIAL IMPACT

Funding for this project was included in the FY 18/19 budget, Account 01-2110-8220.

City of Loma Linda

Request for Proposal Results

Flooring for Station 251, EOC & Breezeway

				New Image		Mar's Carpets		Kenaston Flooring		Mac's Custom Flooring	
ITEM				UNIT		UNIT		UNIT		UNIT	
NO.	DESCRIPTION	UNIT	QUANTITY	PRICE	TOTAL	PRICE	TOTAL	PRICE	TOTAL	PRICE	TOTAL
1	Install new flooring in Station 251, EOC & Breezeway	LS	1	28,875.00	28,875.00	31,704.00	31,704.00	33,840.00	33,840.00	36,758.67	36,758.67
		TOTAL			\$28,875.00		\$31,704.00		\$33,840.00		\$36,758.67



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA: December 11, 2018
TO: City Council
FROM: Barbara Nicholson, City Clerk *BN*
VIA: T. Jarb Thaipejr, City Manager *T.J.T.*
SUBJECT: Position Description – Utilities Plant Maintenance Mechanic

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that the City Council approve the attached Utilities Plant Maintenance Mechanic position description.

BACKGROUND

This Utilities Plant Maintenance Mechanic position is being created to facilitate and is essential to the maintenance and operation of the Richardson Treatment Plant and associated wells and boosters. The duties are currently performed by a contractor under Lockheed Martin Corporation's (LMC) direction and LCM requested transitioning these duties to a City position. The position is responsible for scheduled and unscheduled maintenance, as well as repairs which may be necessary for the normal function and operation of the treatment facilities. The position will be funded (at least in part) by LMC.

ANALYSIS

The position description attached was developed using position descriptions from other public agencies with similar positions, with input from our Utility Superintendent. The salary range for the position would be set at Range 20, commensurate with other City utility positions with similar level of responsibility; is non-exempt; and, represented by the Loma Linda Public Works Employees Association.

ENVIRONMENTAL

None.

FINANCIAL IMPACT

Funding is available in the 65-7000-7010 account (Water Production), to be reimbursed in part by Lockheed Martin Corporation.

CITY OF LOMA LINDA



UTILITIES PLANT MAINTENANCE MECHANIC

Created: December 2018

DEFINITION

Under the supervision of the Utilities Services Superintendent, performs skilled work in the maintenance and repair of water treatment equipment and facilities. Work involves the installation, maintenance and repair of: drinking and irrigation water production, distribution and treatment facilities, mechanical and electro mechanical machinery, related equipment and buildings. Incumbent is responsible for the scheduled and unscheduled maintenance of the plant and related work as required. Related work assignments involve the responsibility for performing tasks to maintain efficient operations of the water treatment plant and related facilities.

CLASS CHARACTERISTICS

Utilities Maintenance mechanic is a position in the only position in the Utilities Maintenance Mechanic Series. The class receives general supervision from higher level management: Utility Services Superintendent or Designee.

EXAMPLES OF DUTIES

Depending on assignment, duties may include, but are not limited to, the following:

1. Maintain, install, inspect modify and replace equipment and processes to monitor and affect water
2. Perform responsible mechanical maintenance and repair work with accuracy and minimal supervision
3. Perform installations, repairs and troubleshooting on water distribution and treatment systems
4. Perform preventative maintenance on water facilities, equipment, and related machinery
5. Install Pumps, variable speed drives, motors, timing devices, telemetering electrical equipment and remove defective equipment
6. Develop a schedule for and performs regular inspection and preventative maintenance of equipment and machinery; Maintain detailed and accurate records of equipment, repairs, maintenance, orders, etc.
7. Investigate complaints and reports of malfunctions
8. Maintain and repair piping systems and complete related plumbing and pipefitting tasks
9. Carry out service orders to completion as required
10. Oversee the care, maintenance, and safe operation of equipment used in assigned work
11. Work overtime as required
12. Drive a department vehicle in the course of daily duties
13. Perform related work as required

KNOWLEDGE, SKILLS AND ABILITIES

Knowledge of:

- Knowledge of standard practices, procedures, tools, and materials used in the installation, maintenance, and repair of heavy plant equipment, pumps, motors, controllers, variable speed and chain drives and lift stations
- Principles, practices, and techniques of utility systems and water collection/distribution/treatment systems
- Occupational hazards and standard safety precautions necessary in the work
- Safe work methods, precautions, industry best practices, safe driving principles and practices

Skill to:

- Perform skilled work in the construction, maintenance, or repair of City water systems, and related facilities
- Read interpret and apply a wide variety of technical information from manuals, drawings, specifications, layouts, blueprints, and schematics pertaining to water production, distribution and related facilities
- Safely and properly operate various tools and equipment
- Demonstrate proficiency in the care and use of all site specific, facility required personal protection equipment.
- Act as a lead worker directing semi-skilled and unskilled employees on mechanic work; may provide lead supervision and train less experienced personnel as required

Ability to:

- Understand and follow verbal and written directions
- Read, write, interpret and record data from: meters, gauges, scales, panels, computer consoles, and other equipment.
- Carry out City water system operating policies and procedures
- Participate in department cross-training
- Establish and maintain effective working relationships with those contacted in the course of work
- Work effectively in the absence of supervision
- Act quickly and calmly in emergencies
- Exercise good judgement
- Assists other personnel in the performance of emergency duties as needed

QUALIFICATIONS GUIDELINES

Minimum requirements as a condition of hire are as follows:

Education

- A High School Diploma or G.E.D certificate is required.
- Supplemental college level or vocational coursework related to water supply engineering or closely related field is highly desirable.

License and Certificates

- Possess/maintain a valid and appropriate California license (Class C)
- Possess/maintain a water distribution or treatment operator grade II certificate

Experience

- A combination of education and experience that provides the knowledge, skills and ability necessary for satisfactory job performance
- A minimum of two years of closely related experience is highly desirable. Closely related experience is defined as: water distribution systems, wastewater collection system, equipment and facilities and meter /customer service

SPECIAL REQUIREMENTS

Essential functions and duties require the following physical abilities and work environment

- Ability to travel to different sites and location
- Ability to maintain a safe driving record, observing legal and defensive driving practices.
- Ability to pass a medical examination at the time of appointment
- Ability to sit, stand, walk, kneel, crouch, stoop, squat, crawl, twist, climb, and lift up to 100 pounds
- Exposure to heat, noise, outdoors, vibration, confined work space, chemicals, explosive materials, mechanical hazards, and electrical hazards, toxic substances, wastewater, sludge, effluents, bacteria, viruses, traffic hazards.
- Incumbents work outdoors under varying weather conditions and must be able to perform heavy manual labor



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA: December 11, 2018

TO: City Council

FROM: Barbara Nicholson, City Clerk *BN*

VIA: T. Jarb Thaipejr, City Manager *TJT*

SUBJECT: Council Bill #R-2018-41 - Adopting Modification to the Miscellaneous Compensation Plan and Combining with the Safety Compensation Plan as One Document for Fiscal Years 2018-2019 and 2019-2020

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION

It is recommended that the City Council approve Council Bill #R-2018-41 - Adopting Modification to the Miscellaneous Compensation Plan and Combining with the Safety Compensation Plan as One Document for Fiscal Years 2018-2019 and 2019-2020.

BACKGROUND

Provided the City Council adopts the Utilities Plant Maintenance Mechanic position description, the Miscellaneous Compensation Plan would be amended. California Code of Regulations §570.5 requires that both the Miscellaneous and Safety Compensation Plans be adopted as one document, therefore, when a modification or amendment is made to one Plan, both need to be adopted together. This resolution will adopt both compensation plans, satisfying requirements of the State and CalPERS.

FINANCIAL IMPACT

None.

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, CALIFORNIA, ADOPTING THE MODIFICATION TO MISCELLANEOUS COMPENSATION PLAN AND ADOPTING THE MISCELLANEOUS AND SAFETY COMPENSATION PLANS FOR FISCAL YEARS 2018-2019 AND 2019-2020 AS ONE DOCUMENT PURSUANT TO CALIFORNIA CODE OF REGULATIONS §570.5

WHEREAS, the Miscellaneous Compensation Plan is modified to include the position of Utilities Plant Maintenance Mechanic as approved on December 11, 2018; and

WHEREAS, California Code of Regulations 570.5 requires pay rates for all city positions be approved and adopted by the governing body as one complete document; and

WHEREAS, Exhibit A to this resolution, City of Loma Linda 2018-2019 and 2019-2020 Compensation Plan and combines the modified Miscellaneous Compensation Plan and Safety Compensation Plan into one document as required by California Code of Regulations §570.5;

NOW, THEREFORE, be it resolved that the City Council of the City of Loma Linda does hereby approve and adopt the fiscal years 2018-2019 and 2019-2020 City of Loma Linda Compensation Plan.

PASSED, APPROVED AND ADOPTED this 11th day of December 2018 by the following vote:

Ayes:
Noes:
Absent:
Abstain:

Rhodes Rigsby, Mayor

ATTEST:

Barbara Nicholson, City Clerk

EXHIBIT "A"

2018-2019

&

2019-2020

CITY OF LOMA LINDA

COMPENSATION PLAN

Contains the Miscellaneous and Safety Compensation Plans and relates Salary Schedules

Modified (Miscellaneous) and Adopted:

**CITY OF LOMA LINDA
COMPENSATION PLAN
MISCELLANEOUS EMPLOYEES
FISCAL YEAR 2019-2020**

<u>POSITION TITLE</u>	<u>PAY GRADE</u>	<u>Annual Minimum</u>	<u>Annual Maximum</u>
STUDENT INTERN	12	\$14.57	
ADMINISTRATIVE SPECIALIST I	13	\$32,725.59	\$43,881.53
ACCOUNTING TECHNICIAN I	14	\$35,343.64	\$47,392.04
ADMINISTRATIVE SPECIALIST II	14	\$35,343.64	\$47,392.04
FIELD MAINTENANCE TECH I	15	\$38,171.14	\$51,183.41
UTILITIES AIDE	15	\$38,171.14	\$51,183.41
ACCOUNTING TECHNICIAN II	16	\$41,224.83	\$55,278.09
PARKING CONTROL OFFICER-SPECIAL EVENTS COORDINATOR	16	\$41,224.83	\$55,278.09
UTILITIES MAINTENANCE TECH I	16	\$41,224.83	\$55,278.09
ACCOUNTING SPECIALIST	17	\$44,522.82	\$59,700.36
ADMINISTRATIVE SPECIALIST III	17	\$44,522.82	\$59,700.36
TREATMENT PLANT OPERATOR I	17	\$44,522.82	\$59,700.36
CUSTOMER SERVICE/METER TECH	18	\$48,084.65	\$64,476.38
FIELD MAINTENANCE TECH II	18	\$48,084.65	\$64,476.38
STORMWATER INSPECTOR	18	\$48,084.65	\$64,476.38
CODE COMPLIANCE/ANIMAL CONTROL OFFICER	18	\$48,084.65	\$64,476.38
PARKING ENFORCEMENT/ANIMAL CONTROL OFFICER	18	\$48,084.65	\$64,476.38
ENGINEERING TECHNICIAN	19	\$51,931.42	\$69,634.50
EXECUTIVE AIDE	19	\$51,931.42	\$69,634.50
FACILITY MAINTENANCE COORDINATOR	19	\$51,931.42	\$69,634.50
FIELD MAINTENANCE TECH III	19	\$51,931.42	\$69,634.50
LEAD MECHANIC/FLEET SVCS COORDINATOR	19	\$51,931.42	\$69,634.50
PLANNING TECHNICIAN	19	\$51,931.42	\$69,634.50
SUPERVISING ACCOUNTING TECHNICIAN	19	\$51,931.42	\$69,634.50
TREATMENT PLANT OPERATOR II	19	\$51,931.42	\$69,634.50
UTILITIES MAINTENANCE TECH II	19	\$51,931.42	\$69,634.50
HUMAN RESOURCES - RISK MANAGEMENT ANALYST	19	\$51,931.42	\$69,634.50
ASSISTANT PLANNER	20	\$56,085.93	\$75,205.25
EXECUTIVE ASSISTANT	20	\$56,085.93	\$75,205.25
INFORMATION SYSTEMS ANALYST I	20	\$56,085.93	\$75,205.25
SENIOR CODE ENFORCEMENT OFFICER	20	\$56,085.93	\$75,205.25
TREATMENT PLANT OPERATOR III	20	\$56,085.93	\$75,205.25
UTILITIES MAINTENANCE TECH III	20	\$56,085.93	\$75,205.25
UTILITIES PLANT MAINTENANCE MECHANIC	20	\$56,085.93	\$75,205.25
ASSOCIATE PLANNER	21	\$60,572.80	\$81,221.67
FIRE PREVENTION INSPECTOR	21	\$60,572.80	\$81,221.67
INFORMATION SYSTEMS ANALYST II	21	\$60,572.80	\$81,221.67
SENIOR ACCOUNTANT/FINANCIAL ANALYST (PT)	21	\$27.18/hourly	\$36.44/hourly
SENIOR CENTER MANAGER (P/T)	21	\$27.18/hourly	\$36.44/hourly
INFORMATION SYSTEMS ANALYST III	22	\$65,418.62	\$87,719.39
EMERGENCY SERVICES COCRDINATOR	22	\$65,418.62	\$87,719.39
COMMUNICATIONS INFRUSTRUCTURE INSPECTOR	23	\$70,652.11	\$94,736.95

**CITY OF LOMA LINDA
 COMPENSATION PLAN
 MISCELLANEOUS EMPLOYEES
 FISCAL YEAR 2019-2020**

<u>POSITION TITLE</u>	<u>PAY GRADE</u>	<u>Annual Minimum</u>	<u>Annual Maximum</u>
ACCOUNTING MANAGER	24	\$76,304.28	\$102,315.89
FIELD SERVICES SUPERINTENDENT	25	\$76,304.28	\$110,501.17
INFORMATION SYSTEMS ANALYST IV	25	\$76,304.28	\$110,501.17
SENIOR PLANNER	25	\$76,304.28	\$110,501.17
UTILITY SERVICES SUPERINTENDENT	25	\$76,304.28	\$110,501.17
ASSOCIATE ENGINEER	26	\$89,001.31	\$119,341.27
CITY CLERK-HOUSING COORDINATOR	27	\$96,121.41	\$128,888.55
COMMUNITY DEVELOPMENT DIRECTOR	30	\$121,085.29	\$162,362.46
FINANCE DIRECTOR	30	\$121,085.29	\$162,362.46
PUBLIC WORKS DIRECTOR/CITY ENGINEER	31	\$130,772.11	\$175,351.45
ASSISTANT CITY MANAGER	32	\$141,233.88	\$189,379.55
FIRE CHIEF	33	\$152,532.59	\$204,529.94
CITY MANAGER	Contract		\$238,607.02
CITY COUNCIL	LLMC 2.12.020		\$1,066.73/monthly
Ordinance 732, adopted May 10, 2016			
ADOPTED:			
City Manager Contract approved 6/26/2018			

**COMPENSATION CITY OF LOMA LINDA
COMPENSATION PLAN
SAFETY EMPLOYEES
FISCAL YEAR 2018-2019**

<u>POSITION TITLE</u>	<u>PAY GRADE</u>	<u>Annual Minimum</u>	<u>Annual Maximum</u>
FIREFIGHTER-EMT	FIRE 1	\$60,525.48	\$79,225.88
FIREFIGHTER/PARAMEDIC	FIRE 4	\$70,065.81	\$91,713.86
FIRE ENGINEER	FIRE 6	\$77,247.56	\$101,114.54
FIRE CAPTAIN	FIRE 8	\$85,165.44	\$111,478.78
FIRE BATTALION CHIEF	FIRE 12	\$103,519.13	\$135,503.16
FIRE DIVISION CHIEF	FIRE 14	\$114,129.84	\$149,392.23

CITY OF LOMA LINDA
SALARY SCHEDULE
SAFETY EMPLOYEES
FISCAL YEAR 2018-2019

	GRADE	STEP 1	STEP 2	STEP 3	STEP 4	STEP 5	STEP 6	STEP 7	STEP 8
Annual	FIRE 1	\$60,525.48	\$63,551.75	\$66,729.34	\$70,065.81	\$73,569.10	\$75,408.33	\$77,293.54	\$79,225.88
Monthly		\$5,043.79	\$5,295.98	\$5,560.78	\$5,838.82	\$6,130.76	\$6,284.03	\$6,441.13	\$6,602.16
Bi-weekly		\$2,327.90	\$2,444.30	\$2,566.51	\$2,694.84	\$2,829.58	\$2,900.32	\$2,972.83	\$3,047.15
40-hour		\$29.10	\$30.55	\$32.08	\$33.69	\$35.37	\$36.25	\$37.16	\$38.09
56-hour		\$20.78	\$21.82	\$22.92	\$24.06	\$25.26	\$25.90	\$26.54	\$27.21
Annual	FIRE 2	\$63,551.75	\$66,729.34	\$70,065.81	\$73,569.10	\$77,247.56	\$79,178.75	\$81,158.22	\$83,187.18
Monthly		\$5,295.98	\$5,560.78	\$5,838.82	\$6,130.76	\$6,437.30	\$6,598.23	\$6,763.19	\$6,932.27
Bi-weekly		\$2,444.30	\$2,566.51	\$2,694.84	\$2,829.58	\$2,971.06	\$3,045.34	\$3,121.47	\$3,199.51
40-hour		\$30.55	\$32.08	\$33.69	\$35.37	\$37.14	\$38.07	\$39.02	\$39.99
56-hour		\$21.82	\$22.92	\$24.06	\$25.26	\$26.53	\$27.19	\$27.87	\$28.57
Annual	FIRE 3	\$66,729.34	\$70,065.81	\$73,569.10	\$77,247.56	\$81,109.94	\$83,137.69	\$85,216.13	\$87,346.53
Monthly		\$5,560.78	\$5,838.82	\$6,130.76	\$6,437.30	\$6,759.16	\$6,928.14	\$7,101.34	\$7,278.88
Bi-weekly		\$2,566.51	\$2,694.84	\$2,829.58	\$2,971.06	\$3,119.61	\$3,197.60	\$3,277.54	\$3,359.48
40-hour		\$32.08	\$33.69	\$35.37	\$37.14	\$39.00	\$39.97	\$40.97	\$41.99
56-hour		\$22.92	\$24.06	\$25.26	\$26.53	\$27.85	\$28.55	\$29.26	\$30.00
Annual	FIRE 4	\$70,065.81	\$73,569.10	\$77,247.56	\$81,109.94	\$85,165.44	\$87,294.58	\$89,476.94	\$91,713.86
Monthly		\$5,838.82	\$6,130.76	\$6,437.30	\$6,759.16	\$7,097.12	\$7,274.55	\$7,456.41	\$7,642.82
Bi-weekly		\$2,694.84	\$2,829.58	\$2,971.06	\$3,119.61	\$3,275.59	\$3,357.48	\$3,441.42	\$3,527.46
40-hour		\$33.69	\$35.37	\$37.14	\$39.00	\$40.94	\$41.97	\$43.02	\$44.09
56-hour		\$24.06	\$25.26	\$26.53	\$27.85	\$29.25	\$29.98	\$30.73	\$31.50
Annual	FIRE 5	\$73,569.10	\$77,247.56	\$81,109.94	\$85,165.44	\$89,423.71	\$91,659.30	\$93,950.78	\$96,299.55
Monthly		\$6,130.76	\$6,437.30	\$6,759.16	\$7,097.12	\$7,451.98	\$7,638.28	\$7,829.23	\$8,024.96
Bi-weekly		\$2,829.58	\$2,971.06	\$3,119.61	\$3,275.59	\$3,439.37	\$3,525.36	\$3,613.49	\$3,703.83
40-hour		\$35.37	\$37.14	\$39.00	\$40.94	\$42.99	\$44.07	\$45.17	\$46.30
56-hour		\$25.26	\$26.53	\$27.85	\$29.25	\$30.71	\$31.48	\$32.26	\$33.07
Annual	FIRE 6	\$77,247.56	\$81,109.94	\$85,165.44	\$89,423.71	\$93,894.90	\$96,242.27	\$98,648.33	\$101,114.54
Monthly		\$6,437.30	\$6,759.16	\$7,097.12	\$7,451.98	\$7,824.58	\$8,020.19	\$8,220.69	\$8,426.21
Bi-weekly		\$2,971.06	\$3,119.61	\$3,275.59	\$3,439.37	\$3,611.34	\$3,701.63	\$3,794.17	\$3,889.02
40-hour		\$37.14	\$39.00	\$40.94	\$42.99	\$45.14	\$46.27	\$47.43	\$48.61
56-hour		\$26.53	\$27.85	\$29.25	\$30.71	\$32.24	\$33.05	\$33.88	\$34.72
Annual	FIRE 7	\$81,109.94	\$85,165.44	\$89,423.71	\$93,894.90	\$98,589.65	\$101,054.39	\$103,580.75	\$106,170.27
Monthly		\$6,759.16	\$7,097.12	\$7,451.98	\$7,824.58	\$8,215.80	\$8,421.20	\$8,631.73	\$8,847.52
Bi-weekly		\$3,119.61	\$3,275.59	\$3,439.37	\$3,611.34	\$3,791.91	\$3,886.71	\$3,983.88	\$4,083.47
40-hour		\$39.00	\$40.94	\$42.99	\$45.14	\$47.40	\$48.58	\$49.80	\$51.04
56-hour		\$27.85	\$29.25	\$30.71	\$32.24	\$33.86	\$34.70	\$35.57	\$36.46
Annual	FIRE 8	\$85,165.44	\$89,423.71	\$93,894.90	\$98,589.65	\$103,519.13	\$106,107.11	\$108,759.79	\$111,478.78
Monthly		\$7,097.12	\$7,451.98	\$7,824.58	\$8,215.80	\$8,626.59	\$8,842.26	\$9,063.32	\$9,289.90
Bi-weekly		\$3,275.59	\$3,439.37	\$3,611.34	\$3,791.91	\$3,981.51	\$4,081.04	\$4,183.07	\$4,287.65
40-hour		\$40.94	\$42.99	\$45.14	\$47.40	\$49.77	\$51.01	\$52.29	\$53.60
56-hour		\$29.25	\$30.71	\$32.24	\$33.86	\$35.55	\$36.44	\$37.35	\$38.28

CITY OF LOMA LINDA
SALARY SCHEDULE
SAFETY EMPLOYEES
FISCAL YEAR 2018-2019

Annual	FIRE 9	\$89,423.71	\$93,894.90	\$98,589.65	\$103,519.13	\$108,695.09	\$111,412.47	\$114,197.78	\$117,052.72
Monthly		\$7,451.98	\$7,824.58	\$8,215.80	\$8,626.59	\$9,057.92	\$9,284.37	\$9,516.48	\$9,754.39
Bi-weekly		\$3,439.37	\$3,611.34	\$3,791.91	\$3,981.51	\$4,180.58	\$4,285.10	\$4,392.22	\$4,502.03
40-hour		\$42.99	\$45.14	\$47.40	\$49.77	\$52.26	\$53.56	\$54.90	\$56.28
56-hour		\$30.71	\$32.24	\$33.86	\$35.55	\$37.33	\$38.26	\$39.22	\$40.20
Annual	FIRE 10	\$93,894.90	\$98,589.65	\$103,519.13	\$108,695.09	\$114,129.84	\$116,983.09	\$119,907.67	\$122,905.36
Monthly		\$7,824.58	\$8,215.80	\$8,626.59	\$9,057.92	\$9,510.82	\$9,748.59	\$9,992.31	\$10,242.11
Bi-weekly		\$3,611.34	\$3,791.91	\$3,981.51	\$4,180.58	\$4,389.61	\$4,499.35	\$4,611.83	\$4,727.13
40-hour		\$45.14	\$47.40	\$49.77	\$52.26	\$54.87	\$56.24	\$57.65	\$59.09
56-hour		\$32.24	\$33.86	\$35.55	\$37.33	\$39.19	\$40.17	\$41.18	\$42.21
Annual	FIRE 11	\$98,589.65	\$103,519.13	\$108,695.09	\$114,129.84	\$119,836.33	\$122,832.24	\$125,903.05	\$129,050.63
Monthly		\$8,215.80	\$8,626.59	\$9,057.92	\$9,510.82	\$9,986.36	\$10,236.02	\$10,491.92	\$10,754.22
Bi-weekly		\$3,791.91	\$3,981.51	\$4,180.58	\$4,389.61	\$4,609.09	\$4,724.32	\$4,842.43	\$4,963.49
40-hour		\$47.40	\$49.77	\$52.26	\$54.87	\$57.61	\$59.05	\$60.53	\$62.04
56-hour		\$33.86	\$35.55	\$37.33	\$39.19	\$41.15	\$42.18	\$43.24	\$44.32
Annual	FIRE 12	\$103,519.13	\$108,695.09	\$114,129.84	\$119,836.33	\$125,828.15	\$128,973.85	\$132,198.20	\$135,503.16
Monthly		\$8,626.59	\$9,057.92	\$9,510.82	\$9,986.36	\$10,485.68	\$10,747.82	\$11,016.52	\$11,291.93
Bi-weekly		\$3,981.51	\$4,180.58	\$4,389.61	\$4,609.09	\$4,839.54	\$4,960.53	\$5,084.55	\$5,211.66
40-hour		\$49.77	\$52.26	\$54.87	\$57.61	\$60.49	\$62.01	\$63.56	\$65.15
56-hour		\$35.55	\$37.33	\$39.19	\$41.15	\$43.21	\$44.29	\$45.40	\$46.53
Annual	FIRE 13	\$108,695.09	\$114,129.84	\$119,836.33	\$125,828.15	\$132,119.56	\$135,422.55	\$138,808.11	\$142,278.31
Monthly		\$9,057.92	\$9,510.82	\$9,986.36	\$10,485.68	\$11,009.96	\$11,285.21	\$11,567.34	\$11,856.53
Bi-weekly		\$4,180.58	\$4,389.61	\$4,609.09	\$4,839.54	\$5,081.52	\$5,208.56	\$5,338.77	\$5,472.24
40-hour		\$52.26	\$54.87	\$57.61	\$60.49	\$63.52	\$65.11	\$66.73	\$68.40
56-hour		\$37.33	\$39.19	\$41.15	\$43.21	\$45.37	\$46.50	\$47.67	\$48.86
Annual	FIRE 14	\$114,129.84	\$119,836.33	\$125,828.15	\$132,119.56	\$138,725.54	\$142,193.68	\$145,748.52	\$149,392.23
Monthly		\$9,510.82	\$9,986.36	\$10,485.68	\$11,009.96	\$11,560.46	\$11,849.47	\$12,145.71	\$12,449.35
Bi-weekly		\$4,389.61	\$4,609.09	\$4,839.54	\$5,081.52	\$5,335.60	\$5,468.99	\$5,605.71	\$5,745.86
40-hour		\$54.87	\$57.61	\$60.49	\$63.52	\$66.69	\$68.36	\$70.07	\$71.82
56-hour		\$39.19	\$41.15	\$43.21	\$45.37	\$47.64	\$48.83	\$50.05	\$51.30

25.00% SPREAD MIN TO MAX

5.00% SPREAD BETWEEN GRADES

5.00% SPREAD BETWEEN STEPS 1-5; 2.5% BETWEEN STEP 5 & 6

STEP 7 after 3 years at Step 6 2.50%

STEP 8 after 3 years at Step 7 2.50%

**COMPENSATION CITY OF LOMA LINDA
COMPENSATION PLAN
SAFETY EMPLOYEES
FISCAL YEAR 2019-2020**

<u>POSITION TITLE</u>	<u>PAY GRADE</u>	<u>Annual Minimum</u>	<u>Annual Maximum</u>
FIREFIGHTER-EMT	FIRE 1	\$61,735.99	\$80,810.40
FIREFIGHTER/PARAMEDIC	FIRE 4	\$71,467.13	\$93,548.14
FIRE ENGINEER	FIRE 6	\$78,792.51	\$103,136.83
FIRE CAPTAIN	FIRE 8	\$86,868.75	\$113,708.35
FIRE BATTALION CHIEF	FIRE 12	\$105,589.51	\$138,213.21
FIRE DIVISION CHIEF	FIRE 14	\$116,412.44	\$152,380.08

CITY OF LOMA LINDA
SALARY SCHEDULE
SAFETY EMPLOYEES
FISCAL YEAR 2019-2020

	GRADE	STEP 1	STEP 2	STEP 3	STEP 4	STEP 5	STEP 6	STEP 7	STEP 8
Annual	FIRE 1	\$61,735.99	\$64,822.79	\$68,063.93	\$71,467.13	\$75,040.49	\$76,916.50	\$78,839.41	\$80,810.40
Monthly		\$5,144.67	\$5,401.90	\$5,671.99	\$5,955.59	\$6,253.37	\$6,409.71	\$6,569.95	\$6,734.20
Bi-weekly		\$2,374.46	\$2,493.18	\$2,617.84	\$2,748.74	\$2,886.17	\$2,958.33	\$3,032.29	\$3,108.09
40-hour		\$29.68	\$31.16	\$32.72	\$34.36	\$36.08	\$36.98	\$37.90	\$38.85
56-hour		\$21.20	\$22.26	\$23.37	\$24.54	\$25.77	\$26.41	\$27.07	\$27.75
Annual	FIRE 2	\$64,822.79	\$68,063.93	\$71,467.13	\$75,040.49	\$78,792.51	\$80,762.32	\$82,781.38	\$84,850.91
Monthly		\$5,401.90	\$5,671.99	\$5,955.59	\$6,253.37	\$6,566.04	\$6,730.19	\$6,898.45	\$7,070.91
Bi-weekly		\$2,493.18	\$2,617.84	\$2,748.74	\$2,886.17	\$3,030.48	\$3,106.24	\$3,183.90	\$3,263.50
40-hour		\$31.16	\$32.72	\$34.36	\$36.08	\$37.88	\$38.83	\$39.80	\$40.79
56-hour		\$22.26	\$23.37	\$24.54	\$25.77	\$27.06	\$27.73	\$28.43	\$29.14
Annual	FIRE 3	\$68,063.93	\$71,467.13	\$75,040.49	\$78,792.51	\$82,732.14	\$84,800.44	\$86,920.45	\$89,093.46
Monthly		\$5,671.99	\$5,955.59	\$6,253.37	\$6,566.04	\$6,894.35	\$7,066.70	\$7,243.37	\$7,424.46
Bi-weekly		\$2,617.84	\$2,748.74	\$2,886.17	\$3,030.48	\$3,182.01	\$3,261.56	\$3,343.09	\$3,426.67
40-hour		\$32.72	\$34.36	\$36.08	\$37.88	\$39.78	\$40.77	\$41.79	\$42.83
56-hour		\$23.37	\$24.54	\$25.77	\$27.06	\$28.41	\$29.12	\$29.85	\$30.60
Annual	FIRE 4	\$71,467.13	\$75,040.49	\$78,792.51	\$82,732.14	\$86,868.75	\$89,040.47	\$91,266.48	\$93,548.14
Monthly		\$5,955.59	\$6,253.37	\$6,566.04	\$6,894.35	\$7,239.06	\$7,420.04	\$7,605.54	\$7,795.68
Bi-weekly		\$2,748.74	\$2,886.17	\$3,030.48	\$3,182.01	\$3,341.11	\$3,424.63	\$3,510.25	\$3,598.01
40-hour		\$34.36	\$36.08	\$37.88	\$39.78	\$41.76	\$42.81	\$43.88	\$44.98
56-hour		\$24.54	\$25.77	\$27.06	\$28.41	\$29.83	\$30.58	\$31.34	\$32.13
Annual	FIRE 5	\$75,040.49	\$78,792.51	\$82,732.14	\$86,868.75	\$91,212.19	\$93,492.49	\$95,829.80	\$98,225.55
Monthly		\$6,253.37	\$6,566.04	\$6,894.35	\$7,239.06	\$7,601.02	\$7,791.04	\$7,985.82	\$8,185.46
Bi-weekly		\$2,886.17	\$3,030.48	\$3,182.01	\$3,341.11	\$3,508.16	\$3,595.87	\$3,685.76	\$3,777.91
40-hour		\$36.08	\$37.88	\$39.78	\$41.76	\$43.85	\$44.95	\$46.07	\$47.22
56-hour		\$25.77	\$27.06	\$28.41	\$29.83	\$31.32	\$32.11	\$32.91	\$33.73
Annual	FIRE 6	\$78,792.51	\$82,732.14	\$86,868.75	\$91,212.19	\$95,772.80	\$98,167.12	\$100,621.30	\$103,136.83
Monthly		\$6,566.04	\$6,894.35	\$7,239.06	\$7,601.02	\$7,981.07	\$8,180.59	\$8,385.11	\$8,594.74
Bi-weekly		\$3,030.48	\$3,182.01	\$3,341.11	\$3,508.16	\$3,683.57	\$3,775.66	\$3,870.05	\$3,966.80
40-hour		\$37.88	\$39.78	\$41.76	\$43.85	\$46.04	\$47.20	\$48.38	\$49.59
56-hour		\$27.06	\$28.41	\$29.83	\$31.32	\$32.89	\$33.71	\$34.55	\$35.42
Annual	FIRE 7	\$82,732.14	\$86,868.75	\$91,212.19	\$95,772.80	\$100,561.44	\$103,075.48	\$105,652.37	\$108,293.68
Monthly		\$6,894.35	\$7,239.06	\$7,601.02	\$7,981.07	\$8,380.12	\$8,589.62	\$8,804.36	\$9,024.47
Bi-weekly		\$3,182.01	\$3,341.11	\$3,508.16	\$3,683.57	\$3,867.75	\$3,964.44	\$4,063.55	\$4,165.14
40-hour		\$39.78	\$41.76	\$43.85	\$46.04	\$48.35	\$49.56	\$50.79	\$52.06
56-hour		\$28.41	\$29.83	\$31.32	\$32.89	\$34.53	\$35.40	\$36.28	\$37.19
Annual	FIRE 8	\$86,868.75	\$91,212.19	\$95,772.80	\$100,561.44	\$105,589.51	\$108,229.25	\$110,934.98	\$113,708.35
Monthly		\$7,239.06	\$7,601.02	\$7,981.07	\$8,380.12	\$8,799.13	\$9,019.10	\$9,244.58	\$9,475.70
Bi-weekly		\$3,341.11	\$3,508.16	\$3,683.57	\$3,867.75	\$4,061.14	\$4,162.66	\$4,266.73	\$4,373.40
40-hour		\$41.76	\$43.85	\$46.04	\$48.35	\$50.76	\$52.03	\$53.33	\$54.67
56-hour		\$29.83	\$31.32	\$32.89	\$34.53	\$36.26	\$37.17	\$38.10	\$39.05

CITY OF LOMA LINDA
SALARY SCHEDULE
SAFETY EMPLOYEES
FISCAL YEAR 2019-2020

Annual	FIRE 9	\$91,212.19	\$95,772.80	\$100,561.44	\$105,589.51	\$110,868.99	\$113,640.71	\$116,481.73	\$119,393.77
Monthly		\$7,601.02	\$7,981.07	\$8,380.12	\$8,799.13	\$9,239.08	\$9,470.06	\$9,706.81	\$9,949.48
Bi-weekly		\$3,508.16	\$3,683.57	\$3,867.75	\$4,061.14	\$4,264.19	\$4,370.80	\$4,480.07	\$4,592.07
40-hour		\$43.85	\$46.04	\$48.35	\$50.76	\$53.30	\$54.63	\$56.00	\$57.40
56-hour		\$31.32	\$32.89	\$34.53	\$36.26	\$38.07	\$39.02	\$40.00	\$41.00
Annual	FIRE 10	\$95,772.80	\$100,561.44	\$105,589.51	\$110,868.99	\$116,412.44	\$119,322.75	\$122,305.82	\$125,363.47
Monthly		\$7,981.07	\$8,380.12	\$8,799.13	\$9,239.08	\$9,701.04	\$9,943.56	\$10,192.15	\$10,446.96
Bi-weekly		\$3,683.57	\$3,867.75	\$4,061.14	\$4,264.19	\$4,477.40	\$4,589.34	\$4,704.07	\$4,821.67
40-hour		\$46.04	\$48.35	\$50.76	\$53.30	\$55.97	\$57.37	\$58.80	\$60.27
56-hour		\$32.89	\$34.53	\$36.26	\$38.07	\$39.98	\$40.98	\$42.00	\$43.05
Annual	FIRE 11	\$100,561.44	\$105,589.51	\$110,868.99	\$116,412.44	\$122,233.06	\$125,288.89	\$128,421.11	\$131,631.64
Monthly		\$8,380.12	\$8,799.13	\$9,239.08	\$9,701.04	\$10,186.09	\$10,440.74	\$10,701.76	\$10,969.30
Bi-weekly		\$3,867.75	\$4,061.14	\$4,264.19	\$4,477.40	\$4,701.27	\$4,818.80	\$4,939.27	\$5,062.76
40-hour		\$48.35	\$50.76	\$53.30	\$55.97	\$58.77	\$60.24	\$61.74	\$63.28
56-hour		\$34.53	\$36.26	\$38.07	\$39.98	\$41.98	\$43.03	\$44.10	\$45.20
Annual	FIRE 12	\$105,589.51	\$110,868.99	\$116,412.44	\$122,233.06	\$128,344.71	\$131,553.33	\$134,842.16	\$138,213.21
Monthly		\$8,799.13	\$9,239.08	\$9,701.04	\$10,186.09	\$10,695.39	\$10,962.78	\$11,236.85	\$11,517.77
Bi-weekly		\$4,061.14	\$4,264.19	\$4,477.40	\$4,701.27	\$4,936.34	\$5,059.74	\$5,186.24	\$5,315.89
40-hour		\$50.76	\$53.30	\$55.97	\$58.77	\$61.70	\$63.25	\$64.83	\$66.45
56-hour		\$36.26	\$38.07	\$39.98	\$41.98	\$44.07	\$45.18	\$46.31	\$47.46
Annual	FIRE 13	\$110,868.99	\$116,412.44	\$122,233.06	\$128,344.71	\$134,761.95	\$138,131.00	\$141,584.28	\$145,123.89
Monthly		\$9,239.08	\$9,701.04	\$10,186.09	\$10,695.39	\$11,230.16	\$11,510.92	\$11,798.69	\$12,093.66
Bi-weekly		\$4,264.19	\$4,477.40	\$4,701.27	\$4,936.34	\$5,183.15	\$5,312.73	\$5,445.55	\$5,581.69
40-hour		\$53.30	\$55.97	\$58.77	\$61.70	\$64.79	\$66.41	\$68.07	\$69.77
56-hour		\$38.07	\$39.98	\$41.98	\$44.07	\$46.28	\$47.44	\$48.62	\$49.84
Annual	FIRE 14	\$116,412.44	\$122,233.06	\$128,344.71	\$134,761.95	\$141,500.05	\$145,037.55	\$148,663.49	\$152,380.08
Monthly		\$9,701.04	\$10,186.09	\$10,695.39	\$11,230.16	\$11,791.67	\$12,086.46	\$12,388.62	\$12,698.34
Bi-weekly		\$4,477.40	\$4,701.27	\$4,936.34	\$5,183.15	\$5,442.31	\$5,578.37	\$5,717.83	\$5,860.77
40-hour		\$55.97	\$58.77	\$61.70	\$64.79	\$68.03	\$69.73	\$71.47	\$73.26
56-hour		\$39.98	\$41.98	\$44.07	\$46.28	\$48.59	\$49.81	\$51.05	\$52.33

25.00% SPREAD MIN TO MAX

5.00% SPREAD BETWEEN GRADES

5.00% SPREAD BETWEEN STEPS 1-5; 2.5% BETWEEN STEP 5 & 6

STEP 7 after 3 years at Step 6 2.50%

STEP 8 after 3 years at Step 7 2.50%



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

COUNCIL AGENDA: December 11, 2018

TO: City Council

FROM: Konrad Bolowich, Assistant City Manager *[Signature]*

SUBJECT: Fire Chief Separation Agreement

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION

It is recommended that the City Council authorize the City Manager to execute the separation agreement with the current Fire Chief.

BACKGROUND

Chief Bender has been employed by the City of Loma Linda since August 24, 2005, and was promoted directly from the Fire Captain position to the Fire Chief position effective December 12, 2007. The fire command staff has recommended structural and functional changes to the Department to facilitate cost savings as well as greater independence for both organizations while continuing to benefit from efficiencies of the consolidated staff.

ANALYSIS

The early retirement/separation of Chief Bender as part of the reorganization/restructure will benefit the City and allow for the implementation of the proposed departmental changes.

ENVIRONMENTAL

There is no environmental impact.

FINANCIAL IMPACT

The restructure of the Department and the early separation of the current Fire Chief will result in a savings of approximately \$193,000.00 over the next four years.

ATTACHMENT

- A. Separation Agreement

RETIREMENT/SEPARATION AGREEMENT

This Retirement/Separation Agreement (“Agreement”) is made and entered into by and between the CITY OF LOMA LINDA (“City”) and JEFF BENDER (“Chief Deputy Bender” or “Employee”), collectively referred to herein as the “Parties.”

WHEREAS, Employee has been employed by the City of Loma Linda since August 24, 2005, and was promoted directly from the Fire Captain position to the Fire Chief position effective December 12, 2007.

WHEREAS, Employee was reclassified from Fire Chief to Chief Deputy effective February 3, 2015, as part of the Functional Consolidation of the Colton and Loma Linda Fire Command Staff;

WHEREAS, labor representatives from both the Loma Linda and Colton Fire Departments have met with the Fire Command Staff to discuss the Functional Consolidation and possible changes to facilitate greater independence of both organizations;

WHEREAS, the City of Loma Linda desires to engage in a reorganization/restructure of the Fire Command Staff and Functional Consolidation to achieve a greater independence and further cost savings while still benefiting from some of the efficiencies of the consolidated staff;

WHEREAS, the City of Loma Linda would benefit from reestablishing the Fire Chief position and employing a candidate with fire operations experience and incident commander credentials;

WHEREAS, the City of Loma Linda desires to seek the early retirement/separation of Chief Deputy Bender as part of the reorganization/restructure and for the purpose of reestablishing the Loma Linda Fire Chief position and seeking a candidate with fire operations experience and incident commander credentials;

WHEREAS, the desired reorganization will result in the elimination of a shared Deputy Chief position and an amendment to the peak-time deployment model, and which will result in cost savings to Loma Linda.

WHEREAS, the Parties desire to reach a mutually acceptable agreement related to Employee’s retirement/separation from City service.

NOW, THEREFORE, the Parties hereby agree as follows.

1. Subject. This Agreement is a settlement and release of all existing and possible claims and differences, whether known or unknown, between the Parties that arise from or relate to Employee’s employment with the City, and any and all occurrences connected with or arising from such employment, and the termination of such employment, to the effective date hereof.

2. No Admission. This Agreement is not and shall never be considered an admission of any fault, error, wrongdoing, liability or violation of any right by the City, or by any agent, officer, servant, or employee of the City, or by Employee.

3. Employee Agrees:

- A. By signature below, Employee irrevocably resigns from his employment with the City effective December 31, 2018. This term is self-executing and requires no further act of either party for full force of effect. By signature below, City accepts Employee's resignation.
- B. That he will make himself reasonably available to consult with the City and the Fire Command Staff for a period of up to one (1) year from the date of his separation.
- C. That he has freely and voluntarily entered into this Agreement and that no promises or threats were made to him to induce him to sign this Agreement, other than the promises set forth herein.

4. City Agrees:

- A. By signature below, the City hereby accepts Employee's irrevocable resignation effective on December 31, 2018.
- B. To pay Employee a lump sum severance payment of \$225,000.00, following the effective date of his resignation and by no later than January 11, 2019. Said payment shall be subject to usual payroll withholdings, except for CalPERS withholdings which shall not apply. In accordance with I.R.S. regulations, said payment is subject to usual taxation.
- C. To payout Employee's accrued paid leave, sick leave, and administrative leave balances in accordance with City policies.
- D. In the event City requests Employee to appear at the City during the one (1) year consultation period referenced above, City agrees to reimburse Employee for related reasonable travel costs.

5. Release. Employee, hereby on behalf of himself, his descendants, dependents, heirs, executors, administrators and assigns, releases and discharges the City, and each of its agents, servants, officers, directors, or employees, individually and in their capacities as such agents, servants, officers, directors, and employees, their successors, descendants, dependents, heirs, administrators and executors, from all causes of action, claims, demands, damages and liabilities of any kind whether known or unknown and including, but not limited to, claims arising under any federal, state, or local statute, regulation or contract, including, but not limited to, defamation, invasion of privacy, interference with prospective economic advantage, intentional or negligent infliction of emotional distress, violation of the California Labor Code,

Title VII of the Civil Rights Act (42 U.S.C. § 2000e et seq.), the Age Discrimination in Employment Act (29 U.S.C. § 621 et seq.), the California Fair Employment and Housing Act (Government Code § 12940 et seq.), the Americans with Disabilities Act (42 U.S.C. § 12101 et seq.) and Section 504 of the Rehabilitation Act (29 U.S.C. § 704), now existing, arising out of events preceding the date of this Agreement, or arising out of the implementation of this Agreement.

6. Civil Code Section 1542 Waived. By execution of this Agreement, Employee hereby releases the City and each of its agents, servants, officers, directors, and employees, individually and in their capacities as such agents, servants, officers, directors, and employees, their successors, descendants, dependents, heirs, administrators and executors, from any and all liability and/or obligation resulting from any and all rights, duties, obligations, liability or claims for any and all acts or omissions arising prior to the date of execution of this Agreement. In this connection, Employee expressly waives the provisions of Civil Code section 1542 which provides:

A GENERAL RELEASE DOES NOT EXTEND TO CLAIMS WHICH A CREDITOR DOES NOT KNOW OR SUSPECT TO EXIST IN HIS OR HER FAVOR AT THE TIME OF EXECUTING THE RELEASE, WHICH IF KNOWN TO HIM OR HER MUST HAVE MATERIALLY AFFECTED HIS OR HER SETTLEMENT WITH THE DEBTOR.

7. Age Discrimination In Employment Waiver. Employee specifically acknowledges and agrees, pursuant to the requirements of the Age Discrimination in Employment Act (“ADEA,” 29 U.S.C. § 621 et seq.), as amended by the Older Workers’ Benefit Protection Act (“OWBPA,” 29 U.S.C. § 626(e), (f)], as follows: This Agreement constitutes a knowing and voluntary waiver by Employee as part of an agreement between him and the City. Employee acknowledges that this Agreement is written in a manner calculated to be understood by him; that the waiver specifically refers to rights or claims arising under the ADEA and OWBPA (which are provisions of federal law prohibiting age discrimination); that he does not waive rights or claims that may arise after the date the waiver is executed; that he waives rights or claims only in exchange for consideration in addition to anything of value to which he is already entitled; that the consideration provided by the City as stated herein is in addition to anything of value to which he was entitled prior to the execution of this Agreement; that he has been advised in writing by presentation of a copy of this Agreement to consult with an attorney prior to executing this Agreement; that he has been given 21 days to consider this Agreement (although he may execute it sooner at his option); that this Agreement provides that for a period of at least 7 days following the execution of the Agreement she may revoke the Agreement; and that this Agreement is not effective until the 7-day revocation period has expired.

8. Covenant Not to Sue. Employee hereby covenants and agrees that he has not and will not file, cause to be filed, in his own right or through others acting on his behalf, in any state, federal or other court or agency, or any executive, administrative, judicial, quasi-judicial or in any other forum whatsoever, any action, suit, claim, complaint or proceeding of any kind, nature or description whatsoever, arising from or relating to any matter released or compromised

pursuant to this Agreement. In the event that Employee does file or causes to be filed any action, suit, claim, complaint or proceeding in violation of this Covenant Not to Sue, he hereby states and agrees that: (a) this Agreement shall constitute a complete and total defense to any such action, suit, claim, complaint or proceeding, and that (b) he shall indemnify and hold the City harmless for any and all loss, damages, costs or expenses incurred in connection with that action, suit, claim, complaint or proceeding, including without limitation reasonable attorneys' fees and costs.

9. Costs and Attorney Fees. Both parties agree that if it becomes necessary for either party to this Agreement to sue in order to enforce or prevent a breach of its terms, the prevailing party in such action shall be reimbursed by the other party for all its or his expenses incurred in such litigation, including without limitation, attorneys' fees, costs of investigation and costs of advisors, consultants and experts, if any.

10. Confidentiality. The terms of this Agreement shall be kept confidential to the extent permitted by law. The parties understand and acknowledge that this Agreement may be a public record which the City is obligated to disclose to a requesting party pursuant to Government Code section 6250 et seq. and Government Code section 54950 et seq.

11. Cooperation. Each party to this Agreement shall deal with each other in good faith and cooperate fully in the completion of any additional actions that may be necessary or appropriate to give full force and effect to the terms and intent of this Agreement.

12. Advice of Counsel. The parties acknowledge that each of them has read this Agreement, had the opportunity to consult with an attorney or other representative before signing this Agreement if desired, and voluntarily enter into this Agreement.

13. Entire Agreement. This Agreement contains the entire agreement between the parties hereto.

14. Modification. No provision of this Agreement may be terminated, changed, altered, modified or waived except in writing signed by Employee and an authorized agent of the City, which writing shall specifically reference this Agreement and the provision which the Parties intend to waive or modify.

15. Severance. The terms of this Agreement are contractual and not a mere recital. Should any provision or part of any provision or application thereof be held invalid, the invalidity shall not affect any other provisions or applications of the Agreement which can be given effect without the invalid provision or application, and to this end, the provisions of this Agreement are declared to be severable.

16. Headings and Captions. The headings and captions used in this Agreement are for convenience of reference only, and shall in no way define, limit, expand or otherwise affect the meaning or construction of any provision of this Agreement.

17. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original and all of which shall constitute together one and the same instrument.

18. Voluntary Execution of Agreement. Employee understands and agrees that he executed this Agreement voluntarily, without any duress or undue influence on the part or behalf of the City or any third party, with the full intent of releasing all of his claims against the City and any of the other persons or entities released by way of this Agreement. Employee acknowledges that: (a) he has read this Retirement/Separation Agreement; (b) he has been represented in the preparation, negotiation, and execution of this Retirement/Separation Agreement by legal counsel of his own choice or has elected not to retain legal counsel; (c) he understands the terms and consequences of this Retirement/Separation Agreement and of the releases it contains; and (d) he is fully aware of the legal and binding effect of this Retirement/Separation Agreement.

IN WITNESS WHEREOF, the Parties have executed this Retirement/Separation Agreement on the date indicated below.

Jeff Bender

Date

Jarb Thaipejr
City Manager

Date



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA: December 11, 2018
TO: City Council
FROM: Barbara Nicholson, City Clerk *BN*
VIA: T. Jarb Thaipejr, City Manager *T.J.T.*
SUBJECT: Committee appointments [City Clerk]
a. Traffic Advisory (one vacancy)
b. Parks, Recreation, Beautification (one vacancy)
c. Trails Development (two vacancies)

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that the City Council appoint members to the subject committees as vacancies allow.

BACKGROUND

On July 10, 2018, City Council made appointments to the various committees, commissions and boards. After these appointments, vacancies remained and a Vacancy Notice was posted for the following committees:

- Traffic Advisory Committee – one vacancy - to fill the unexpired 2020 term of Art Walls
- Parks, Recreation & Beautification Committee – one vacancy - to fill a vacant 2021 term
- Trails Development Committee – two vacancies - to fill the unexpired 2019 term of Jeanne Wisseman and a vacant 2020 term

Attached are two applications for the Traffic Advisory Committee (Nicola and Chapman) and one application indicating interest in the Parks, Recreation & Beautification Committee and the Trails Development Committee (Irwin).

Also attached are the subject committee descriptions.

FINANCIAL IMPACT

None.

PARKS, RECREATION, BEAUTIFICATION COMMITTEE

Vacancies:	One (to fill term ending in 2021)
Number of Members:	Six
Term:	Three Years (current vacancy for term ending in 2021)
Meeting Schedule:	2 nd Monday every other month
Current Members:	Kurt Swigart (Appointed June 1996) Janet Razzouk (Appointed September 1987) Richard Wiley (Appointed June 1991) Valerie Gallant (Appointed July 2002) Robert Alfaro (Appointed July 2018)

The Parks, Recreation & Beautification Committee consists of six (6) members who serve three-year terms. The Committee reviews the City's present Parks and Recreation Element of the General Plan for recommending possible changes to the City Council; prepares recommendations pertaining to upgrading existing parks, acquiring additional park land, development of a trails system, the application of various grant moneys and establishing the parameters of a beautification program. The Director of Public Works is the City's liaison staff member. The Committee normally meets bi-monthly on the second Monday of the month at 6:30 p.m. in the Community Room of the Civic Center.

TRAFFIC ADVISORY COMMITTEE

Vacancies:	One (to fill unexpired term ending in 2020)
Number of Members:	Ten – 4 appointed at large; 6 representing staff and various institutions noted below
Term:	Four Years (current vacancy to fill unexpired term ending in 2020)
Meeting Schedule:	1 st Thursday of the month quarterly
Current Members:	Michael Stewart (appointed June 2005) Jerry Nelson (appointed July 2008) T. Milford Harrison (appointed July 2018) Cori Stiles (Office Manager University Shared Services) Doug Herman (LL Academy Representative) Denise Fee (Mission School Principal) Rick Aleksak (Bryn Mawr Principal) San Bernardino County Sheriff's Dept. Director of Public Works Fire Marshall

The Traffic Advisory Committee is comprised of 10 members, 4 appointed at large and 7 representing staff, the San Bernardino County Sheriff's Department, Loma Linda Academy, Loma Linda University/Allied Health Systems and Mission and Bryn Mawr Schools. Committee members serve four-year terms. The task of the Committee is to review requests of citizens, staff, institutions and City Council pertaining to traffic safety items and subsequently submit recommendations to the City Council for consideration. The Associate Engineer is the City's staff liaison member. Meetings are held on a bi-monthly basis on the first Thursday at 6:00 p.m. in the Community Room of the Civic Center.

TRAILS DEVELOPMENT COMMITTEE

Vacancies:	Two (to fill unexpired term ending in 2019 and one ending in 2020)
Number of Members:	Ten
Term:	Three Years (one vacancy to fill unexpired term ending in 2019 and one ending in 2020)
Meeting Schedule:	4 th Thursday of the month quarterly
Current Members:	Jim Walling (Appointed July 2002), Current Chairperson Victor J. Miller (appointed September 2004) Dick Wiley (Appointed August 2006) Robert Stewart (Appointed September 2008) Rhonda Hwang (Appointed June 2009) James Earsom (Appointed August 2012) Susan Israel (Appointed August 2012) Jamie Dupper (Appointed August 2012)

The Trails Development Committee is comprised of 10 members who serve staggered three-year terms. The tasks of the Committee include identifying and addressing trail related issues relating to the Transportation/Circulation, Conservation and Open Space, and Parks and Recreation Elements of the General Plan. The Director of Public Works is the City's liaison staff member. The Committee normally meets on the fourth Thursday of each month at 6:00 p.m. in the Community Room of the Civic Center.



SPECIAL VACANCY NOTICE

PLEASE TAKE NOTICE that pursuant to Government Code Sections 54970 et seq., vacancies have occurred on the following City Council appointed boards/commissions/committees.

APPLICATIONS to serve on the committees/commissions listed below may be obtained from the City Clerk or the City's Website: www.lomalinda-ca.gov and submitted to the City Clerk, City of Loma Linda 25541 Barton Road, Loma Linda, CA 92354. Resumes are encouraged.

APPOINTMENTS will be scheduled upon receipt of sufficient applications.

Updated - August 1, 2018

PARKS, RECREATION, BEAUTIFICATION COMMITTEE - One vacancy exists

The Parks, Recreation & Beautification Committee consists of six (6) members who serve three-year terms. The Committee reviews the City's present Parks and Recreation Element of the General Plan for recommending possible changes to the City Council; prepares recommendations pertaining to upgrading existing parks, acquiring additional park land, development of a trails system, the application of various grant moneys and establishing the parameters of a beautification program. The Director of Public Works is the City's liaison staff member. The Committee normally meets bi-monthly on the second Monday of the month at 6:30 p.m. in the Community Room of the Civic Center.

TRAFFIC ADVISORY COMMITTEE - One vacancy exists

The Traffic Advisory Committee is comprised of 10 members, 4 appointed at large and 6 representing staff, the San Bernardino County Sheriff's Department, Loma Linda Academy, Loma Linda University/Allied Health Systems and the Bryn Mawr School. Committee members serve four-year terms. The task of the Committee is to review requests of citizens, staff, institutions and City Council pertaining to traffic safety items and subsequently submit recommendations to the City Council for consideration. The Associate Engineer is the City's staff liaison member. Meetings are held on a bi-monthly basis on the first Thursday at 6:00 p.m. in the Community Room of the Civic Center.

TRAILS DEVELOPMENT COMMITTEE - Two vacancy exists

The Trails Development Committee is comprised of 10 members who serve staggered three-year terms. The tasks of the Committee include identifying and addressing trail related issues relating to the Transportation/Circulation, Conservation and Open Space, and Parks and Recreation Elements of the General Plan. The Director of Public Works is the City's liaison staff member. The Committee normally meets on the fourth Thursday of each month at 6:00 p.m. in the Community Room of the Civic Center.



CITY OF LOMA LINDA
APPLICATION

Traffic Advisory COMMITTEE

	City Clerk's Office 25541 Barton Road Loma Linda, CA 92354
--	--

Name: Heath Nicola Home Phone: (909) 579-8399

Home Address: 11129 Poplar C Years resided at address: > 3 mos.

Email address: h7nicola@gmail.com

Have you lived at any other address in Loma Linda: Yes No

If yes, give previous address: 11233 Dumetz Ln

Employer: Gateway Rehabilitation @ Asistencia Villa

Employer Address: 1875 Barton Rd, Redlands Employer Phone: (909) 793-1382

Occupation: Physical Therapist Assistant How Long: 8 yrs.

Education (Highest Grade Completed): Bachelors of Science Health Sciences

Licenses or special certificates held: licensed Physical Therapist Assistant

Name, location of Colleges/Universities Attended	Major	Degree	Last Year Attended
<u>Western Sydney University</u>	<u>Health Sciences</u>	<u>B.S.</u>	<u>'96</u>
<u>Loma Linda University</u>	<u>Physical therapy</u>	<u>A.S.</u>	<u>2010</u>

Prior or Current Civic Experience (Include Membership in Professional, charitable or community organizations)	Office Held (if any)	Dates of Membership

I declare under penalty or perjury that all statements in this application and the attached responses are true and complete to the best of my knowledge and belief.

[Signature]
Signature of Applicant



CITY OF LOMA LINDA
APPLICATION

TRAFFIC ADVISORY COMMITTEE

	City Clerk's Office 25541 Barton Road Loma Linda, CA 92354
--	--

Name: WILLIAM CHAPMAN Home Phone: 909-732-8525

Home Address: 25526 REDLANDS BLVD #147 Years resided at address: 9

Email address: banavicius@AOL.COM

Have you lived at any other address in Loma Linda: _____ Yes No

If yes, give previous address: _____

Employer: SAN BERNARDINO COUNTY

Employer Address: 172 WEST THIRD ST. S.B. Employer Phone: 909-387-9120

Occupation: GRAND JUROR How Long: SINCE JUNE 2018 TILL JUNE 2019

Education (Highest Grade Completed): B.S.

Licenses or special certificates held: _____

Name, location of Colleges/Universities Attended	Major	Degree	Last Year Attended
<u>UNIVERSITY OF PHOENIX</u>	<u>BUSINESS ADMINISTRATION</u>	<u>BA</u>	<u>1999</u>

Prior or Current Civic Experience (Include Membership in Professional, charitable or community organizations)	Office Held (if any)	Dates of Membership
<u>APICS</u>	<u>N/A</u>	<u>1990-98</u>

I declare under penalty or perjury that all statements in this application and the attached responses are true and complete to the best of my knowledge and belief.



Signature of Applicant

WILLIAM CHAPMAN

Loma Linda, CA

banavicius@aol.com

(909) 732-8525

PROFESSIONAL SUMMARY

Results-oriented and decisive leader in the manufacturing industry with over 10+ years of experience. Seeks role as a Procurement specialist.

SKILLS

Part of a team to help implement a Fax Kanban system, then an E-Kanban system

Purchasing and Procurement experience

Supply Chain management expertise

Knowledge of 5S methodology

Experience in Production scheduling

Experience in Accounts Payable

EXPERIENCE

Grand Juror

San Bernardino Superior Court
San Bernardino, CA

06/2018 to Present

Vyair
Palm Springs, CA

08/2005 to 12/2016

Sr. Purchasing Specialist

Led regular stand-up meetings, events and continuous improvement projects with measurable goals. Established and adjusted work procedures to meet production schedules. Supervised production schedules, production, quality and on time delivery. Enforced a culture of lean manufacturing and continuous improvement while providing operational leadership. Improved efficiency and productivity by eliminating waste and production constraints. Reviewed production orders, schedules, delivery dates and inventory levels to determine product availability. Through strategic vendor selection and negotiation, helped save the company over 100K in 2015, 60k in 2016. Developed a "point of use" inventory program for both the assembly production line and the machine shop. Assisted Accounts Payable as needed.

Yardney
Riverside, CA

Purchasing Manager

01/2003 to 08/2005

Established work procedures to meet production schedules and customer demands. Procured raw materials as needed.

MICO West
Ontario, CA

Director of Materials and Purchasing

08/1989 to 01/2002

In charge of material flow, from a raw state to a finished product. Achieved 98% inventory accuracy along with 96% customer on-time delivery. Supervised the production floor, warehouse and the purchasing department.

EDUCATION

Bachelor of Arts/Business Administration

1999

University of Phoenix, Ontario, CA

WILLIAM CHAPMAN

Loma Linda, CA

banavicius@aol.com

(909) 732-8525

CERTIFICATES

Purchasing, Logistics, and Supply Chain Management

201 (in process)

University of California-Riverside, Riverside, CA



CITY OF LOMA LINDA
APPLICATION

And - Parks, Recreation, Beautification
Trails Development
COMMITTEE

RECEIVED
DATE

DEC - 4 2018

CITY OF LOMA LINDA
PUBLIC WORKS

	City Clerk's Office 25541 Barton Road Loma Linda, CA 92354
--	--

Name: Bernadine Irwin Home Phone: 909 289-5859

Home Address: 24414 University Ave #57 Years resided at address: 38 years
Loma Linda, Ca 92354

Email address: seastreaker@gmail.com

Have you lived at any other address in Loma Linda: Yes No

If yes, give previous address: On Loro Verde - In Condo

Employer: Retired from 33 years of teaching at LLUH

Employer Address: _____ Employer Phone: _____

Occupation: Equine Therapist & Psychologist How Long: 34 years

Education (Highest Grade Completed): Ph.D

Licenses or special certificates held: ↓

Name, location of Colleges/Universities Attended	Major	Degree	Last Year Attended
<u>Walla Walla University</u>	<u>Nursing</u>	<u>BS</u>	<u>1969</u>
<u>Loma Linda University</u>	<u>Psych/Mental Health Nursing</u>	<u>MS</u>	<u>1972</u>
<u>United States International Univ.</u>	<u>Clinical Psychology</u>	<u>Ph.D</u>	<u>1984</u>

Prior or Current Civic Experience (Include Membership in Professional, charitable or community organizations)	Office Held (if any)	Dates of Membership
<u>Sierra Club</u>		<u>200</u>
<u>Freedom to Be: The George Irwin Foundation</u>	<u>President</u>	<u>2011</u>

I declare under penalty or perjury that all statements in this application and the attached responses are true and complete to the best of my knowledge and belief.

[Signature]
Signature of Applicant



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ronald Dailey, Councilman
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman

COUNCIL AGENDA: December 11, 2018

TO: City Council

FROM: T. Jarb Thaipejr, City Manager/Public Works Director *TJT*

SUBJECT: Approve Council Bill #R 2018-40 and Final Tract Map No. 18990
(West side of California Street between Redlands Boulevard and
Mission Road, Lennar Homes)

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that the City Council approve final Tract Map No.18990 with the Subdivision Agreement and resolution, Council Bill #R 2018-40.

BACKGROUND

On September 12, 2017 the City Council approved Tentative Tract Map No. 18990, subject to conditions of approval. This subdivision, located on the west side of California Street between Redlands Boulevard and Mission Road, consists of 224 parcels for single family residence purposes.

ANALYSIS

The final tract map has been prepared and checked for technical correctness and requirements of the Subdivision Map Act. The map dedicates interior streets for public use as well as additional right-of-way dedications along the adjacent street frontages as required. Off-site improvements have been designed, and guaranteed by bond deposits for completion. Plan check fees have been paid. Building Department plan check fees are due upon building plan submittal with permits contingent on recordation of the map. All other fees will be paid when required but no later than issuance of the certificate of occupancy.

RESOLUTION NO. R 2018-40

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA, APPROVING FINAL TRACT MAP 18990 (West side of California Street between Redlands Boulevard and Mission Road, Lennar Homes)

WHEREAS, developer has shown a desire to subdivide land in the City of Loma Linda for the purpose of creating a 224 lot single family residential subdivision for which entitlement has been granted; and

WHEREAS, Tract Map 18990 has been filed with the Public Works Department and has been checked for technical correctness and requirements of the Subdivision Map Act; and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Loma Linda hereby approves Final Tract Map 18990.

PASSED, APPROVED AND ADOPTED this 11th day of December 2018 by the following vote:

Ayes:
Noes:
Absent:

Rhodes Rigsby, Mayor

ATTEST:

Barbara Nicholson, City Clerk



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

CITY COUNCIL AGENDA:

TO: City Council
FROM: Barbara Nicholson, City Clerk *BN*
VIA: T. Jarb Thaipejr, City Manager *TJT*
SUBJECT: 2019 City Council Meeting Schedule

Approved/Continued/Denied
By City Council
Date _____

RECOMMENDATION

It is recommended that the City Council adopt a meeting schedule for the year 2019 as follows:

January 8	July 9
February 12	August 13
March 12	September 10
April 9	October 8
May 14	November 12
June 11	December 10

BACKGROUND

In years past the City Council modified its meeting schedule to address reduced staffing, holidays, and school breaks to accommodate and facilitate workloads and vacation scheduling for City Council members and Staff. While retaining the meeting schedule of the second and fourth Tuesday of each month so that two meetings could be held should business necessitate a second meeting, the effort is for items to be calendared for only one meeting per month.

The recommendation for 2019 is to schedule the meetings on the second Tuesday as indicated above; reserving the fourth Tuesday each month should business necessitate a second meeting.

LOMA LINDA HOUSING AUTHORITY

AGENDA

REGULAR MEETING OF DECEMBER 11, 2018

A regular meeting of the Housing Authority of the City of Loma Linda is scheduled to be held at 7:00 p.m. or as soon thereafter as possible, Tuesday, December 11, 2018 in the City Council Chamber, 25541 Barton Road, Loma Linda, California.

Reports and Documents relating to each agenda item are on file in the Office of the City Clerk and are available for public inspection during normal business hours. The Loma Linda Branch Library is also provided an agenda packet for your convenience. The agenda and reports are also located on the City's Website at www.lomalinda-ca.gov.

Materials related to an item on this Agenda submitted to the Housing Authority Board after distribution of the agenda packet are available for public inspection in the City Clerk's Office, 25541 Barton Road, Loma Linda, CA during normal business hours. Such documents are also available on the City's website at www.lomalinda-ca.gov subject to staff's ability to post the documents before the meeting.

Persons wishing to speak on an agenda item are asked to complete an information card and present it to the City Clerk prior to consideration of the item. When the item is to be considered, please step forward to the podium, the Chair will recognize you and you may offer your comments. The Housing Authority meeting is recorded to assist in the preparation of the Minutes, and you are therefore asked to give your name and address prior to offering testimony.

The Oral Reports/Public Participation portion of the agenda pertains to items NOT on the agenda and is limited to 30 minutes; 3 minutes allotted for each speaker. Pursuant to the Brown Act, no action may be taken by the Housing Authority at this time; however, the Housing Authority Board may refer your comments/concerns to staff or request that the item be placed on a future agenda.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at (909) 799-2819. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. Later requests will be accommodated to the extent feasible.

Agenda item requests for the January 8, 2019 meeting must be submitted in writing to the City Clerk no later than Noon, Thursday, December 20, 2018

- A. Call To Order**
- B. Roll Call**
- C. Items To Be Added Or Deleted**
- D. Oral Reports/Public Participation - Non-Agenda Items (Limited to 30 minutes; 3 minutes allotted for each speaker)**
- E. Conflict of Interest Disclosure - Note agenda item that may require member abstentions due to possible conflicts of interest**

F. **Scheduled Items**

G. **Consent Calendar**

1. Demands Register
2. Minutes of November 13, 2018

H. **Chair and Member Reports**

I. **Reports of Officers**

J. **Adjournment – to December 18, 2018**



Loma Linda Housing Authority Official Report

Rhodes Rigsby, Chairman
John Lenart, Vice Chairman
Ovidiu Popescu, Member
Phillip Dupper, Member
Ronald Dailey, Member

HOUSING AUTHORITY AGENDA: December 11, 2018
TO: Housing Authority Board
SUBJECT: Demands Register

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION

It is recommended that the Housing Authority Board approve the attached list of demands for payment.

vchlist
11/20/2018 12:16:27PM

Voucher List
CITY OF LOMA LINDA
11-27-2018 HA

Bank code : bofaha


Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
2088	11/20/2018	004999 ROGERS, ANDERSON, MALODY &, SCOTT, LL	59067 HA	P-0000015408	YEAR-END AUDIT FOR FY 2018	1,395.00
					Total :	1,395.00
2089	11/20/2018	000266 ROBBINS & HOLDAWAY, A PROFESSIONAL CC	36253 & 32736		PROFESSIONAL/LEGAL SERVICE UNP/	74.81
					Total :	74.81
2090	11/27/2018	005791 CENTURYLINK	74915315 HA	P-0000015176	CITY INTERNET AND VOIP	2.80
					Total :	2.80
2091	11/27/2018	001799 STRADLING, YOCCA, CARLSON, & RAUTH	348265-0000 348266-0006		PPROFESSIONAL/LEGAL SERVICES PROFESSIONAL/LEGAL SERVICES	964.20 1,284.80
					Total :	2,249.00
4 Vouchers for bank code : bofaha						Bank total : 3,721.61
4 Vouchers in this report						Total vouchers : 3,721.61

Bank code : bofaha

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
---------	------	--------	---------	------	---------------------	--------

CLAIMS VOUCHER APPROVAL

I have reviewed the above listing of payments on check nos. 2088 through 2091 for a total disbursement of \$ 3,721.61, and to the best of my knowledge, based on the information provided, they are correct and are recommended for payment.


DIANA DE ANDA, Finance Director

Recommend that City Council approve for payment.

T. Jarb Thaipejr, City Manager

Approved by the City Council at their meeting held on 12-11-2018 and the City Treasurer is hereby directed to pay except as noted.

Rhodes Rigsby, Mayor

Voucher List
CITY OF LOMA LINDA
12-11-2018 HA

Bank code : bofaha

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
2092	12/4/2018	002713 PREFERRED MANAGEMENT GROUP	25613		MONTHLY HOA DUES-DECEMBER 2018	135.00
Total :						135.00
2093	12/11/2018	000110 BURTRONICS BUSINESS SYSTEM	AR51167 HA	P-0000015274	PRINTING OVERAGES	3.67
Total :						3.67
2 Vouchers for bank code : bofaha					Bank total :	138.67
2 Vouchers in this report					Total vouchers :	138.67

CLAIMS VOUCHER APPROVAL

I have reviewed the above listing of payments on check nos.
2092 through 2093 for a total
disbursement of \$ 138.67, and to the best of
my knowledge, based on the information provided, they are
correct and are recommended for payment.


DIANA DE ANDA, Finance Director

Recommend that City Council approve for payment.

T. Jarb Thaipejr, City Manager

Approved by the City Council at their meeting held on
12-11-2018 and the City Treasurer is hereby directed
to pay except as noted.

Rhodes Rigsby, Mayor



Loma Linda Housing Authority Official Report

Rhodes Rigsby, Chairman
John Lenart, Vice Chairman
Ovidiu Popescu, Member
Phillip Dupper, Member
Ronald Dailey, Member

HOUSING AUTHORITY AGENDA: December 11, 2018
TO: Housing Authority Board
SUBJECT: Minutes of November 13, 2018

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION

It is recommended that the City Council approve the minutes of November 13, 2018.

Loma Linda Housing Authority

Minutes

A Regular Meeting of November 13, 2018

A regular meeting of the Loma Linda Housing Authority was called to order by Chairman Rigsby at 9:00 p.m., Tuesday, November 13, 2018, in the City Council Chamber, 25541 Barton Road, Loma Linda, California.

Board Members Present:	Chairman Rhodes Rigsby Vice Chairman John Lenart Ovidiu Popescu Phill Dupper Ron Dailey
Board Members Absent:	None
Others Present:	Executive Director T Jarb Thaipejr General Counsel Richard Holdaway

No items were added or deleted; no public participation comments were offered upon invitation of the Chair; and no conflicts of interest were noted.

HA-2018-18 – Consent Calendar

Motion by Popescu, seconded by Lenart and carried unanimously to approve the following:

The Demands Registers dated

- October 23, 2018 with commercial demands totaling \$3,506.62;
- October 31, 2018 with commercial demands totaling \$53.07;
- November 13, 2018 with commercial demands totaling \$62,946.21.

The minutes of October 9, 2018 as presented.

Chair and Member Reports

Board Member Popescu commented on the change in management companies at the Poplar Street Apartments. City Manger Thaipejr confirmed the complex was still owned by Corporation for Better Housing, it was the property management company they contract with that changed.

The meeting adjourned at 9:02 p.m.

Approved at the meeting of _____.

Secretary

CITY OF LOMA LINDA

CITY COUNCIL AS SUCCESSOR AGENCY
TO THE LOMA LINDA REDEVELOPMENT AGENCY

AGENDA

REGULAR MEETING OF DECEMBER 11, 2018

A regular meeting of the City Council of the City of Loma Linda as successor agency to the Loma Linda Redevelopment Agency is scheduled to be held Tuesday, December 11, 2018 in the City Council Chamber, 25541 Barton Road, Loma Linda, California. *Pursuant to Municipal Code Section 2.08.010, study session or closed session items may begin at 5:30 p.m. or as soon thereafter as possible. The public meeting begins at 7:00 p.m.*

In acting in the limited capacity of Successor Agency as provided in California Health and Safety Code §§ 34173 and 34176, the City Council expressly determines, recognizes, reaffirms, and ratifies the statutory limitation on the City and the City Council's liability with regards to the responsibilities of the former Loma Linda Redevelopment Agency under AB 1X26. Nothing herein shall be construed as an action, commitment, obligation, or debt of the City itself, or a commitment of any resources, funds, or assets of the City to fund the City's limited capacity as the Successor Agency to the Loma Linda Redevelopment Agency. Obligations of the Successor Agency shall be funded solely by those funds or resources provided for that purpose pursuant to AB 1X26 and related statutes.

Reports and Documents relating to each agenda item are on file in the Office of the City Clerk and are available for public inspection during normal business hours. The Loma Linda Branch Library is also provided an agenda packet for your convenience. The agenda and reports are also located on the City's Website at www.lomalinda-ca.gov.

Materials related to an item on this Agenda submitted to the City Council after distribution of the agenda packet are available for public inspection in the City Clerk's Office, 25541 Barton Road, Loma Linda, CA during normal business hours. Such documents are also available on the City's website at www.lomalinda-ca.gov subject to staff's ability to post the documents before the meeting.

Persons wishing to speak on an agenda item, including any closed session items, are asked to complete an information card and present it to the City Clerk prior to consideration of the item. When the item is to be considered, please step forward to the podium, the Chair will recognize you and you may offer your comments. The City Council meeting is recorded to assist in the preparation of the Minutes, and you are therefore asked to give your name and address prior to offering testimony.

The Oral Reports/Public Participation portion of the agenda pertains to items NOT on the agenda and is limited to 30 minutes; 3 minutes allotted for each speaker. Pursuant to the Brown Act, no action may be taken by the City Council at this time; however, the City Council may refer your comments/concerns to staff or request that the item be placed on a future agenda.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at (909) 799-2819. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. Later requests will be accommodated to the extent feasible.

Agenda item requests for the January 8, 2019 meeting must be submitted in writing to the City Clerk no later than Noon, Thursday, December 20, 2018

A. **Call To Order**

B. **Roll Call**

C. **Items To Be Added Or Deleted**

D. **Oral Reports/Public Participation - Non-Agenda Items** (Limited to 30 minutes; 3 minutes allotted for each speaker)

E. **Conflict of Interest Disclosure** - Note agenda item that may require member abstentions due to possible conflicts of interest

F. **Consent Calendar**

1. Demands Register
2. Minutes of November 13, 2018
3. Recognized Obligation Payment Schedule and Administrative Budget for the period of July 1, 2019 through June 30, 2020 [**Finance**]
 - a. Council Bill #R-2018-38 - Approving the Administrative Budget
 - b. Council Bill #R-2018-39 - Adopting the Recognized Obligation Payment Schedule (ROPS) 2019-2020

G. **Adjournment**



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

SUCCESSOR AGENCY AGENDA: December 11, 2018
TO: Board Members
SUBJECT: Demands Register

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION

It is recommended that the Successor Agency Board approve the attached list of demands for payment.

Voucher List
CITY OF LOMA LINDA
12-11-2018 SA

Bank code : bofasa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
1310	12/11/2018	005687 THE APRAISAL OFFICE	LAND	P-0000015424	APPRAISAL FOR VACANT LAND REDL	550.00
Total :						550.00
1 Vouchers for bank code : bofasa						Bank total : 550.00
1 Vouchers in this report						Total vouchers : 550.00

CLAIMS VOUCHER APPROVAL

I have reviewed the above listing of payments on check nos. 1310 through 1310 for a total disbursement of \$ 550.00, and to the best of my knowledge, based on the information provided, they are correct and are recommended for payment.


DIANA DE ANDA, Finance Director

Recommend that City Council approve for payment.

T. Jarb Thaipejr, City Manager

Approved by the City Council at their meeting held on 12-11-2018 and the City Treasurer is hereby directed to pay except as noted.

Rhodes Rigsby, Mayor

vchlist
11/20/2018 12:02:15PM

Voucher List
CITY OF LOMA LINDA
11-27-2018 SA

Bank code : bofasa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
1306	11/20/2018	004999 ROGERS, ANDERSON, MALODY &, SCOTT, LL	59067 SA	P-0000015408	YEAR-END AUDIT FOR FY 2018	1,395.00
					Total :	1,395.00
1307	11/20/2018	000266 ROBBINS & HOLDAWAY, A PROFESSIONAL CC	36243		PROFESSIONAL/LEGAL SERVICE	33.25
					Total :	33.25
1308	11/27/2018	005144 JAMES D. HUSS JR., WEST SWPPP SERVICE	18036	P-0000015398	WEED ABATEMENT CLEAN UP SRVS	2,070.00
					Total :	2,070.00
1309	11/27/2018	001799 STRADLING, YOCCA, CARLSON, & RAUTH	348269-0000		PROFESSIONAL/LEGAL SERVICES	1,752.00
					Total :	1,752.00
4 Vouchers for bank code : bofasa						Bank total : 5,250.25
4 Vouchers in this report						Total vouchers : 5,250.25

vchlist
11/20/2018 12:02:15PM

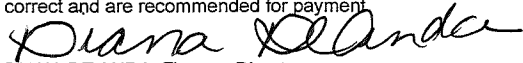
Voucher List
CITY OF LOMA LINDA

Bank code : bofasa

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
---------	------	--------	---------	------	---------------------	--------

CLAIMS VOUCHER APPROVAL

I have reviewed the above listing of payments on check nos.
1306 through 1309 for a total
disbursement of \$ 5,250.25, and to the best of
my knowledge, based on the information provided, they are
correct and are recommended for payment.


DIANA DE ANDA, Finance Director

Recommend that City Council approve for payment.

T. Jarb Thaipejr, City Manager

Approved by the City Council at their meeting held on
12-11-2018 and the City Treasurer is hereby directed
to pay except as noted.

Rhodes Rigsby, Mayor



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

SUCCESSOR AGENCY AGENDA: December 11, 2018
TO: Board Members
SUBJECT: Minutes of November 13, 2018

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION

It is recommended that the City Council approve the minutes of November 13, 2018.

City of Loma Linda
City Council as Successor Agency
To the Loma Linda Redevelopment Agency
Minutes
Regular Meeting of November 13, 2018

A special meeting of the City Council as Successor Agency to the Loma Linda Redevelopment Agency was called to order by Mayor Rigsby at 9:02 p.m., Tuesday, November 13, 2018, in the City Council Chamber, 25541 Barton Road, Loma Linda, California.

Councilmen Present:	Mayor Rhodes Rigsby Mayor pro tempore John Lenart Ovidiu Popescu Phill Dupper Ron Dailey
Councilmen Absent:	None
Others Present:	City Manager T. Jarb Thaipejr City Attorney Richard Holdaway

SA-2018-14 - Consent Calendar

Motion by Dupper, seconded by Dailey and unanimously carried to approve the following items:

The Demands Register dated:

- October 23, 2018 with commercial demands totaling \$1,435.75;
- November 13, 2018 with commercial demands totaling \$574.40.

The Minutes of October 9, 2018 as presented.

The meeting adjourned at 9:03 p.m.

Approved at the meeting of _____.

City Clerk



City of Loma Linda Official Report

Rhodes Rigsby, Mayor
John Lenart, Mayor pro tempore
Ovidiu Popescu, Councilman
Phillip Dupper, Councilman
Ronald Dailey, Councilman

SUCCESSOR AGENCY AGENDA: December 11, 2018

TO: Board Members

SUBJECT: Council Bills #R-2018-38 - Approval of the Successor Agency Administrative Budget for the period of July 1, 2019 through June 30, 2020

Council Bill #R-2018-39 – Approving the Recognized Obligation Payment Schedule (ROPS) for the period of July 1, 2019 through June 30, 2020

Approved/Continued/Denied By City Council Date _____
--

RECOMMENDATION:

It is recommended that the City Council, as the Successor Agency to the Redevelopment Agency, adopt City Council Bill #R-2018-38 approving the Successor Agency’s administrative budget and City Council Bill #R-2018-39 approving the ROPS for the period of July 1, 2019 through June 30, 2020.

BACKGROUND AND OVERVIEW:

Assembly Bill x1 26 (Redevelopment Dissolution Statutes) requires each successor agency to prepare a ROPS using a form provided by Department of Finance (“DOF”), which sets forth the minimum payment amounts and due dates for all enforceable obligations of the former redevelopment agency for each six-month fiscal period. The ROPS also includes authorization for the administrative obligations necessary for the continued administration of the successor agency to wind down the former redevelopment agency.

The first major change to AB x1 26 was AB 1484, the redevelopment dissolution/unwind trailer bill passed by the Legislature and signed by the Governor on June 29, 2012. AB 1484 made certain technical and substantive amendments to AB x1 26 including actions related to the ROPS. Under AB 1484, this ROPS must be approved by the Oversight Board and submitted to DOF by October 1st. Failure to do so will result in a \$10,000 per day penalty assessed against the City of Loma Linda.

The second major change to the Redevelopment Dissolution Statutes occurred in 2015 by SB 107. SB 107 was adopted in September 2015 and became effective immediately as a budget trailer provision. It changed ROPS deadlines and requirements and delayed the consolidation of oversight boards. Starting with 2016-17, the ROPS is changed to an annual ROPS and includes two six month fiscal periods: “A” covers the period of July 1st to December 31st and “B” covers the following January 1st through June 30th.

In San Bernardino County, the current 26 oversight boards were consolidated into a single oversight board for the entire County starting in July, 2018. The Successor Agency has not had cause to have an agenda item before the Countywide Oversight Board since it was established.

ROPS 2019-20 will be presented to the San Bernardino Countywide Oversight Board on January 14, 2019 and submitted to DOF prior to the February 1st deadline.

Status on ROPS 2018-19

DOF approved all of the Agency's expenditures, including those related to the City loan based on the litigation settlement agreement and approved the reduced debt service for the year as a result of the 2016 bond refunding.

Administrative Budget

The administrative budget includes two 6 month periods to coincide with the ROPS. Both amounts proposed by the Successor Agency are equal to the minimum as provided in state law. The budget line item amounts are based, in part, on prior expenditures as adjusted by amounts estimated to be needed in the current year.

Summary ROPS 2019-2020

The entries included in the current ROPS have gotten very straightforward: payments for the 2016A and 2016B Bond debt service; repayment of the City loan; costs related to supporting the bonds, such as trustee fees; and costs associated with maintaining the properties the Agency still owns.

As a reminder, there are two ROPS entries for each of series of bonds, payments for which are due in semiannually in February and August. One is to account for the payment that will become due in the upcoming period and one which is required as a reserve for ½ of the principal payment due in the subsequent ROPS period. This reserve is required by the Bond Indenture and is designed to even out the semi-annual debt service funding requirement.

As you may recollect two line items on previous ROPS (the repayment of City loan and the annual reimbursement to the City for a portion of the 2002 Lease Revenue Bonds) were under litigation but were resolved in 2015 by entering into a Settlement Agreement with the State. Under the Settlement Agreement, the Agency could use all of the RPTTF not needed for other expenses to repay the amount due on the City loan that was in arrears (Past Due Amount). The entries for ROPS 2018-19 continue to reflect the terms of the Settlement Agreement, but because the Past Due Amount will be fully retired in 2017-18B, the enclosed ROPS only reflects the approved semi-annual repayment amount of \$819,574 in both the A and B cycle.

FINDINGS AND ALTERNATIVES:

The alternatives available to the City and the Successor Agency, respectively, are to adopt the resolution approving the budget and adopt the resolution approving ROPS 2019-2020; or provide staff with alternative direction.

Attachments:

1. Proposed Resolution No. R-2018-38
Exhibit A, Administrative Budget
2. Proposed Resolution No. R-2018-39
Exhibit A, 2019-2020 ROPS

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA ACTING AS SUCCESSOR AGENCY TO THE LOMA LINDA REDEVELOPMENT AGENCY APPROVING AN ADMINISTRATIVE BUDGET FOR THE PERIOD OF JULY 1, 2019 THROUGH JUNE 30, 2020

WHEREAS, the Loma Linda Redevelopment Agency (“Agency”) was established as a community redevelopment agency that was previously organized and existing under the California Community Redevelopment Law, Health and Safety Code Sections 33000, *et seq.* (“CRL”), and previously authorized to transact business and exercise the powers of a redevelopment agency pursuant to action of the City Council (“City Council”) of the City of Loma Linda (“City”); and

WHEREAS, Assembly Bill x1 26 added Parts 1.8 and 1.85 to Division 24 of the California Health & Safety Code, which laws cause the dissolution and wind down of all redevelopment agencies (“Dissolution Act”); and

WHEREAS, on December 29, 2011, in the petition *California Redevelopment Association v. Matosantos*, Case No. S194861, the California Supreme Court upheld the Dissolution Act and thereby all redevelopment agencies in California were dissolved as of and on February 1, 2012 under the dates in the Dissolution Act that were reformed and extended thereby (“Supreme Court Decision”); and

WHEREAS, the Agency is now a dissolved community redevelopment agency pursuant to the Dissolution Act; and

WHEREAS, by a resolution considered and approved by the City Council at an open public meeting the City determined to become and serve as the “successor agency” to the dissolved Agency under the Dissolution Act’ and

WHEREAS, as of and on and after February 1, 2012, the City serves as the “Successor Agency” and will perform its functions as the successor agency under the Dissolution Act to administer the enforceable obligations of the Agency and otherwise unwind the Agency’s affairs, all subject to the review and approval by an oversight board; and

WHEREAS, on July 1, 2018, the Oversight Board for the Loma Linda Successor Agency was dissolved San Bernardino Countywide Oversight board formed to oversee the activities of all successor agencies in the County, including the Loma Linda Successor Agency; ; and

WHEREAS, Health and Safety Code Section 34177(j) provides that the Successor Agency may prepare a proposed administrative budget (“Successor Agency Administrative Budget”) and submit it to the San Bernardino Countywide Oversight Board for approval; and

WHEREAS, by this Resolution, the City Council, serving as and on behalf of the Successor Agency, approves the Administrative Budget attached hereto as Exhibit A;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL SERVING AS THE SUCCESSOR AGENCY:

Section 1. The foregoing recitals are incorporated into this resolution by this reference, and constitute a material part hereof.

Section 2. The Administrative Budget for July 1, 2019 through June 30, 2020 is hereby approved, together with such augmentation, modification, additions or revisions as the City Manager and/or the Finance Director or their authorized designees may make thereto from time to time.

Section 3. This Resolution shall be effective immediately upon adoption.

Section 4. The City Clerk on behalf of the Successor Agency shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED this 11th day of December 2018 by the following vote:

Ayes:

Noes:

Abstain:

Absent:

**CITY OF LOMA LINDA SERVING AS
SUCCESSOR AGENCY**

Rhodes Rigsby, Mayor

ATTEST:

Barbara Nicholson, City Clerk on behalf of Successor Agency

Exhibit A
Loma Linda Successor Agency
Administrative Budget for 2019-20
7/1/2019 to 6/30/2020

Description	Annual Budget	2018-19A	2018-19B
COSTS BY LINE ITEM			
Salary and Benefit Cost Total (1)	\$209,000	\$104,500	\$104,500
Finance Director			
Accounting Manager			
City Clerk			
Community Development Director			
City Manager			
Contractual Services / Consultants	25,000	12,500	12,500
Agency Counsel / City Attorney	10,000	5,000	5,000
Contractual Services / Operations	-	-	-
Office Operating	1,000	500	500
Utilities	-	-	-
Property Management	-	-	-
Other Direct Costs (Allowances)	-	-	-
Auditing Services	5,000	2,500	2,500
Tree Removal Costs (2)	100,000	50,000	50,000
TOTAL COSTS	\$350,000	\$175,000	\$175,000
FUNDING SOURCES			
Administrative Cost Allowance	\$250,000	\$125,000	\$125,000
City of Loma Linda General Fund	100,000	50,000	50,000
TOTAL FUNDING	\$350,000	\$175,000	\$175,000
VARIANCE	-	-	-

(1) See Exhibit A-1, page 2 for detail by department.

(2) Trees on Agency-owned property have died. They present a fire hazard in this dry weather and need to be removed.

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOMA LINDA ACTING AS SUCCESSOR AGENCY TO THE LOMA LINDA REDEVELOPMENT AGENCY APPROVING A RECOGNIZED OBLIGATION PAYMENT SCHEDULE FOR THE PERIOD JULY 1, 2019 THROUGH JUNE 30, 2020

WHEREAS, the Loma Linda Redevelopment Agency (“Agency”) was established as a community redevelopment agency that was previously organized and existing under the California Community Redevelopment Law, Health and Safety Code Sections 33000, *et seq.* (“CRL”), and previously authorized to transact business and exercise the powers of a redevelopment agency pursuant to action of the City Council (“City Council”) of the City of Loma Linda (“City”); and

WHEREAS, Assembly Bill x1 26 added Parts 1.8 and 1.85 to Division 24 of the California Health & Safety Code, which laws cause the dissolution and wind down of all redevelopment agencies (“Dissolution Act”); and

WHEREAS, on December 29, 2011, in the petition *California Redevelopment Association v. Matosantos*, Case No. S194861, the California Supreme Court upheld the Dissolution Act and thereby all redevelopment agencies in California were dissolved as of and on February 1, 2012 under the dates in the Dissolution Act that were reformed and extended thereby (“Supreme Court Decision”); and

WHEREAS, the Agency is now a dissolved community redevelopment agency pursuant to the Dissolution Act; and

WHEREAS, by a resolution considered and approved by the City Council at an open public meeting the City determined to become and serve as the “successor agency” to the dissolved Agency under the Dissolution Act; and

WHEREAS, as of and on and after February 1, 2012, the City serves as the “Successor Agency” and will perform its functions as the successor agency under the Dissolution Act to administer the enforceable obligations of the Agency and otherwise unwind the Agency’s affairs, all subject to the review and approval by the San Bernardino Countywide Oversight Board formed July 1, 2018; and

WHEREAS, pursuant Part 1.85 of the Dissolution Act, Section 34171(g), a “Recognized Obligation Payment Schedule” means the document setting forth the minimum payment amounts and due dates of payments required by enforceable obligations for each six-month fiscal period until June 30, 2016, as provided in subdivision (m) of Section 34177; and

WHEREAS, on and after July 1, 2016, Section 34171(g) provides that “Recognized Obligation Payment Schedule” means the document setting forth the minimum payment amounts and due dates of payments required by enforceable obligations for each fiscal year, as provided in subdivision (o) of Section 34177; and

WHEREAS, the San Bernardino Countywide Oversight Board for the Successor Agency to the Loma Linda Redevelopment Agency (“Oversight Board” as applicable) was established on July 1, 2018 and will meet on January 14, 2019 to consider and approve the recognized obligation

payment schedule for the period from July 1, 2019 to June 30, 2020 (“ROPS 2019-20”) in the substantive form as attached hereto as Exhibit A.

WHEREAS, by this Resolution, the City Council, serving as and on behalf of the Successor Agency, approves the ROPS 2019-20 attached hereto as Exhibit A;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL SERVING AS THE SUCCESSOR AGENCY:

Section 1. The foregoing recitals are incorporated into this resolution by this reference, and constitute a material part hereof.

Section 2. The ROPS 2019-20 is approved together with such augmentation, modification, additions or revisions as the City Manager and/or the Finance Director or their authorized designees may make thereto from time to time.

Section 3. The City Manager or his authorized designees on behalf of the Successor Agency shall cause the ROPS 2019-20 to be considered by the San Bernardino Countywide Oversight Board for approval and forwarded to the County Auditor-Controller, the State Controller’s Office, and the Department of Finance; further, the City Manager or his authorized designees on behalf of the Successor Agency shall cause the ROPS 2019-20 to be posted on the City’s website.

Section 4. This Resolution shall be effective immediately upon adoption.

Section 5. The City Clerk on behalf of the Successor Agency shall certify to the adoption of this Resolution.

APPROVED AND ADOPTED this 11th day of December 2018 by the following vote:

Ayes:
Noes:
Abstain:
Absent:

**CITY OF LOMA LINDA SERVING AS
SUCCESSOR AGENCY**

Rhodes Rigsby, Mayor

ATTEST:

Barbara Nicholson, City Clerk on behalf of Successor Agency

**Recognized Obligation Payment Schedule (ROPS 19-20) - Summary
Filed for the July 1, 2019 through June 30, 2020 Period**

Successor Agency: Loma Linda
County: San Bernardino

Current Period Requested Funding for Enforceable Obligations (ROPS Detail)	19-20A Total (July - December)	19-20B Total (January - June)	ROPS 19-20 Total
A Enforceable Obligations Funded as Follows (B+C+D):	\$ 1,097,500	\$ -	\$ 1,097,500
B Bond Proceeds	-	-	-
C Reserve Balance	1,097,500	-	1,097,500
D Other Funds	-	-	-
E Redevelopment Property Tax Trust Fund (RPTTF) (F+G):	\$ 2,492,606	\$ 2,494,387	\$ 4,986,993
F RPTTF	2,367,606	2,369,387	4,736,993
G Administrative RPTTF	125,000	125,000	250,000
H Current Period Enforceable Obligations (A+E):	\$ 3,590,106	\$ 2,494,387	\$ 6,084,493

Certification of Oversight Board Chairman:
Pursuant to Section 34177 (o) of the Health and Safety code, I hereby
certify that the above is a true and accurate Recognized Obligation
Payment Schedule for the above named successor agency.

Name Title

/s/ _____
Signature Date

Loma Linda Recognized Obligation Payment Schedule (ROPS 19-20) - ROPS Detail

July 1, 2019 through June 30, 2020

(Report Amounts in Whole Dollars)

A	B	C	D	E	F	G	H	I	J	K	19-20A (July - December)					Q	19-20B (January - June)					W
											Fund Sources						Fund Sources					
											L	M	N	O	P		R	S	T	U	V	
Item #	Project Name/Debt Obligation	Obligation Type	Contract/Agreement Execution Date	Contract/Agreement Termination Date	Payee	Description/Project Scope	Project Area	Total Outstanding Debt or Obligation	Retired	ROPS 19-20 Total					19-20A Total						19-20B Total	
6	Professional Services	Fees	7/1/2017	6/30/2020	Stradling, Yocca, Carlson & Benefiel Appraisal Service	Continuing Disclosure annual reports	Merged	\$ 47,127,238	N	\$ 6,084,493					\$ 3,590,106						\$ 2,494,387	
7	Contractual Services	Property Dispositions	7/1/2017	6/30/2020	Benefiel Appraisal Service	Property Appraisals	Merged	5,000	N	5,000					1,500						3,500	
14	Contractual Services	Property Maintenance	2/1/1989	6/30/2020	JJ Ramirez Citrus Mgmt	Weed Abatement and Maintenance of Successor Agency land held for resale	Merged	6,500	N	6,500					1,000						5,500	
15	Loans from the City of Loma Linda	Reentered Agreements	5/29/1979	6/1/2027	City of Loma Linda	Loans for Redevelopment Activities (Cash Principal & Accrued Interest)	Merged	7,000	N	7,000					3,500						3,500	
15	Loans from the City of Loma Linda	Reentered Agreements	5/29/1979	6/1/2027	City of Loma Linda	Loans for Redevelopment Activities (Cash Principal & Accrued Interest)	Merged	11,069,373	N	1,639,148					819,574						819,574	
27	Administrative Costs	Admin Costs	7/1/2017	6/30/2020	Employees, various consultants	To fund SA administrative budget as approved by the Oversight Board	Merged	250,000	N	250,000					125,000						125,000	
47	Tax Allocation Refunding Bonds, Series 2016A	Bonds Issued On or Before 12/31/10	11/10/2016	8/2/2026	U.S. Bank (Trustee)	Refunding of 2003, 2005 and 2008 TA Bonds for debt service savings	Merged	6,071,490	N	595,051		202,500			300,563						91,988	
48	Tax Allocation Refunding Bonds, Series 2016A Reserve	Reserves	11/10/2016	8/2/2026	U.S. Bank (Trustee)	Refunding of 2003, 2005 and 2008 TA Bonds for debt service savings	Merged	207,500	N	207,500											207,500	
49	Tax Allocation Refunding Bonds Series 2016B	Bonds Issued On or Before 12/31/10	11/10/2016	8/2/2026	U.S. Bank (Trustee)	Refunding of 2003, 2005 and 2008 TA Bonds for debt service savings	Merged	28,596,275	N	2,460,194		895,000			1,237,369						327,825	
50	Tax Allocation Refunding Bonds Series 2016B Reserve	Reserves	11/10/2016	8/2/2026	U.S. Bank (Trustee)	Refunding of 2003, 2005 and 2008 TA Bonds for debt service savings	Merged	910,000	N	910,000											910,000	
51	Contractual Agreement (Contract term ongoing)	Fees	12/1/2016	6/30/2020	U.S. Bank (Trustee)	Bond Trustee Services - Series A and B	Merged	4,100	N	4,100					4,100							
52									N	\$ -					\$ -						\$ -	
53									N	\$ -					\$ -							\$ -
54									N	\$ -					\$ -							\$ -
55									N	\$ -					\$ -							\$ -
56									N	\$ -					\$ -							\$ -
57									N	\$ -					\$ -							\$ -
58									N	\$ -					\$ -							\$ -
59									N	\$ -					\$ -							\$ -
60									N	\$ -					\$ -							\$ -
61									N	\$ -					\$ -							\$ -
62									N	\$ -					\$ -							\$ -
63									N	\$ -					\$ -							\$ -
64									N	\$ -					\$ -							\$ -
65									N	\$ -					\$ -							\$ -
66									N	\$ -					\$ -							\$ -
67									N	\$ -					\$ -							\$ -
68									N	\$ -					\$ -							\$ -
69									N	\$ -					\$ -							\$ -
70									N	\$ -					\$ -							\$ -
71									N	\$ -					\$ -							\$ -
72									N	\$ -					\$ -							\$ -
73									N	\$ -					\$ -							\$ -
74									N	\$ -					\$ -							\$ -
75									N	\$ -					\$ -							\$ -
76									N	\$ -					\$ -							\$ -
77									N	\$ -					\$ -							\$ -
78									N	\$ -					\$ -							\$ -
79									N	\$ -					\$ -							\$ -
80									N	\$ -					\$ -							\$ -
81									N	\$ -					\$ -							\$ -
82									N	\$ -					\$ -							\$ -
83									N	\$ -					\$ -							\$ -
84									N	\$ -					\$ -							\$ -
85									N	\$ -					\$ -							\$ -
86									N	\$ -					\$ -							\$ -
87									N	\$ -					\$ -							\$ -
88									N	\$ -					\$ -							\$ -
89									N	\$ -					\$ -							\$ -
90									N	\$ -					\$ -							\$ -
91									N	\$ -					\$ -							\$ -
92									N	\$ -					\$ -							\$ -
93									N	\$ -					\$ -							\$ -
94									N	\$ -					\$ -							\$ -
95									N	\$ -					\$ -							\$ -
96									N	\$ -					\$ -							\$ -
97									N	\$ -					\$ -							\$ -
98									N	\$ -					\$ -							\$ -
99									N	\$ -					\$ -							\$ -
100									N	\$ -					\$ -							\$ -
101									N	\$ -					\$ -							\$ -
102									N	\$ -					\$ -							\$ -
103									N	\$ -					\$ -							\$ -
104									N	\$ -					\$ -							\$ -
105									N	\$ -					\$ -							\$ -
106									N	\$ -					\$ -							\$ -
107									N	\$ -					\$ -							\$ -
108									N	\$ -					\$ -							\$ -

Loma Linda Recognized Obligation Payment Schedule (ROPS 19-20) - Report of Cash Balances
July 1, 2016 through June 30, 2017
(Report Amounts in Whole Dollars)

source is available or when payment from property tax revenues is required by an enforceable obligation. For tips on how to complete the Report of Cash Balances Form, see [Cash Balance Tips Sheet](#).

A	B	C	D	E	F	G	H
		Fund Sources					
		Bond Proceeds		Reserve Balance	Other Funds	RPTTF	
	ROPS 16-17 Cash Balances (07/01/16 - 06/30/17)	Bonds issued on or before 12/31/10	Bonds issued on or after 01/01/11	Prior ROPS RPTTF and Reserve Balances retained for future period(s)	Rent, Grants, Interest, etc.	Non-Admin and Admin	Comments
1	Beginning Available Cash Balance (Actual 07/01/16) RPTTF amount should exclude "A" period distribution amount	890,003			2,259	94,190	Column F and G are ending balances for 2015-16 as corrected by DOF plus an additional \$501 in Column F for the "Other Funding" amount included in the ROPS for 2016-17A.
2	Revenue/Income (Actual 06/30/17) RPTTF amount should tie to the ROPS 16-17 total distribution from the County Auditor-Controller	4,525			23,605	7,479,529	Column G equals interest earnings on non-bond proceeds. Column C is unused bond proceeds, plus interest earnings from the bond refunding that were transferred from costs of issuance to the interest account.
3	Expenditures for ROPS 16-17 Enforceable Obligations (Actual 06/30/17)	890,003			501	7,479,529	Column C equals bond proceeds held by the Fiscal Agent as a debt service reserve which amount was applied to the bond refunding. Column G equals expenditures in the "Other Funding" column as included in ROPS 16-17A
4	Retention of Available Cash Balance (Actual 06/30/17) RPTTF amount retained should only include the amounts distributed as reserve for future period(s)				1,758	94,190	Amounts in Column F and G have been included as available funding for ROPS 2018-19.
5	ROPS 16-17 RPTTF Prior Period Adjustment RPTTF amount should tie to the Agency's ROPS 16-17 PPA form submitted to the CAC	No entry required					
6	Ending Actual Available Cash Balance (06/30/17) C to F = (1 + 2 - 3 - 4), G = (1 + 2 - 3 - 4 - 5)	\$ 4,525	\$ 0	\$ 0	\$ 23,605	\$ 0	Column F is available as funding for ROPS 2019-20

